



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**930 McFerrin Avenue & 907 West Eastland Avenue**  
**June 19, 2019**

**Application:** Preliminary SP; New Construction—Infill  
**District:** Greenwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Base Zoning:** RS5 (Pending Application to Rezone SP)  
**Map and Parcel Number:** 08208010300, 08208011900  
**Applicant:** Scott Morton, Smith Gee Studios  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** An application to construct a mixed-use development with buildings facing McFerrin and West Eastland Avenues, as well as structures without street orientation in the interior of the unusually shaped and oriented lot. The project requires a rezoning to a Specific Plan District (SP). The current proposal is for approval of the overall massing and site plan only; if the SP is approved by the Planning Commission, the project will return to the Historic Zoning Commission for final design review.

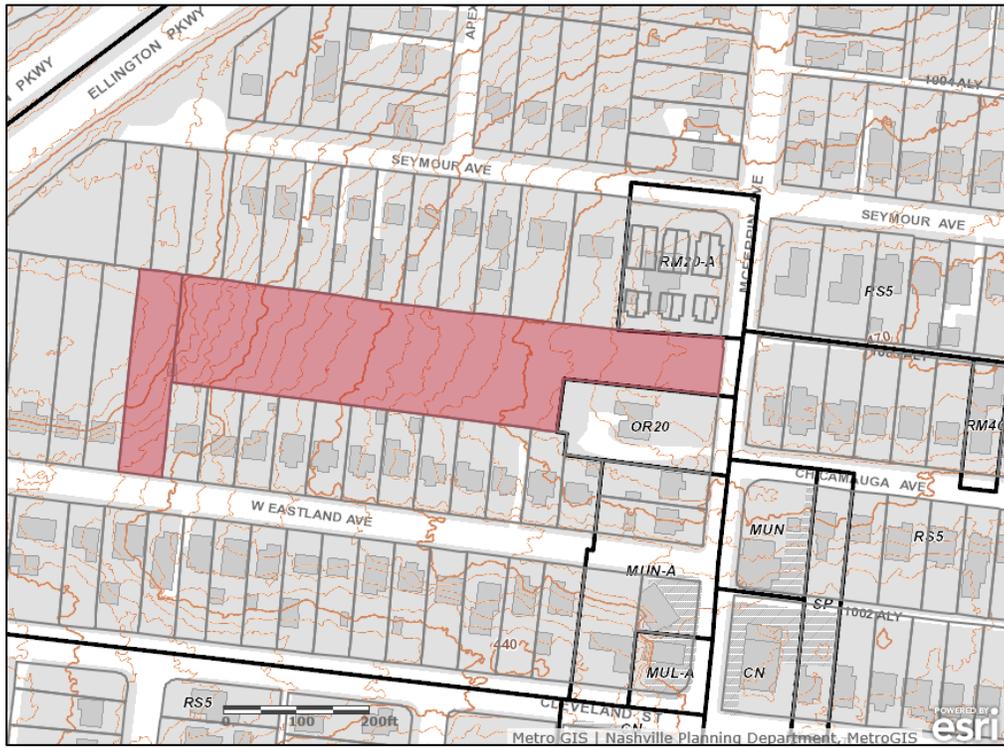
**Recommendation Summary Recommendation:** Staff recommends approval of the forms, massing and scale with the following conditions:

1. The front building in zone 1 have a front porch of at least six feet (6”) in depth with a primary entrance clearly oriented toward McFerrin Avenue;
2. The front setback of the McFerrin-facing building in zone 1 be the average of the (planned) adjacent building the right and the predominant setback of historic houses on the street, approximately fourteen feet (14’) to front of the porch; and
3. The foundation height of building 5 in zone 2 be lowered to be consistent with nearby historic houses;
4. Building 5 in zone 2 have a front porch of at least six feet (6’) in depth with a primary entrance oriented toward West Eastland Avenue;
5. The front setback of building 5 in zone 2 match the historic house to the right;
6. The stone wall shall be reconstructed on the south interior lot line of the McFerrin facing lot, if deemed feasible after analysis of the existing wall;
7. All street and sidewalk improvements, and any stone walls to be demolished or constructed are to be indicated on the final site plan to be resubmitted for MHZC review; and
8. If the SP is approved by the Planning Commission, the applicant shall return to the MHZC with for review of detailed plans complete with site plan, floorplans, and elevations showing all dimensions, details, materials, proportion and rhythm of openings, paving and other appurtenances, and utility locations.

With these conditions, staff finds the massing and scale of the project to meet the design guidelines for new construction in the Greenwood Neighborhood Conservation Zoning Overlay.

**Attachments**  
**A:** Photographs  
**B:** Massing Sketches  
**C:** Site Plan  
**D:** Section Drawings

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B.1 GUIDELINES, New Construction**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding

are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### *Multi-unit Developments*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

**Background:** The lot at 930 McFerrin Avenue is a two-acre lot fronting seventy-seven feet (77') on McFerrin Avenue, widening to one hundred, forty feet (140') as it extends back seven hundred, fifty feet (750') between West Eastland and Seymour Avenues. The lot at 907 West Eastland Avenue is approximately a half-acre with a frontage of sixty feet (60') and a depth of two hundred, seventy-one feet (271'), with the rear half of the lot abutting the west side of the 930 McFerrin Avenue lot.



Figure 1: Vacant lot at 930 McFerrin Avenue.

Both lots are vacant. A house at 930 McFerrin Avenue was demolished in 1991 before the creation of the Neighborhood Conservation Zoning Overlay and a non-contributing house at 907 West Eastland was demolished in 2013 with MHZC approval.

**Analysis and Findings:** The applicant proposes to combine the two lots and build a mixed-use development with thirty-seven residences and office space.

The project includes several components: a pair of mixed-use buildings fronting McFerrin Avenue (zone 1), a one and one-half story single-family dwelling facing West Eastland Avenue (zone 2, building 5), and an array of twenty-one two-story single-family “cottages” in the interior of the lot (zone 2).



Figure 2: Site plan. Zone 1 includes two mixed-use buildings, Zone 2 includes twenty-two cottages.

Height and Scale:

*Zone 1:* The mixed-use component of the project that creates zone 1 will include two buildings, a one and one-half-story building facing McFerrin Avenue and a two-story

building behind it. The two buildings will be separated by a six foot (6') wide "pedestrian alley" (See Figure 2).

The one and one-half story building facing McFerrin is proposed to have a hipped or clipped-gable roof and residential form with a porch oriented toward the new driveway on the left side. The roof ridge height will be twenty-seven feet (27') tall, with an eave height of fourteen feet (14'). The building's primary mass will be thirty-three feet (33') wide, with the side porch extending eight feet (8') for a total width of forty-one feet (41').

Behind the street-facing building there will be a flat-roofed, two-story building with a parapet height of twenty-nine feet (29'). The rear building will be thirty feet (30') wide on the McFerrin side.

These new mixed-use buildings will be adjacent to a twenty-five foot (25') tall one and one-half story historic house at 928 McFerrin Avenue on the left, and a recently approved twenty-eight foot (28') tall structure on the right. Although this building on the right will have a massing and orientation similar to that of a house oriented toward McFerrin Avenue, it could be considered an outbuilding to a new thirty-four foot (34') tall infill house facing Seymour Avenue. McFerrin Avenue street elevation and site plan for the planned Seymour/McFerrin development is included in attachment A.

In the broader context there are primarily one and one-half-story houses, and there are three two-story historic houses on the adjacent blocks of Chicamauga and Seymour Avenues that are up to thirty-five feet (35') tall. As recently as 1957 there were at least five more two-story houses on the block that have since been demolished.

Parapet walls and flat roofs are found on one-story commercial buildings but are unusual for the immediate residential context. In addition, the proposed height slightly exceeds the historic context; however, staff found it to be appropriate since it will be minimally visible. It will not be completely obscured because of the driveway to the side but it will be fully behind the residential form facing McFerrin. In addition, it will sit back far enough on the lot that its impact on the street will be minimized.

Staff finds that height and scale of the two buildings that constitute zone 1 to be compatible with the heights of nearby historic buildings and meet Sections II.B.1.a and II.B.1.b. of the design guidelines for height and scale.

*Zone 2:* The "cottage" component of the project will include a one and one-half-story house facing West Eastland Avenue (Identified as "building 5" on Figure 2) and twenty-one two-story houses on the interior of the lot. Building 5, on West Eastland, will have a gabled roof with a ridge height of twenty-seven feet (27') tall from grade, an eave height of fourteen feet, six inches (14'-6") from grade, and a foundation height of three feet (3'). The houses that contribute to the historic character on West Eastland Avenue typically have minimal foundations with only one or two steps up from grade to the finished floor. Staff recommends that the foundation height is lowered to be consistent with the nearby historic houses, which in turn will lower the eave and roof ridge heights.

Building 5 will be twenty-five feet (25') wide and forty-five feet (45') deep. Historic buildings on West Eastland Avenue are typically between twenty-eight feet (28') and thirty-three feet (33') wide. While a wider house on West Eastland would be more compatible with the historic context, the project is required to provide room for walkways and a fourteen foot (14') wide driveway into the lot to allow for emergency vehicle access, which limits the possible width of the proposed building.

