

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

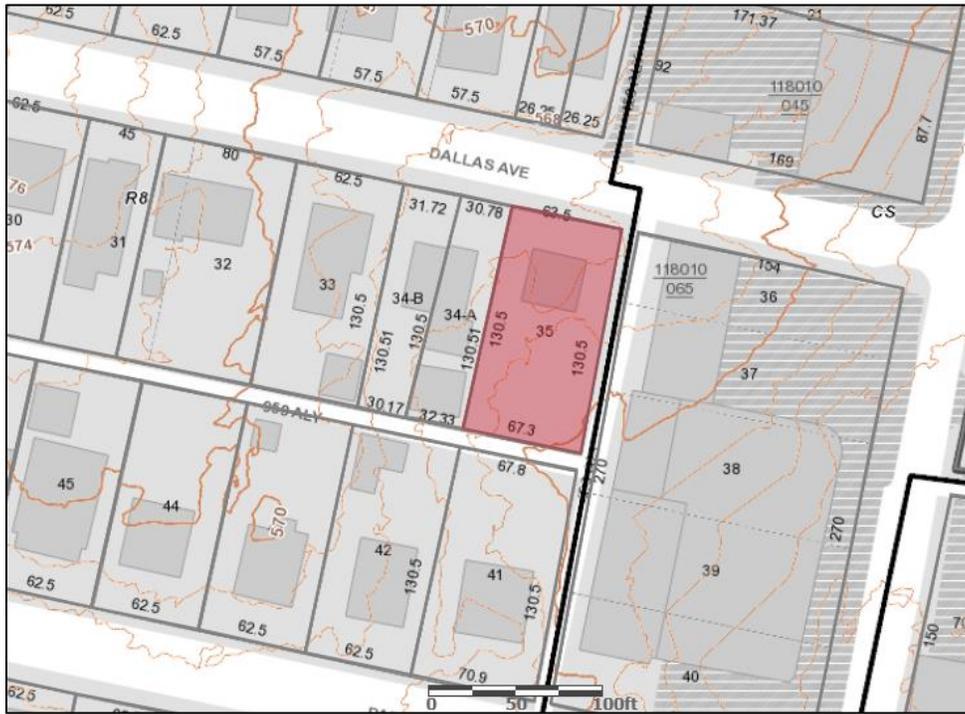
STAFF RECOMMENDATION
1207 Dallas Avenue
July 17, 2019