The cottages on the interior of the lot (zone 2) will be two-stories tall with a ridge height of thirty-one feet (31'), an eave height of twenty-one feet (21'), and a foundation height of two feet (2'). The building's footprints will be twenty-two feet (22') wide and forty-one feet (41') deep. The roof forms will include hips and gables. The buildings were not compared to the context directly since they do not visually relate to either street. Due to the location on an interior lot without street frontage, Staff finds that the impact and visibility of these buildings on the character of the surrounding area will be minimal.

With the conditions that the foundation height on building 5 is lowered to be a height more typical of the nearby historic houses, Staff finds the height and scale of the zone 2 buildings to be compatible with the surrounding historic context and meet Sections II.B.1.a and II.B.1.b. of the design guidelines for height and scale.

#### Setbacks:

*Zone 1:* The McFerrin-facing buildings in zone 1 is proposed to have a front setback of fourteen feet (14'). The recently approved building to the right will have a small stoop and a setback of seven feet (7') from McFerrin Avenue, and the historic house to the left has a recessed front porch and a setback of approximately seventy-five feet (75'). Neither of the adjacent building front setbacks are typical of the street, which is predominantly houses with front porches and setbacks of approximately twenty-one feet (21') to the front edge of the porch. Staff finds that matching the adjacent building to the left is not necessary because the context varies, but that the new construction should be more consistent with the predominant setback and orientation of the surrounding area. The typical nearest historic houses are more like 924 and 926 McFerrin Avenue, which have front porches and setbacks of approximately twenty-one feet (21'). Staff recommends that a front porch, with a minimum depth of six feet (6'), is added to the McFerrin-facing building (see analysis of "orientation") in zone 1, and that the setback should be the average of the planned adjacent building the right and the predominant setback of historic houses on the street, approximately fourteen feet (14').

The rear building in zone 1 will be separated from the front building by a six foot (6') wide pedestrian alley. Staff is recommending revisions to the front building that may require it to have a deeper setback than has been proposed, in which case staff would recommend that the rear building is also pushed back or that its depth is reduced to maintain the six-foot (6') separation. The right-side setback of both buildings is five feet (5'), which is appropriate and meets bulk standards. The left side setback will be approximately twenty-five foot (25'). A narrower left-side setback would be more typical of the historic context, but project is required to provide room for an eighteen foot

(18') wide driveway into the lot to allow for emergency vehicle access, which limits the possible width of the proposed building.

*Zone 2:* Building 5 will have a front setback in line with the adjacent houses, with a five-foot (5') setback on the left-side and a thirty-foot (30') setback on the right. A narrower right-side setback would be more typical of the historic context, but project is required to provide room for walkways and a fourteen foot (14') wide driveway into the lot to allow for emergency vehicle access, which limits the possible width of the proposed building.

Additionally, forms of the immediate historic context typically have projecting front porches; therefore, staff recommends a front porch be added to building 5.

With a condition that the setbacks are consistent with their respective contexts, and with a final site plan to be resubmitted for MHZC review, staff finds that the project will meet Section II.B.1.c of the design guidelines for setbacks and rhythm of spacing.

Orientation: The orientation of building 5 and the McFerrin-facing building of zone 1 are primary concerns as these two buildings will have the greatest impact on the historic context. To match the historic forms, staff recommended in the "Height and Scale" section that projecting porches be added to both buildings. In addition to form, the porches will make the buildings be appropriately oriented toward their respective streets.

The interior cottages do not have street frontage but will be connected to the two rights-of-way by walkways. Currently there are no sidewalks on either street frontages, so it is likely that sidewalk improvements will be required as part of the SP. Accommodation of sidewalks may change the site plan; therefore, staff recommends final review of the site plan by the MHZC when the full project is reviewed.

There is no alley, so the vehicular access into the lot will be via a fourteen foot (14') wide driveway in from West Eastland and a twenty-four foot (24') wide driveway on McFerrin Avenue. Ten foot to twelve-foot (10'-12') driveways would be more appropriate for the historic context; however, the width of the proposed driveways is based on fire-standards due to the development of the interior of the lot.

With the condition that front porches are added to building 5 and the McFerrin-facing building of zone 1 with site plan to be resubmitted for MHZC review, staff finds the proposal to meet Section II.B.1.f for orientation.

Appurtenances & Utilities: There is an historic crenulated stone wall in front of the adjacent historic house at 928 McFerrin Avenue, which continues approximately thirty feet (30') into the 930 McFerrin Avenue lot. Approximately twenty-five feet (25') of the stone wall would be removed to accommodate the new driveway on the south half of the McFerrin lot. Staff recommends that this stone be evaluated for the possibility of reconstructing the wall on the south side of the McFerrin's lot interior lot line.

It is likely that sidewalk improvements will be required as part of the SP, which may further impact the historic stone wall, therefore staff asks that all street and sidewalk improvements, and any stone walls to be demolished or constructed would be indicated on the final site plan to be resubmitted for MHZC review.



Figure 3: Crenulated stone wall at 928, continuing onto 930 McFerrin Avenue covered by ivy.

**Recommendation:** Staff recommends approval of the forms, massing and scale with the following conditions:

1. The front building in zone 1 have a front porch of at least six feet (6”) in depth with a primary entrance clearly oriented toward McFerrin Avenue;
2. The front setback of the McFerrin-facing building in zone 1 be the average of the (planned) adjacent building the right and the predominant setback of historic houses on the street, approximately fourteen feet (14’) to front of the porch; and
3. The foundation height of building 5 in zone 2 be lowered to be consistent with nearby historic houses;
4. Building 5 in zone 2 have a front porch of at least six feet (6’) in depth with a primary entrance oriented toward West Eastland Avenue;
5. The front setback of building 5 in zone 2 match the historic house to the right;
6. The stone wall be reconstructed on the south interior lot line of the McFerrin facing lot, if deemed feasible after a staff analysis of the existing wall;
7. All street and sidewalk improvements, and any stone walls to be demolished or constructed are to be indicated on the final site plan to be resubmitted for MHZC review; and
8. If the SP is approved by the Planning Commission, the applicant shall return to the MHZC with for review of detailed plans complete with site plan, floorplans, and elevations showing all dimensions, details, materials, proportion and rhythm of openings, paving and other appurtenances, and utility locations.

With these conditions, staff finds the massing and scale of the project to meet the design guidelines for new construction in the Greenwood Neighborhood Conservation Zoning Overlay.

*Note: Any details such as the dimension or location of openings was not reviewed at this level of the review process; therefore, any details shown on the plans shall not be considered approved if the Commissions votes for approval of the form, massing and scale.*

**ATTACHEMNT A: PHOTOGRAPHS**



Entrance to 930 McFerrin Avenue with 928 McFerrin Avenue to the left.



Historic house and stone wall at 928 McFerrin Avenue, with entrance to 930 McFerrin Avenue at far-right edge of photo.



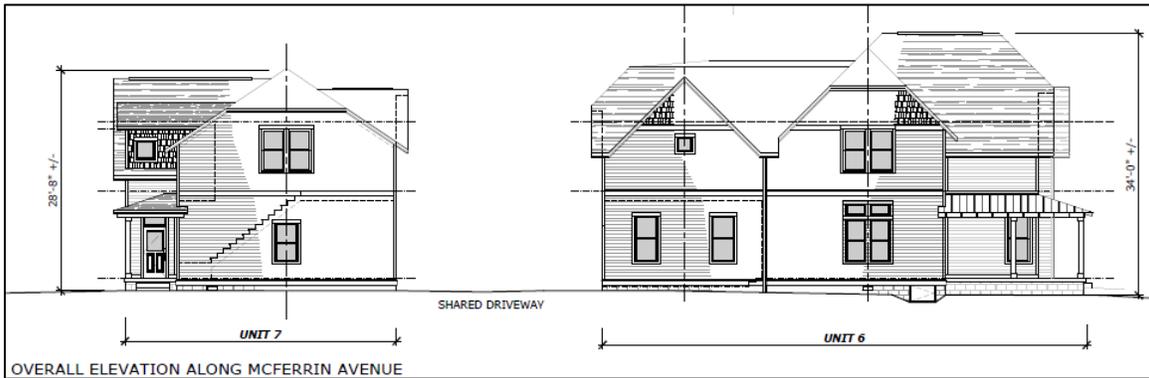
Vacant lot at 907 West Eastland Avenue, viewed from west.



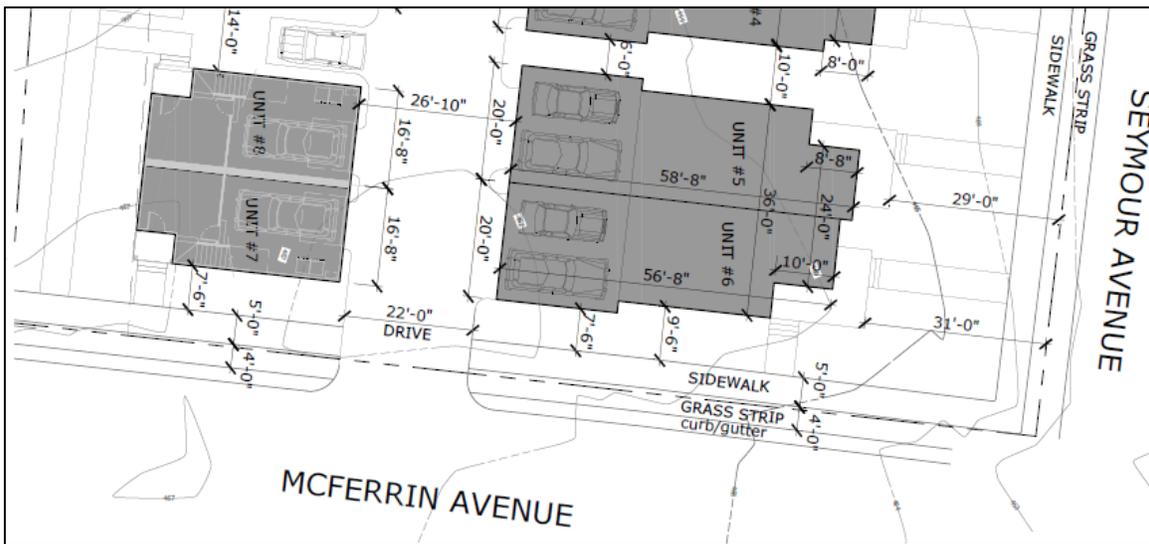
Vacant lot at 907 West Eastland Avenue.



Vacant lot at 907 West Eastland Avenue, viewed from east.



East elevation of recently approved infill on lot adjacent (to the right/north) of 930 McFerrin Avenue, for which construction has not yet begun.



Partial site plan for recently approved infill on adjacent lot to the north.

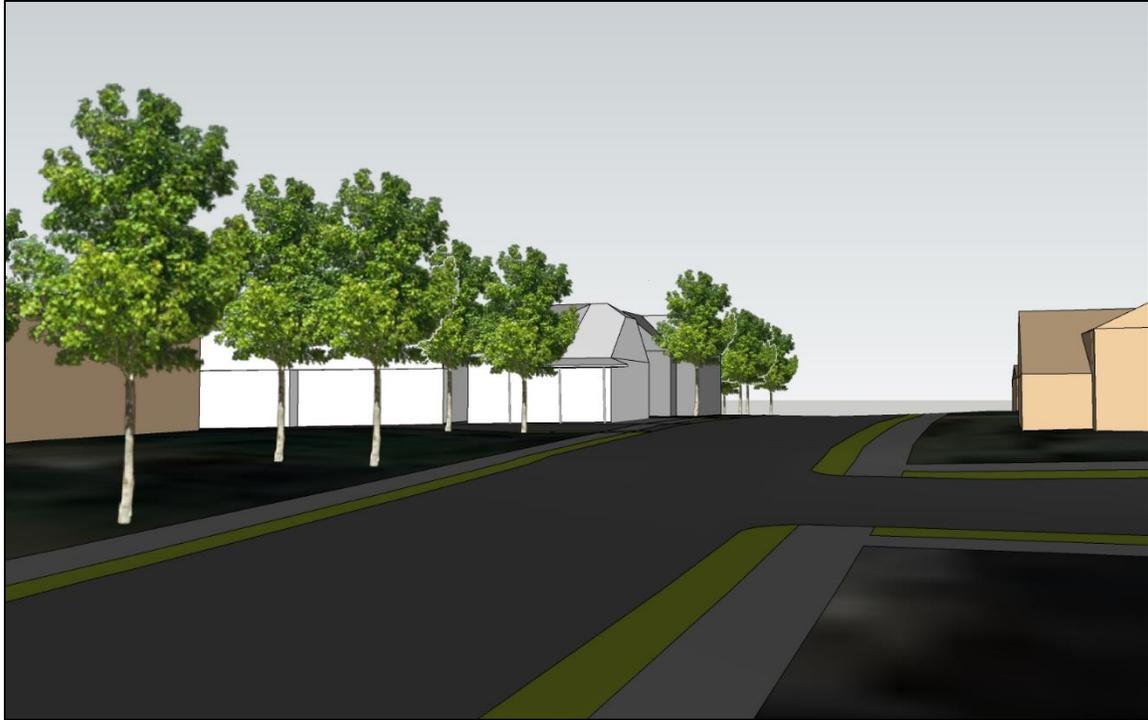
**ATTACHEMNT B: MASSING DRAWINGS**



View of Zone 1 from across McFerrin Avenue.



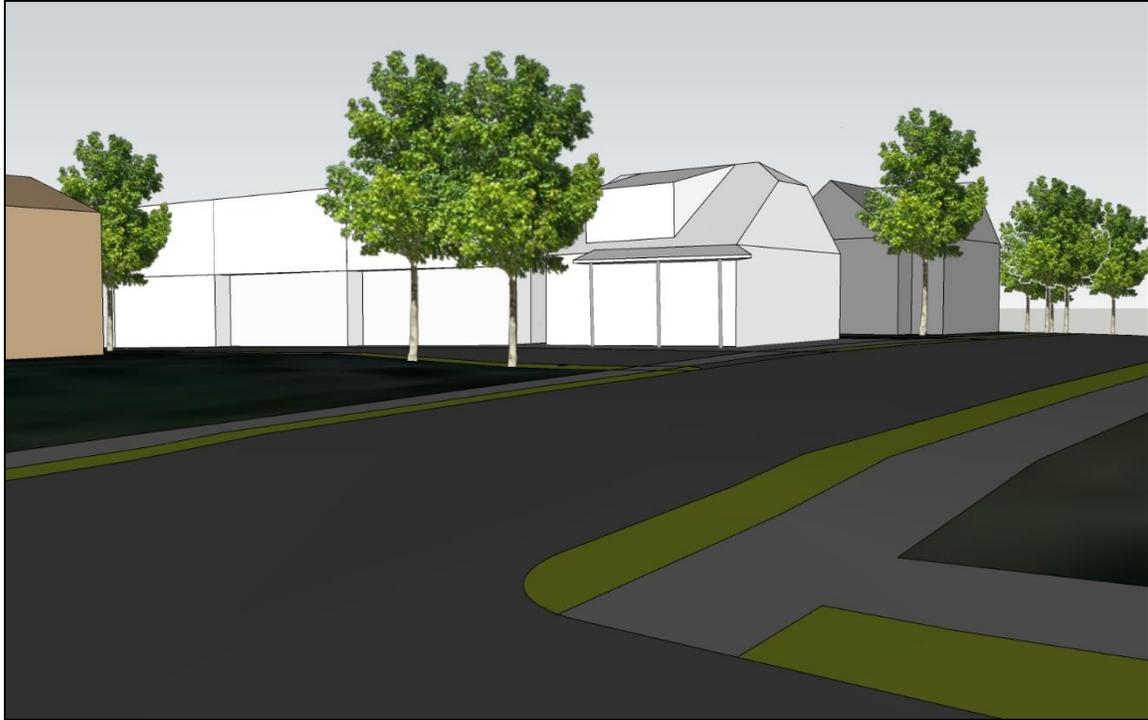
View of Zone 1 from across McFerrin Avenue.



View of Zone 1 from the south.



View of Zone 1 from the north. 934 McFerrin project shown in gray.



View of Zone 1 from Chicamauga Avenue.



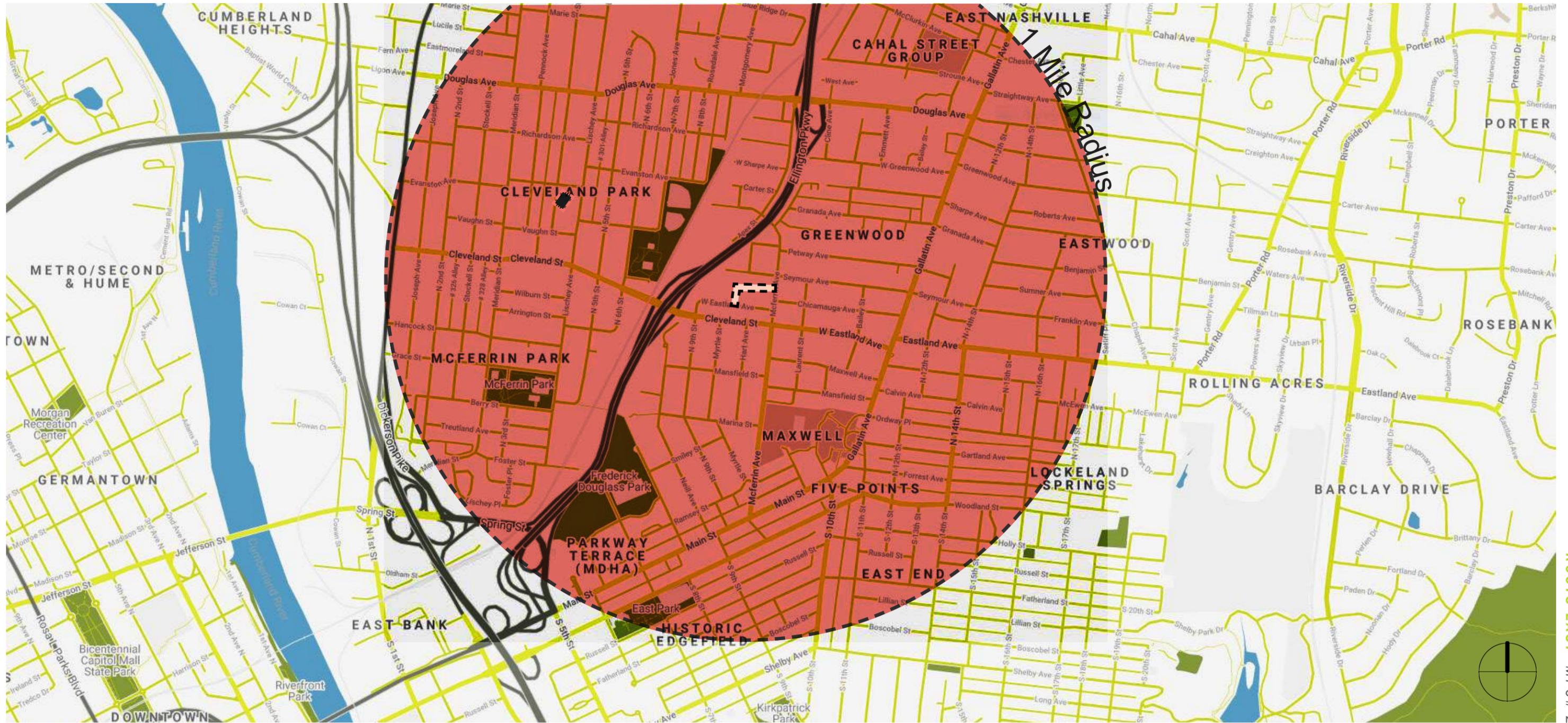
View of Zone 2 looking east on West Eastland Avenue.