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

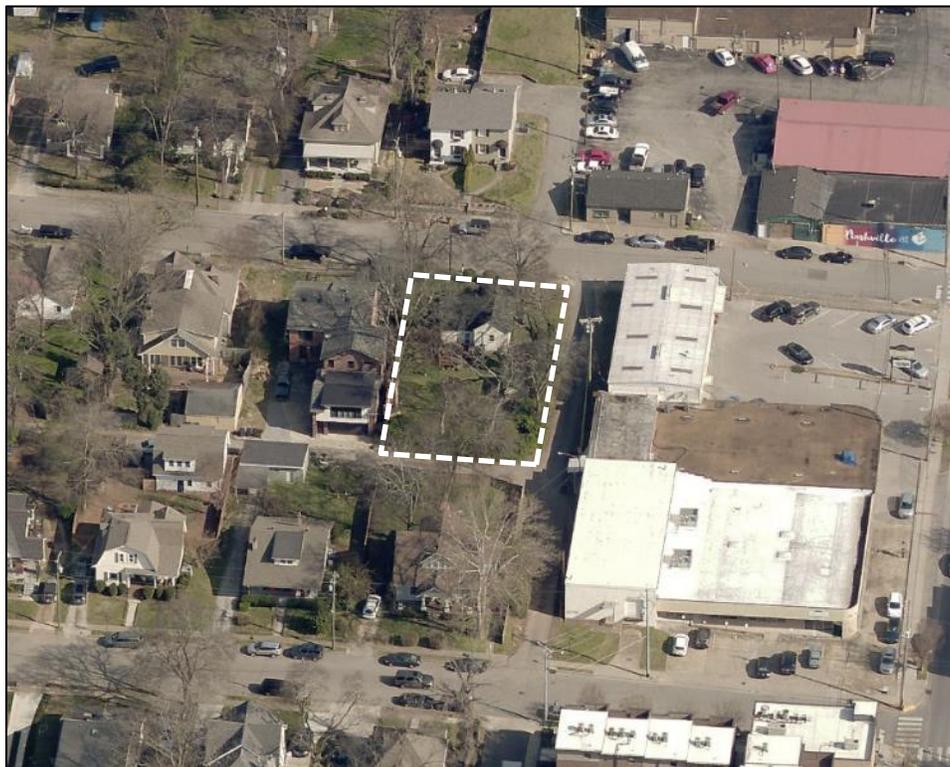
Application: Violation/Show Cause; New Construction—Addition and Outbuilding
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Base Zoning: R8
Map and Parcel Number: 11801006200
Applicant: Jason Peveler, Peveler Construction
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: Staff has ordered a Show Cause hearing for a rear addition and outbuilding that were constructed differently than permitted. The violations were discovered by MHZC Staff on May 21st, 2019 during a routine inspection, and the applicant was notified of the result by email that day. The applicant corresponded with MHZC Staff on June 11th and met on June 13th, and corresponded further by email on June 13th.</p> <p>The applicant is required to appear before the Commission and show cause as to why any original Preservation Permits should not be revoked by the Commission.</p> <p>Recommendation Summary: Staff recommends that the addition and outbuilding be reconstructed in a manner that matches the permits issued in December of 2018: HCP 2018070250 (Addition) and HCP 2018079303 (Outbuilding), with the non-compliant portions removed within sixty days (60) of the date of this hearing.</p> <p>Staff finds that the addition and outbuilding, as currently constructed, do not meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay, Sections II.B.1.a. (Height), II.B.1.b. (Scale), II.B.1.e. (Roof Shape), II.B.1.g. (Proportion and Rhythm of Openings), II.B.2 (Additions - subsections a & e), and II.B.2 III.B.h. (Outbuildings).</p>	<p>Attachments</p> <p>A: Elevations and Photographs</p> <p>B: Permits HCP 2018070250 (Addition), HCP 2018079303 (Outbuilding)</p>
---	--

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B GUIDELINES

1. NEW CONSTRUCTION

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

· The lot area on which a DADU is placed shall comply with Table 17.12.020A.

· The DADU may not exceed the maximums outlined previously for outbuildings.

· No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.

Density.
· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

Ownership.
a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.

- b. The DADU cannot be divided from the property ownership of the principal dwelling.*
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.*

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions should be a minimum of 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*

- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building.

In this instance, the side walls and roof of the addition must set in as is typical for all additions.

The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should

sit in a minimum of 1' and be at least twice as long as it is deep.
In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Rear & Side Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*

- *The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- *Dormers should generally be fully glazed and aprons below the window should be minimal.*
- *The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

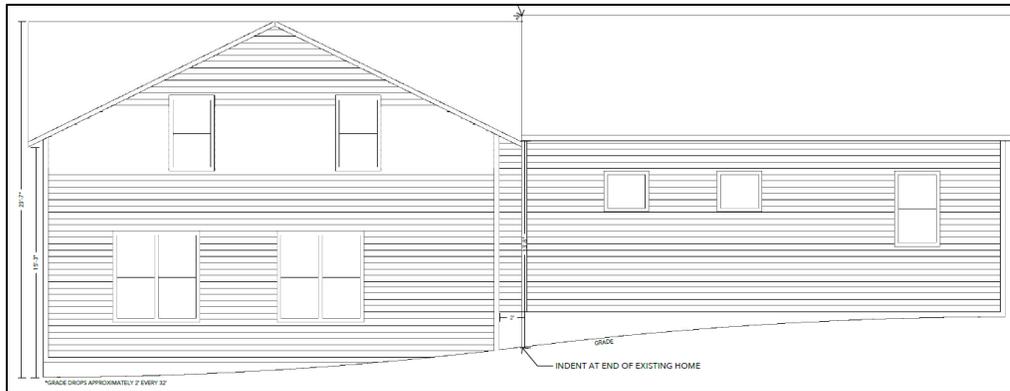
f. Additions should follow the guidelines for new construction.