# ROOTS EAST

A POCKET NEIGHBORHOOD





# 02

## CONTEXT MAP

**Property Owner:**  
 Woodland Street Partners, LLC  
 408 Taylor Street, Suite 202  
 Nashville, TN 37208

**Applicant / Architect:**  
 Smith Gee Studio  
 209 10th Avenue S., Suite 425  
 Nashville, TN 37203  
 ATTN: Scott Morton  
 smorton@smithgeestudio.com

Parcel ID: 08208010300  
 Address: 930 McFerrin Ave  
 Nashville, TN 37206  
 Owner(s): Woodland Street Partners, LLC  
 Council District: (05) Scott Davis

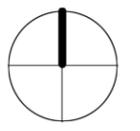
Parcel ID: 08208011900  
 Address: 907 W Eastland Ave  
 Nashville, TN 37206  
 Owner(s): Woodland Street Partners, LLC  
 Council District: (05) Scott Davis



# 03

## EXISTING CONDITIONS

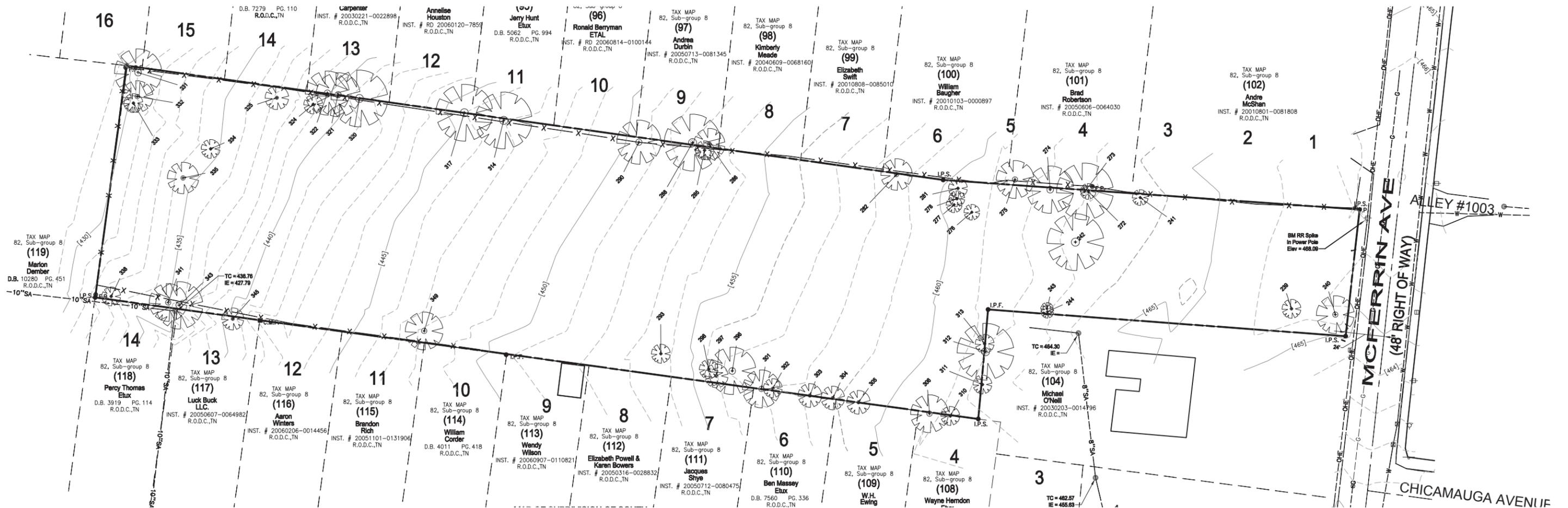
-  Existing Connections
-  Property Line



# Surveyor's Notes

- All distances were measured with E.D.M. equipment and have been adjusted for temperature and pressure. Bearings are based on the Tennessee State Plane, Zone 4100. All elevations are referenced to NAD 83 and bearings are based on TN State Plane, as observed using GPS techniques.
- The property (Boundary) Line Survey exceeds the minimum requirements of an Urban Land Survey Category 1 as per Standards of Practice adopted by the State Board of Examiners for Land Surveyors for the State of Tennessee, and the precision of the unadjusted survey is equal to or greater than 1 foot in 10,000 feet.
- Information concerning site utility services and appurtenances shown hereon is based on visible evidence noted during the survey, information provided by utility representatives or information shown on original construction plans by others. Information and location of service lines on site should be considered approximate and there may be underground utility lines that are not shown on the survey. Owner(s) and contractor(s) should assume responsibility of locating all underground utility service lines prior to any construction, excavation or any disturbance of the existing ground elevation to avoid hazard of unnecessary expense.
- Information concerning major utilities or appurtenances shown hereon are based on visible evidence noted during the survey or information provided by utility representatives. Verification of existence, size location, depth, and availability of service should be confirmed by local utility agencies.
- The property shown hereon is located within Davidson County, TN. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the Davidson County, TN Zoning Regulations as interpreted and regulated by the Department of Planning and Codes.
- The total area of the parcels shown hereon is 2.09± acres, or 91,108± square feet.
- This property is currently identified as parcels #08208010300. Tax Map 82, Sub Group 08, Parcel 103.00.
- Plat references: N/A
- Deed references: Deed Book 20060502, page 0050649, Register's Office of Davidson County, TN.
- This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.

- This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
- This survey was prepared for the exclusive use of the person, persons, or entity, if any, named on the certification hereon. Said certificate does not extend to any unnamed person without an express recertification by the surveyor naming said person.
- The certification as provided on this survey, is purely a statement of professional opinion based on knowledge, information and belief, based on existing field evidence and documentary evidence provided by others.
- The certification is not an expressed or implied warranty or guarantee.
- This property is not located in an area designated as a "Special Flood Hazard Area" as shown on F.E.M.A. Flood Insurance Rate Map, Community Panel No. 47037C0217 F, Effective date: APRIL 20, 2001.



# 04 PROPERTY SURVEY A

Parcel ID: 08208010300  
 Address: 930 McFerrin Ave  
 Nashville, TN 37206  
 Owner(s): Woodland Street Partners, LLC  
 Council District: (05) Scott Davis