Background: Staff has ordered a Show Cause hearing for an addition and outbuilding that were not constructed in accordance with plans approved by the MHZC in December of 2018.



Figure 1: 1207 Dallas Avenue

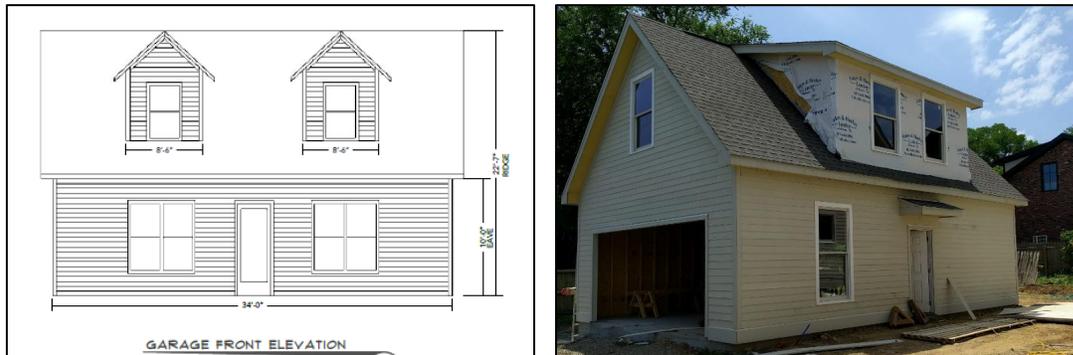
As approved, the addition was to gain an additional story below the primary floor level through a drop in grade, but the eaves of the addition were to align with the eaves of the historic house and the roof was would not be taller than the historic house's roof. The addition was approved to be behind the house and would extend wider to the left side, but would not impact the original front, sides, or roof of the historic building's form.



Figures 2 and 3: Figure 2 is a drawing from permit 2018-070250 showing the eaves of the addition were to be similar to the historic home and the ridge slightly below. Figure 3 is a photograph showing the eave height significantly taller than what was proposed and approved.

The addition has been constructed with eaves and a roof taller than the corresponding components of the historic house. The walls of the historic house have not been impacted by the addition, but rather than originating behind the original massing, the roof of the addition originates near the center of the structure, causing it to increase the height of a section of the roof and changing a portion of the gabled roof to a hipped roof.

Additionally, the outbuilding was constructed with a shed dormer stacking directly over the wall below, whereas it been approved with gabled dormers stepped back two feet (2').



Figures 4 and 5: Plans for outbuilding at 1207 Dallas on the left and during construction of outbuilding on the right. Note the shape and location of dormer in the photo on the right.

The violations were discovered by MHZC Staff on May 21st, 2019 during a routine inspection, and the applicant was notified of the failed inspection by email that afternoon.

The applicant and staff corresponded by email on June 11th and met on June 13th, and corresponded further by email on June 13th. The applicant was asked to propose a solution to correct the violation by July 1st at noon. No proposal was received by that deadline.

Analysis and Findings: The addition has been constructed taller than it was approved and with a different roof form.

Location & Removability: The front and side walls of the historic house were not impacted by the addition, and the massing of the addition is differentiated by an alcove that steps in two feet (2') deep and is two feet (2') wide before stepping wider and continuing to the rear. The roof of the addition, however, alters the form and increases the height of the side-facing gable of what was originally a typical one-story gabled-ell form with two matching roof ridge heights that met at a single point.



Figure 2: Front of 1207 Dallas Avenue prior to start of addition on the left, during construction of addition on the right. Note the taller and partially-hipped roof in the photo on the right.

In general, additions should not disturb the front or side of an historic house. Although a ridge-raise addition may be appropriate for a side-gabled house, 1207 Dallas Avenue is a gabled-ell form for which ridges raises have never been approved. Staff finds that the addition inappropriately alters the form of the historic house, and that the location and attachment of the addition does not meet Sections II.B.2.a. and II.B.2.e of the design guidelines.