# SURVEYOR'S NOTES

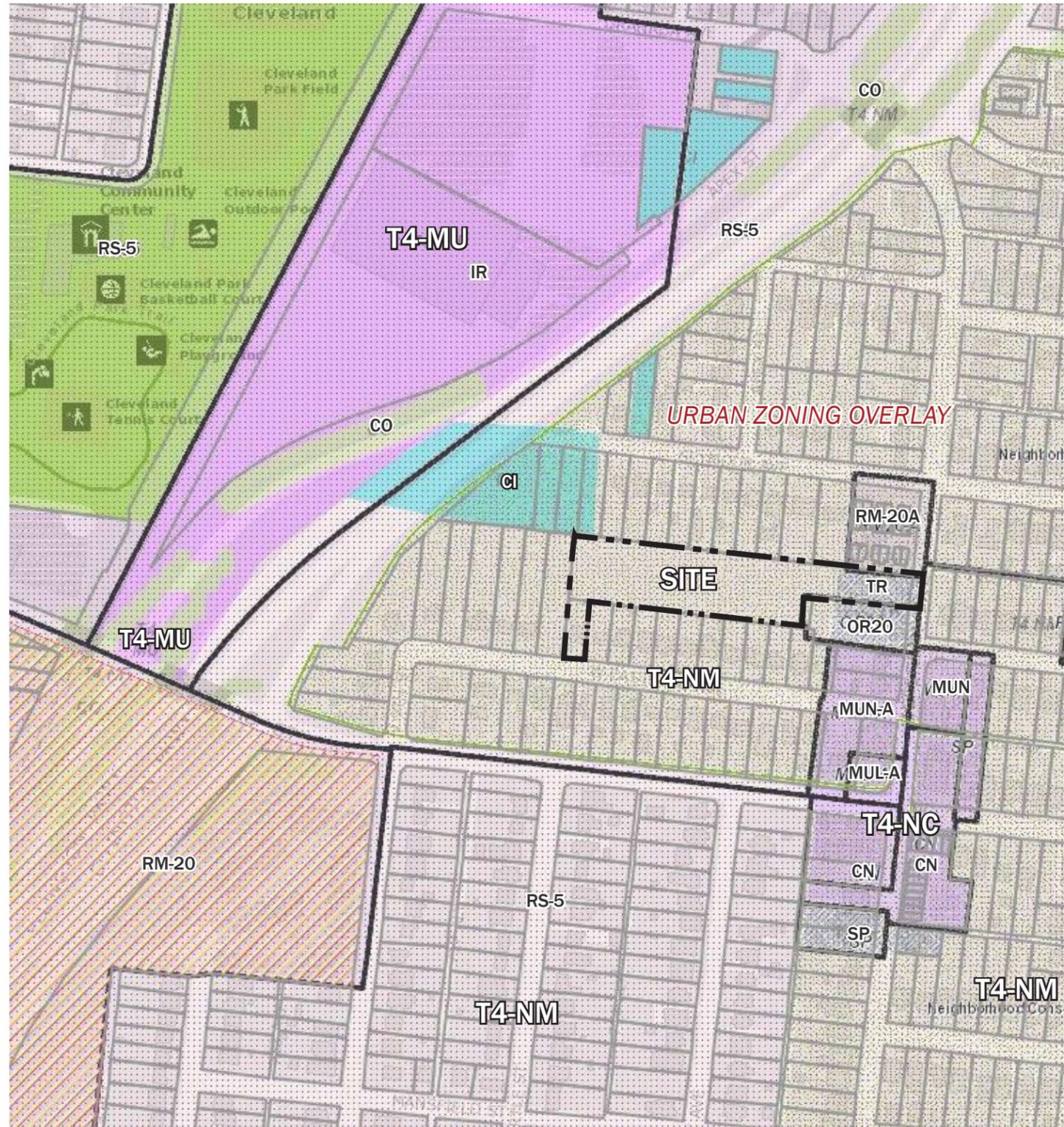
1. This Property is located in the 5th Council District of Davidson County Tennessee.
2. Bearings, Elevations and Coordinates shown are based on Tennessee State Plane NAD83. (NAVD88)
3. The property is located in areas designated as "Zone X" (areas determined to be outside the 0.2 % annual chance floodplain) as noted on the current FEMA Firm Community Panel # 47037C0242H, effective on 4-5-2017.
4. Utilities shown hereon were taken from visible structures and other sources available to me at this time. Verification of existence, size, location and depth should be confirmed with the appropriate utility sources.
5. A Title Report was not provided for the preparation of this survey, Therefore this survey is subject to the findings of an accurate title search.
6. No Stream determinations were provided to this surveyor, therefore this survey does not address the existence or non-existence of any water of the state, jurisdictional stream buffers or wetlands.
7. This survey does not address the owner of any fence nor address any adverse claim of ownership of any adjoining property. Removal of any property line fence should be coordinated with adjacent owner.

8. Appropriate setbacks to be determined by MHZC based on the surrounding historic context, with consideration given to input from other Metro departments regarding life safety and bulk zoning.



# 04 PROPERTY SURVEY B

Parcel ID: 08208011900  
 Address: 907 W Eastland Ave  
 Nashville, TN 37206  
 Owner(s): Woodland Street Partners, LLC  
 Council District: (05) Scott Davis



**Current Zoning:** Single Family Residential (RS 5)

**Current Land Use Policy:** The property is located within the East Nashville Community Plan. The current land use policy for the property is T4 NM Transition. Current overlays include: Urban Zoning Overlay and Greenwood Neighborhood Conservation.

**T4 Neighborhood Maintenance:** is applicable to areas that are zoned residential, where the primary land use is residential, or that are envisioned to remain primarily residential. T4-NM policy is applied in situations where there is an expressed interest in maintaining the predominant, existing developed condition and that condition is to be stable and sustainable over time. The building form is generally in character with the existing development pattern of the urban neighborhood in terms of its mass, orientation, and placement. The mixture and placement of building types consider the street type and effects on nearby sensitive environmental features guided by Conservation policy and the overall health of the watershed.

Building massing results in building footprints with moderate to high lot coverage. Buildings are oriented to the street or to an open space where a street does not exist. Types of open spaces may vary and could include courtyards or other types of functional and accessible open spaces. Buildings have shallow and regular setbacks, typically incorporating porches to create a pedestrian-friendly environment. Spacing between buildings is minimal. Density is secondary to the form of development, however, these areas are intended to be moderate- to high-density and determined by the existing character of the neighborhood. Buildings are generally one to three stories tall within the interior of the neighborhood. Taller buildings up to four stories may be found abutting Centers and Corridors. New developments that create their own street or internal drive systems also provide inviting, functional, and accessible open space as an integral part of the development.

Landscaping is generally formal, incorporating street trees and retaining existing mature trees. Consideration is given to the use of native plants and natural rainwater collection to minimize maintenance costs and burden on infrastructure. Parking for single- and two-family buildings is provided on-street, or on-site, via alleys or driveways. Parking for multi-family buildings is provided in parking lots or structured parking, accessed by alleys or driveway, and located beside or behind buildings, screened from view. Bicycle parking is provided at multifamily and institutional uses.

Allowing for higher-intensity residential building types in such locations will add value to neighborhoods, growing the market and demand for consumer services and the demand for transit. Areas with adequate infrastructure, access, and the ability to form transitions and support existing or planned mass transit and the viability of consumer businesses are most appropriate for higher density.

Vehicular connectivity is high, and is provided in the form of local streets, collector-avenues and arterial-boulevards. This creates a complete street network and provides residents with multiple routes and reduced trip distances. Pedestrian and bicycle connectivity is high and, where available, is provided in the form of sidewalks and bikeways throughout the neighborhood. Pedestrian and bicycle connectivity includes connectivity to existing or planned transit.

**Transition:** Established T4-NM areas may include areas of land that is vacant, underutilized, or in a nonresidential use that could redevelop. Examples could include large tracts of undeveloped land, an undeveloped farm, a former country club or church, etc. These areas differ from T4 Neighborhood Evolving areas because they are generally smaller and interior to the neighborhood. Such areas may be developed or redeveloped with a broader mix of housing types than the rest of the T4-NM area subject to appropriate design that transitions in building type, massing, and orientation in order to blend new development into the surrounding neighborhood.

# 05

## SITE OVERVIEW



# 07 REGULATIONS

## STANDARD NOTES

1. The purpose of this SP is to receive preliminary approval to permit the development of up to thirty-seven (37) residential units and 6500 SF of office and live/work.
2. This SP is expected to be built in multiple phases of development. Construction will likely begin in the first quarter of 2020 and will take 1 year for full project build-out.
3. If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the OR20-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.
4. Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

## ARCHITECTURAL STANDARDS

5. **Building massing, form, and materials to be reviewed by MHZC, in accordance with the Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.**
- **Appropriate setbacks to be determined by MHZC based on the surrounding historic context, with consideration given to input from other Metro departments regarding life safety and bulk zoning.**
- 6.
- 7.
- 8.
- 9.
- 10.

**Building massing, form, and materials to be reviewed by MHZC, in accordance with the Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.**

**Appropriate setbacks to be determined by MHZC based on the surrounding historic context, with consideration given to input from other Metro departments regarding life safety and bulk zoning.**

11. Elevations for all units will be required with the submittal of the final SP site plan.
12. "Architectural Standards" of an SP would be superseded by the Greenwood Neighborhood Conservation Zoning Overlay design guidelines and must be reviewed and approved by the MHZC.

## METRO PUBLIC WORKS NOTES

14. The final site plan/building permit shall depict the required public sidewalks, any required grass strip or frontage zone, and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of Use and Occupancy Permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Where feasible, vertical obstructions are only permitted within the required grass strip or frontage zone.
15. Parking ratios shall be provided at or above the Metro Zoning Code UZO Parking Standards.
16. Any required right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.
17. The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works, in effect at the time of the approval of the preliminary development plan or final development plan or building permit, as applicable. Final design may vary based on field conditions.
18. The design of the public infrastructure is to be coordinated with the Final SP. The roads, pedestrian infrastructure, bicycle routes, etc. are to be designed and constructed per MPW standards and specifications.
19. All construction within the right of way shall comply with ADA and Metro Public Works Standards and Specifications.
20. Installation of "Now Entering Private Property" signage at the driveway connection to the public roadway will be added.

## FIRE MARSHAL NOTES

21. New commercial developments shall be protected by a fire hydrant that complies with the 2006 edition of NFPA 1 Table H.
22. No part of any building shall be more than 500 ft. from a fire hydrant via a hard surface road. Metro Ordinance 095-1541 Sec. 1568.020 B
23. All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.5 feet.
24. If more than three stories above grade, Class I standpipe system shall be installed.

25. A fire hydrant shall be provided within 100 ft. of the fire department connection.
26. Fire hydrants shall be in-service before any combustible material is brought on site.

## NES NOTES

27. Where feasible, this development will be served with underground power and pad-mounted transformers.
28. New facilities will not be allowed to sit in or to pass through retention areas, including rain gardens, bioretention areas, bioswales, and the like. This includes primary duct between pad-mounted transformers equipment, as well as service duct to a meter.

## FEMA NOTE

29. This property does not lie in an area designated as a special flood hazard area according to Federal Emergency Management Agency Flood Insurance Rate Map Panel Number 47037C0242H, dated April 5, 2017.

## STORMWATER NOTES

30. Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 and approved by the Metropolitan Department of Water Services.
31. Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
32. Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual. (Minimum driveway culvert in Metro ROW is 15" CMP.)
33. Project intent is to be redeveloped per the requirements of Volume 5 (LID) of the Stormwater Manual. Detention will be provided or post developed runoff will be less than predeveloped runoff due to LID implementation.