Height & Scale: The addition was originally proposed and approved to be wider than the historic house, extending fourteen feet, six inches (14'-6") to the left side of the original structure, following a two foot by two-foot (2'x2') alcove. The roof ridge of the addition was to be six inches (6") lower than the existing roof ridge, and the eaves were to match those of the existing house. Additions that are wider than the historic home are generally not appropriate but approved, in this case, partially because of the small scale of the addition as compared to the historic building. As constructed, the eaves of the addition are approximately eight feet (8') taller than the original eave line, and the roof is approximately five feet (5') taller.

Staff finds that the eaves, roof ridge height, and overall scale of the addition are not subordinate to the historic house and that the two-story form is not compatible with the one-story historic house, therefore the addition as constructed does not meet sections II.B.1a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: The footprint of the addition matches what was approved. Staff finds that the addition meets section II.B.1.c of the design guidelines for setbacks.

Materials: The addition has been constructed with a poured concrete foundation and clad with cement-fiber siding and an asphalt-shingle roof. The MHZC has approved these materials for new construction and additions. The windows and doors were installed without approval and the materials are not known.

Staff does not have enough information to assess whether or not the materials meet section II.B.1.d. of the design guidelines.

Roof form: The roof of the addition impacts and alters the original roof form of the historic house near the midpoint of the building, and then rises to have an eave height of approximately eight feet (8') taller than the original eave line and a roof ridge approximately five feet (5') taller than the original roof. Staff finds that the roof of the addition is not compatible with that of the historic house, and that the addition as constructed does not meet Section II.B.1.e of the design guidelines.

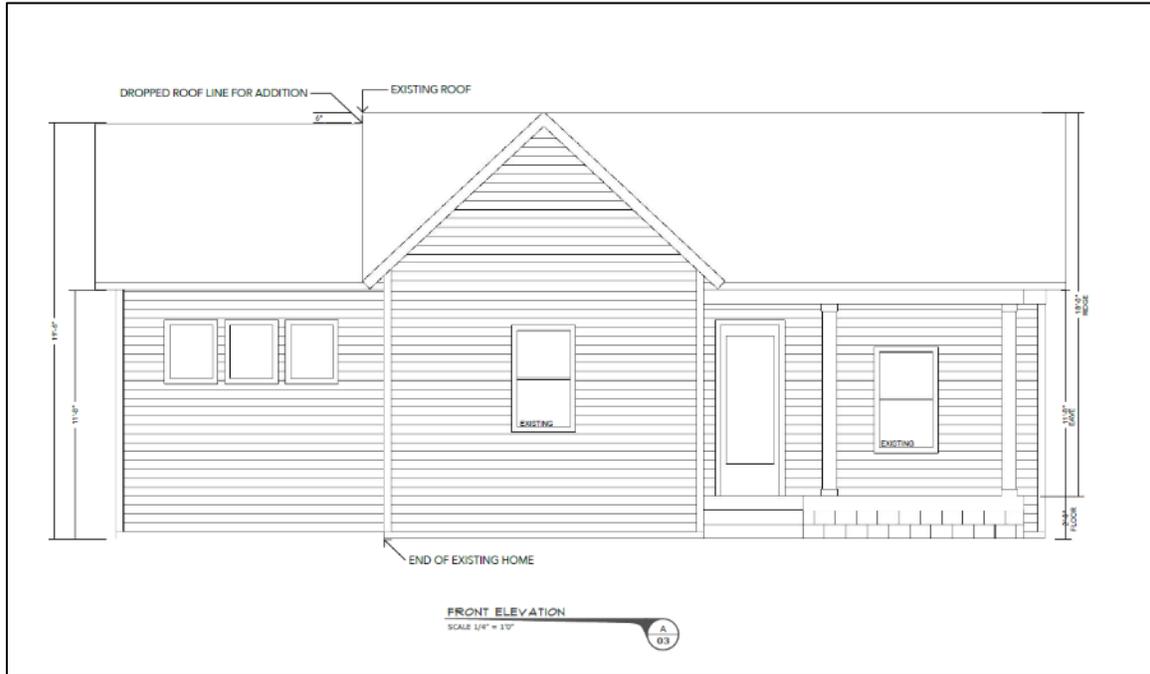
Proportion and Rhythm of Openings: Most of the windows on the proposed addition are generally twice as tall as they are wide, which is typical of the historic proportions of openings. A series of square windows were originally proposed to be on the front wall of the wider portion of the addition, however these windows were not installed. The scale of this wall without any opening is particularly noticeable because it faces the front, and is compounded by the inappropriate height of the wall, in great contrast with the rhythm and proportion of windows on the historic house. For this reason, staff finds that the addition as constructed does not meet Section II.B.1.g of the design guidelines.