## Federal Compliance:

34. All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act. ADA: <http://www.ada.gov/> U.S. Justice Dept.: <https://www.justice.gov/crt/fair-housing-act-1>

**Building massing, form, and materials to be reviewed by MHZC, in accordance with the Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.**

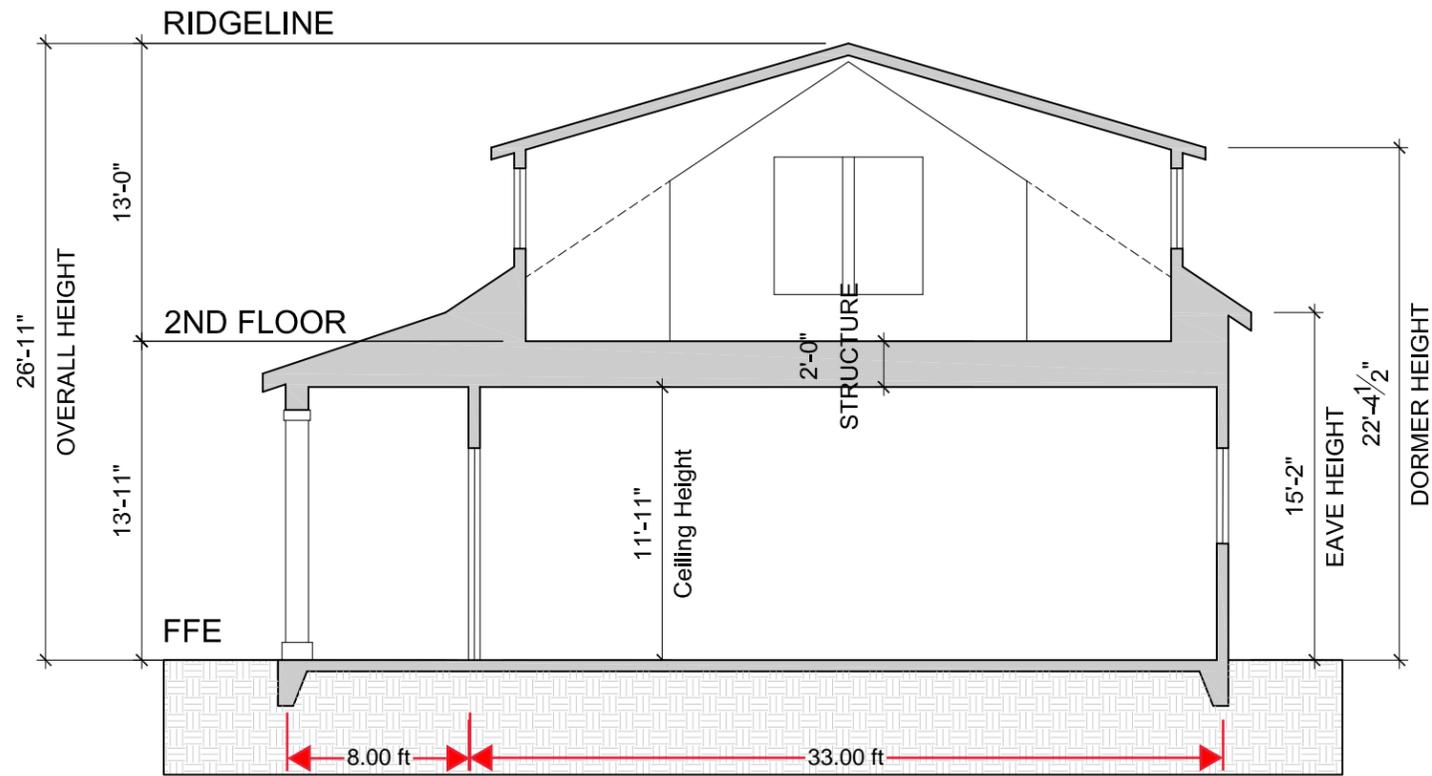
**Appropriate setbacks to be determined by MHZC based on the surrounding historic context, with consideration given to input from other Metro departments regarding life safety and bulk zoning.**



**SITE PLAN**



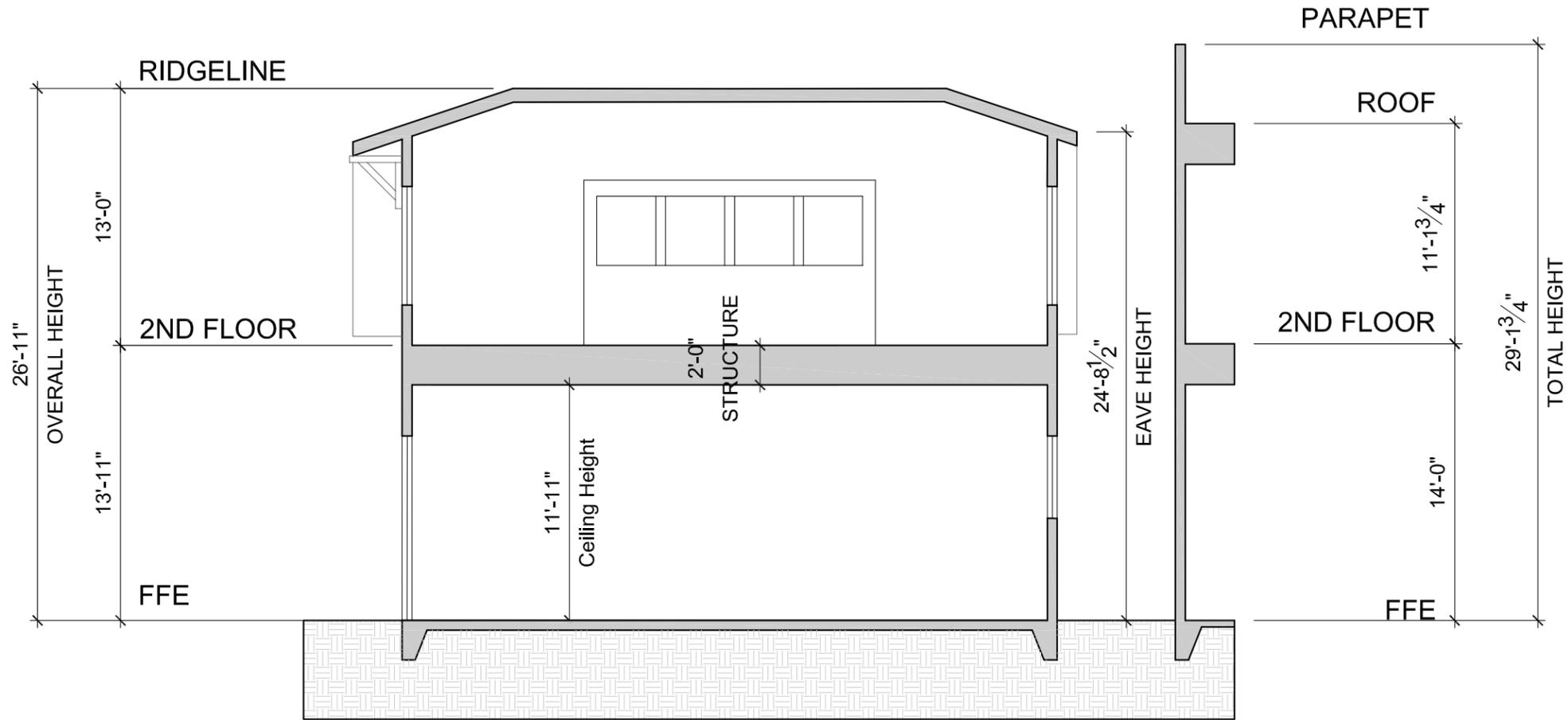
Zone 1 Front Building (Front View Section)



Mixed Use Building Character image

**HEIGHT EXHIBIT D: MCFERRIN MIXED USE BUILDING TRANSVERSE SECTION**

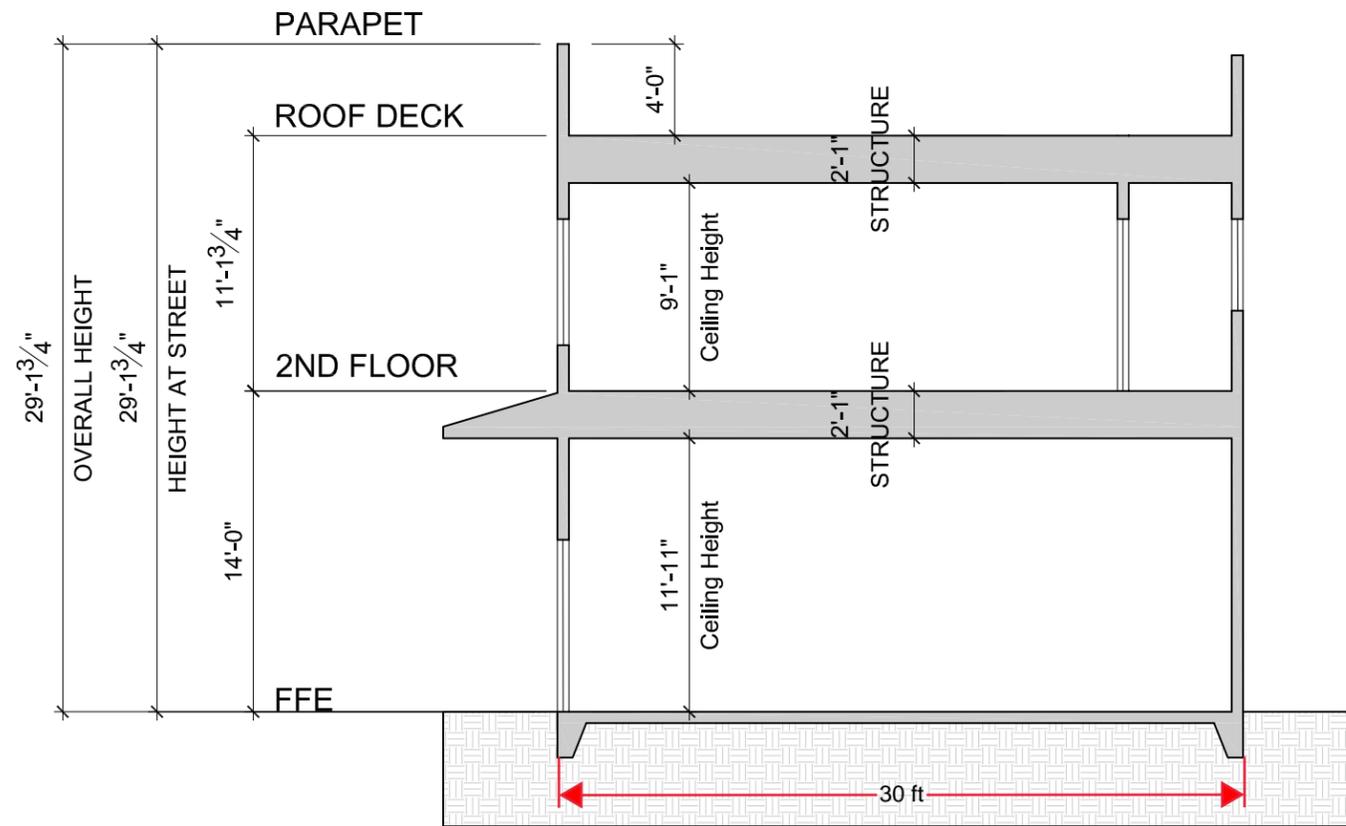
Zone 1 Front Building (Side View Section)



Mixed Use Building Character image

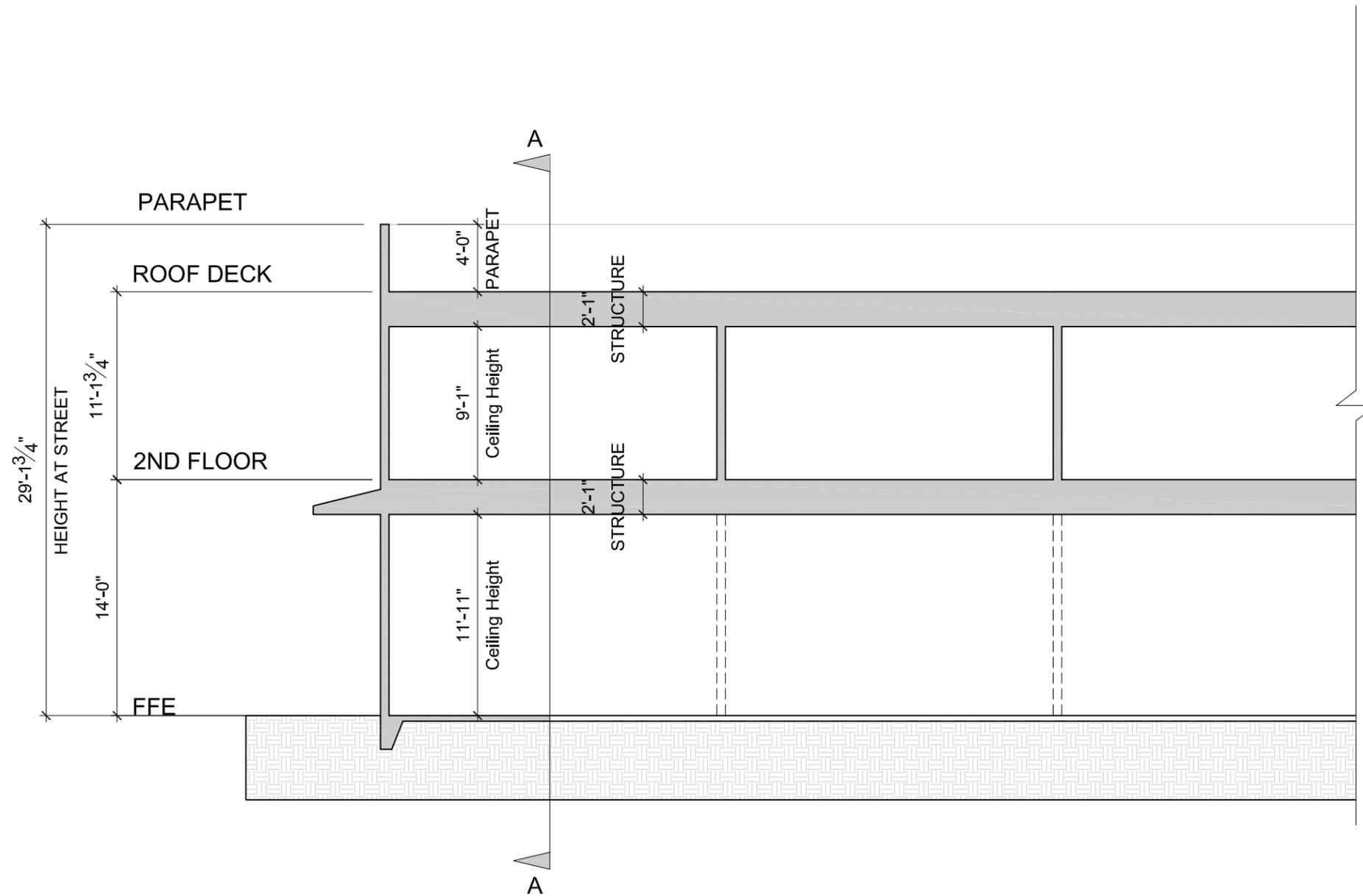
HEIGHT EXHIBIT C: MCFERRIN MIXED USE BUILDING LONGITUDINAL SECTION

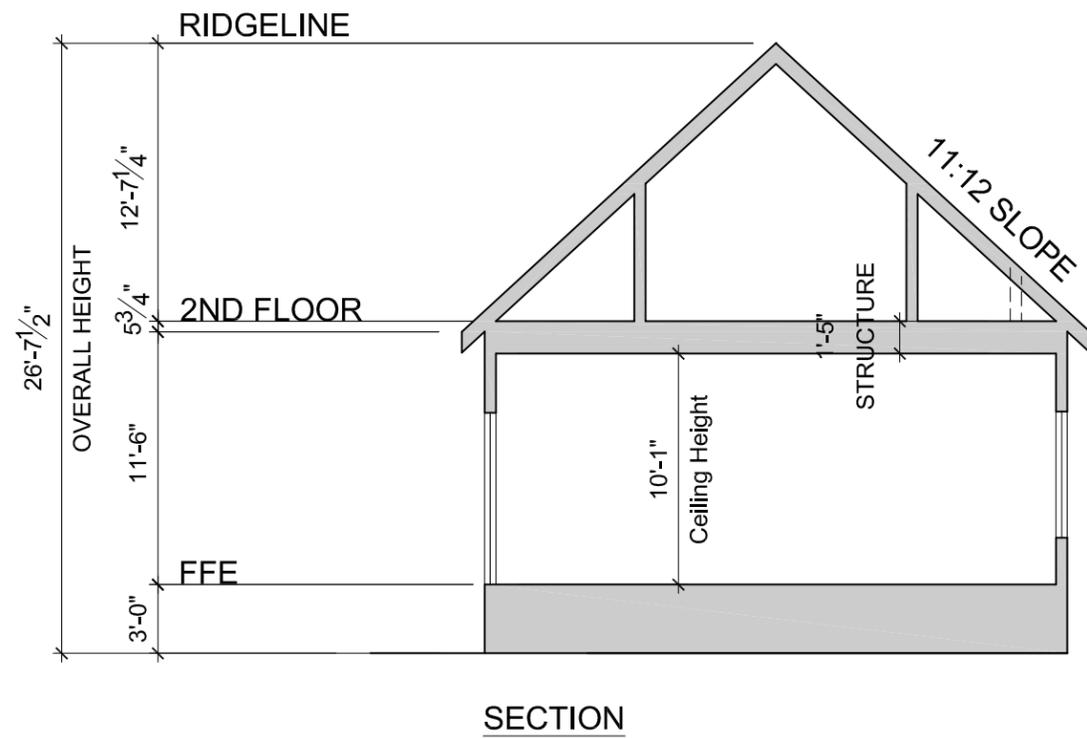
Zone 1 Rear Building (Front View Section)