Outbuilding: The outbuilding was approved to be one and one-half stories with a side-gabled roof with pairs of gabled dormers on both the front and rear. The dormers were approved to sit two feet (2') back from the first story walls below. The building has been constructed with the dormers as approved on the rear facade, but on the front there is a single shed-roofed dormer that is not stepped back from the first story wall. Staff finds that the outbuilding does not meet Section III.B.h. of the design guidelines, because of the wall dormer.

Recommendation: Staff recommends that the addition and outbuilding be reconstructed in a manner that matches the permits issued in December of 2018: HCP 2018070250 (Addition) and HCP 2018079303 (Outbuilding), with the non-compliant portions removed within sixty days (60) of the date of this hearing.

Staff finds that the addition and outbuilding, as currently constructed, do not meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay, Sections II.B.1.a. (Height), II.B.1.b. (Scale), II.B.1.e. (Roof Shape), II.B.1.g. (Proportion and Rhythm of Openings), II.B.2 (Additions - subsections a & e), and II.B.2 III.B.h. (Outbuildings).

ATTACHMENT A: ELEVATIONS & PHOTOGRAPHS



Front elevation of partially-constructed addition to 1207 Dallas Avenue, approved in December of 2018.



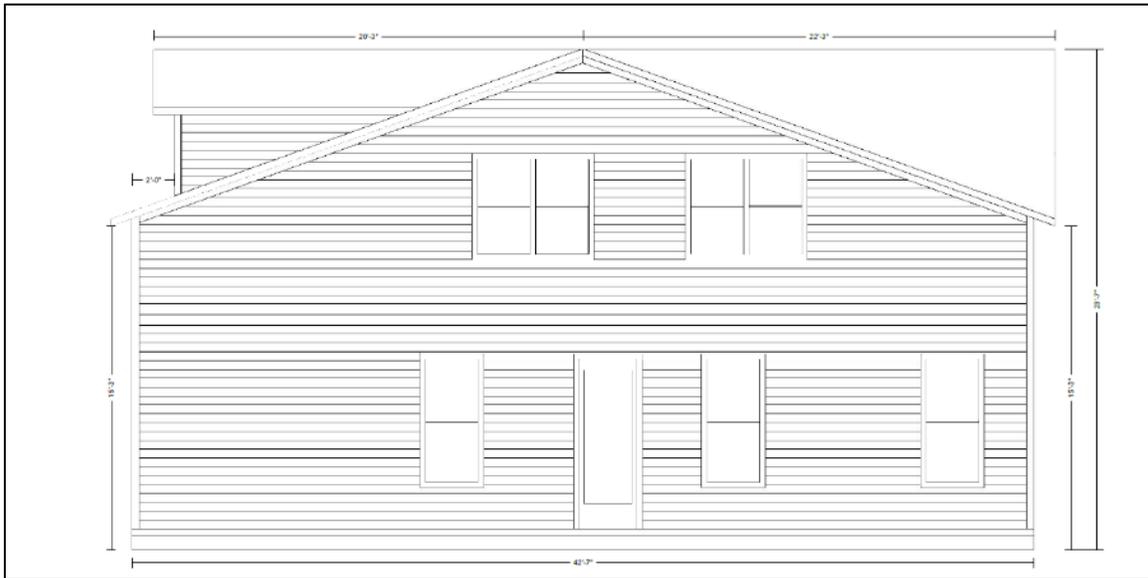
Front of 1207 Dallas Avenue, current condition.



Left elevation of addition to 1207 Dallas Avenue, approved in December of 2018.