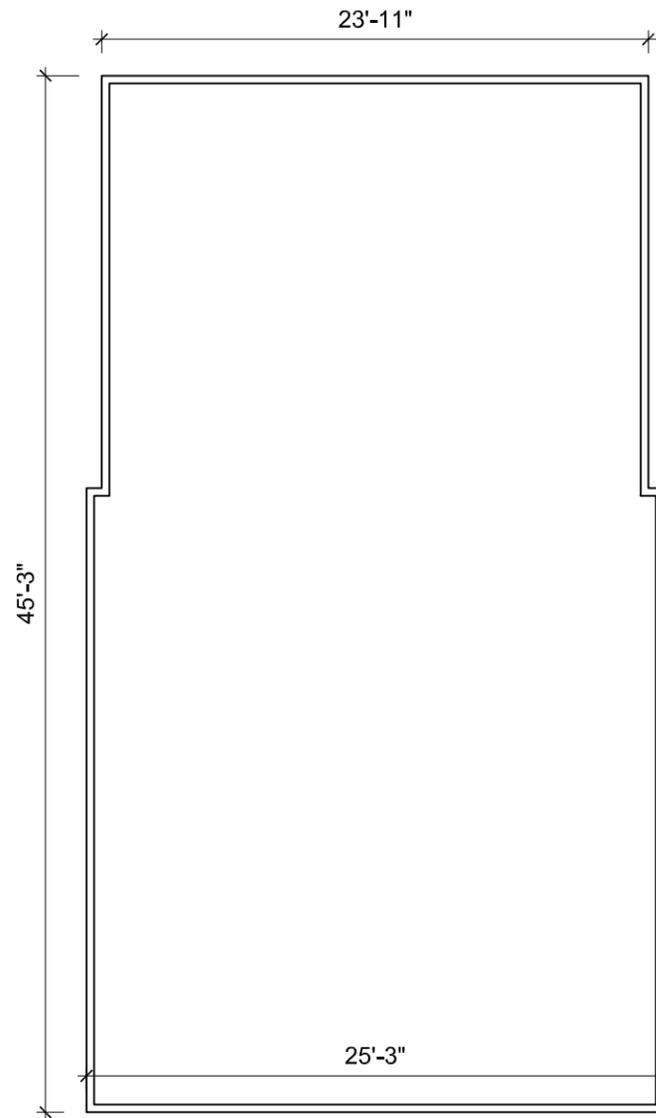
SECTION AA

Zone 1 Rear Building (Side View Section)

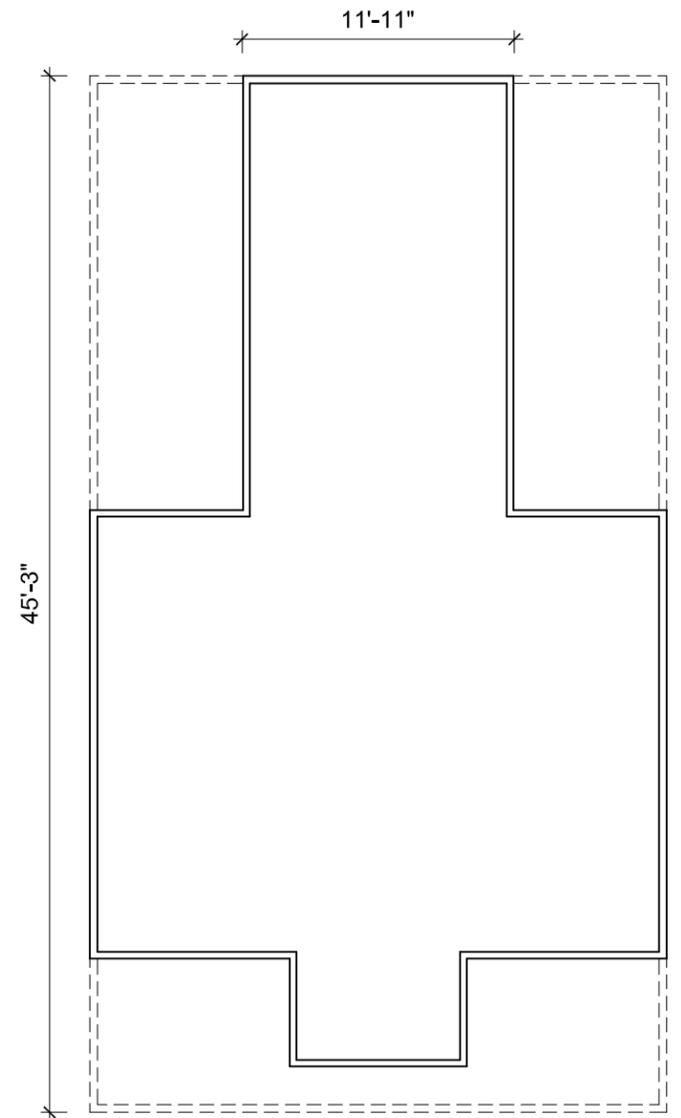




SECTION



FIRST FLOOR PLAN

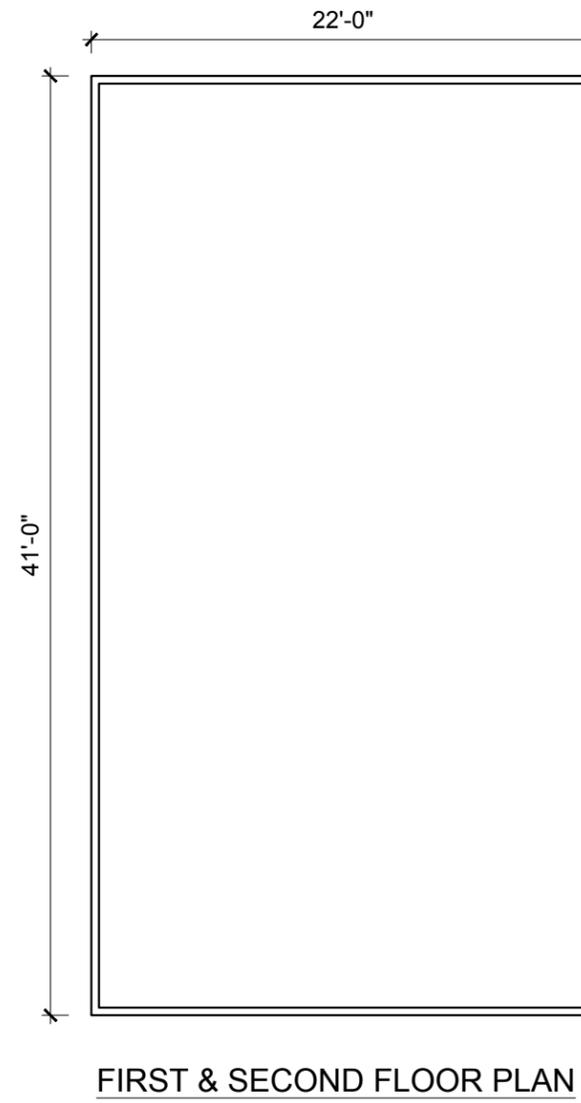
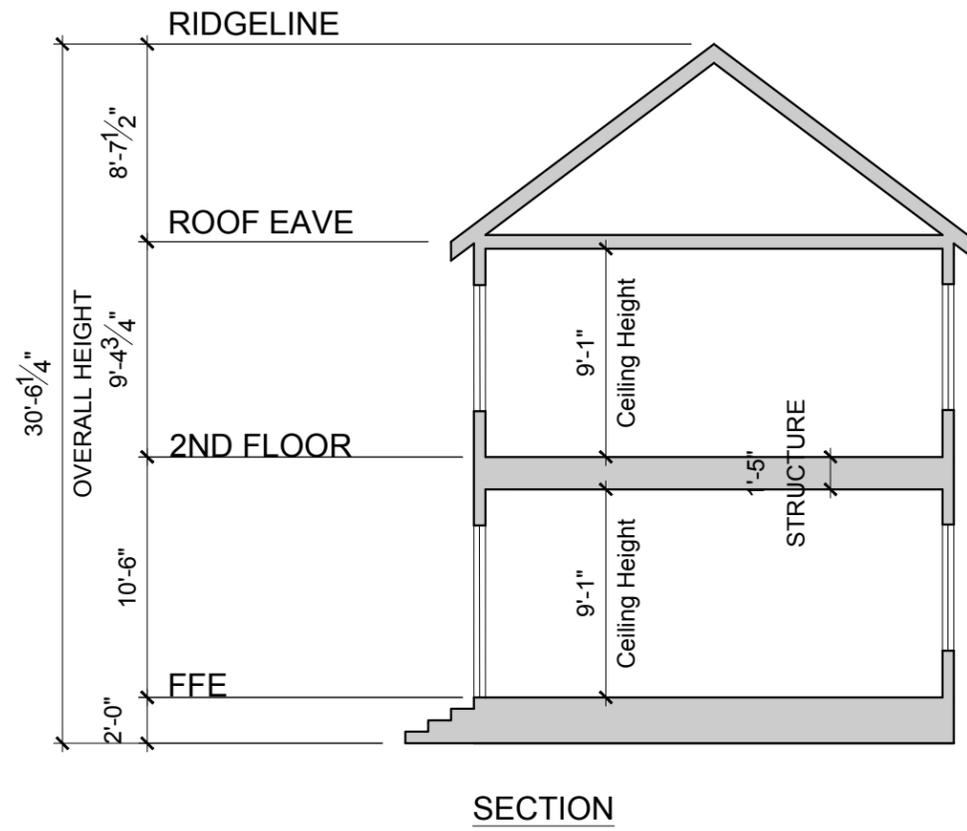


SECOND FLOOR PLAN

FIRST FLOOR: 1120 SF  
 SECOND FLOOR: ~750 SF  
 TOTAL HEATED: 1,870 SF



Zone 2 Interior Cottages



FIRST FLOOR: 672 SF  
 SECOND FLOOR: 672 SF  
 THIRD FLOOR: ~426 SF  
 TOTAL HEATED: 1,770 SF



Floor area calculations reflect a previous version with a third story.

## ARCHITECTURE



## OPEN SPACE



## PARKING BOSQUE