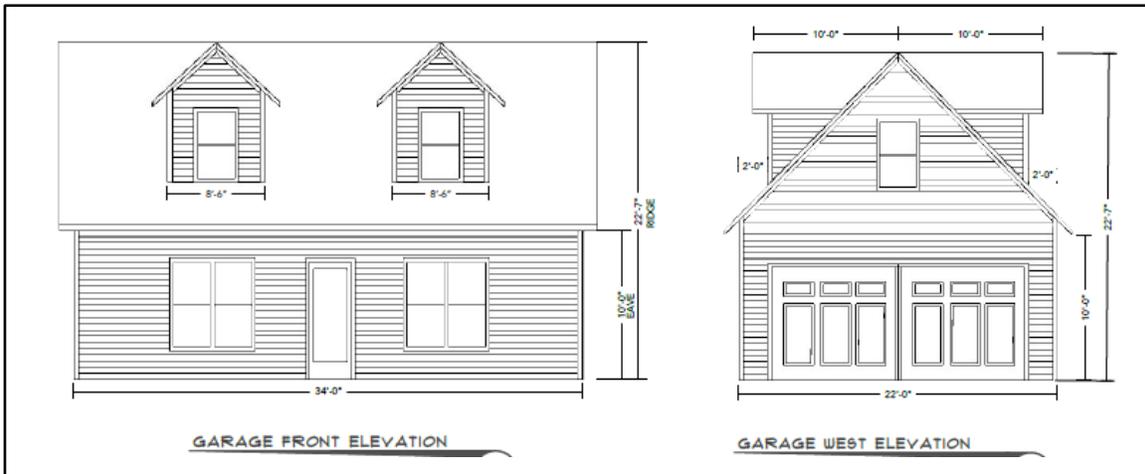
Left side of partially-constructed addition to 1207 Dallas Avenue, current condition.



Rear elevation of addition to 1207 Dallas Avenue, approved in December of 2018.



Rear of partially-constructed addition to 1207 Dallas Avenue, current condition.



Front (house facing) and left side (west) elevations of garage, approved December 2018.



Front-left oblique of partially-constructed garage at 1207 Dallas Avenue.



1208 Paris Avenue, front, in November 2018 prior to start of addition construction.



1208 Paris Avenue, left side, in November 2018 prior to start of addition construction.



1208 Paris Avenue, rear in November 2018 prior to start of addition construction.



1208 Paris Avenue, rear-left in November 2018 prior to start of addition construction.



3576293



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 2018070250

Entered on: 06-Nov-2018

Site Address

1207 DALLAS AVE
NASHVILLE TN, 37212

Historic District: Belmont-Hillsboro NCZO

Parcel Owner

CDH PROPERTIES, LLC
1207 DALLAS AVE
NASHVILLE, TN 37212

Purpose: Construct Rear Addition, Wider to Left Side (See attached architectural plans)

FOUNDATION

- Foundation material shall match the existing house, or shall be split-faced block, or shall be parged.

CLADDING & TRIM

- Siding, trim, railings, vents and associated elements are to be wood or cement fiberboard.
- Wood or cement fiberboard shall be smooth without simulated wood grain pattern or rough, unfinished appearance.
- All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.
- Overlapped siding shall match the exposure of existing siding on the house or shall have a maximum reveal of five inches (5"), unless otherwise specified on the plans.

WINDOWS & DOORS

- Window and door selections shall be approved by MHZC Staff prior to purchase/installation.
- Divided-light sashes shall have muntins on the outside and inside surfaces, with a spacer bar between.
- There shall be a four inch (4") mullion between any paired windows.
- Windows and doors on brick walls shall have brick-mold, windows on clapboard walls shall have four inch (4") nominal flat casing trim.

ROOF

- Roof shall be asphalt shingles, matching the color of the existing roof; or
- New roof colors shall be approved by MHZC Staff prior to purchase/installation.
- Removal of roof rafters, eaves, or other structural roof members on front or sides of original house is not approved.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the building or on the rear.



3576293

HISTORICAL COMMISSION PERMIT - 2018070250

GENERAL NOTES

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

REVIEWS REQUIRED - Call: (615) 862-7970:

ROOFING COLOR APPROVAL PRIOR TO INSTALLATION

WINDOWS APPROVAL PRIOR TO INSTALLATION

LIGHTING APPROVAL PRIOR TO INSTALLATION

DOOR APPROVAL PRIOR TO INSTALLATION

HVAC LOCATIONATION

INSPECTIONS REQUIRED - Call: (615) 862-7970:

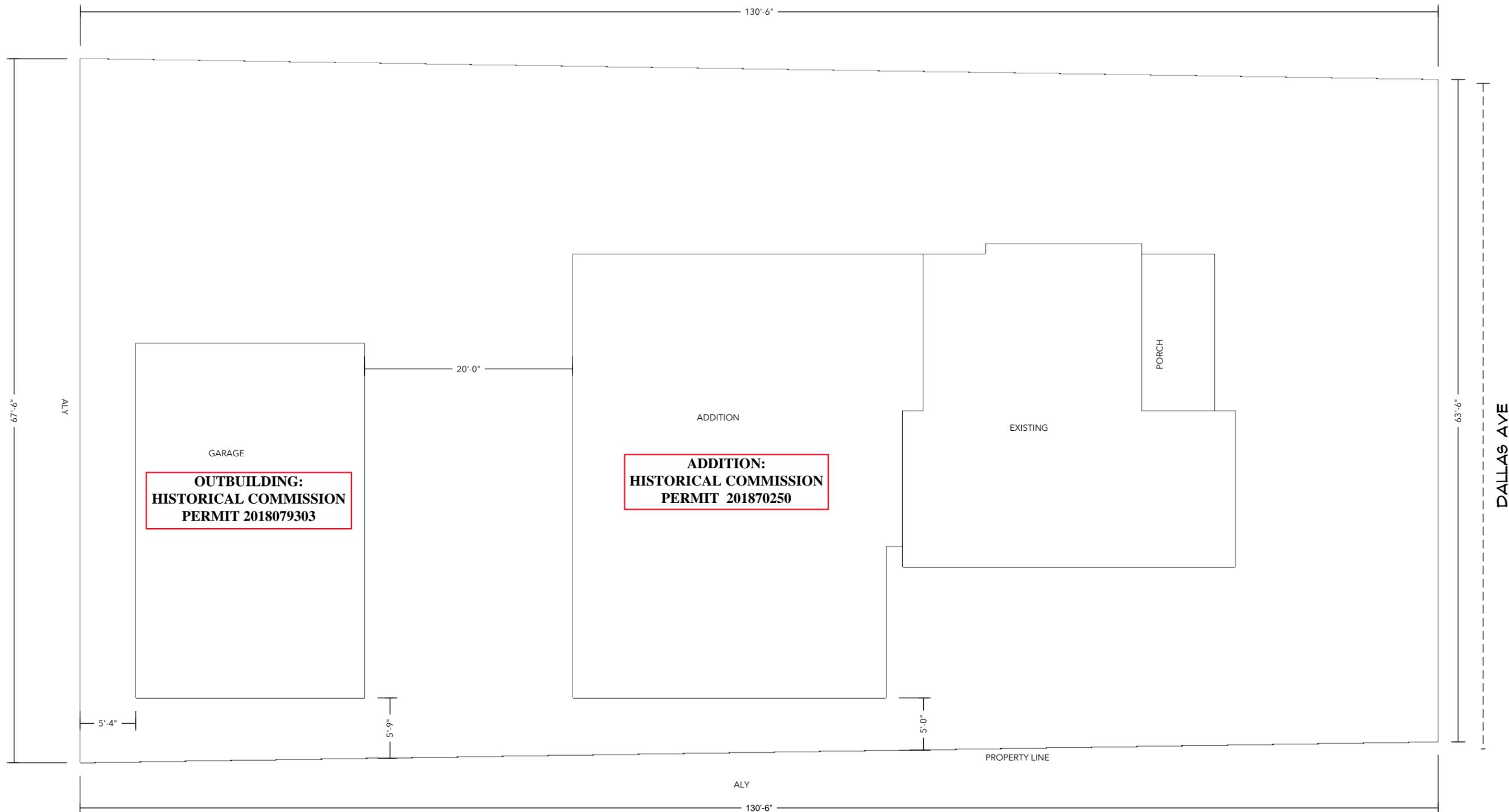
FIELD STAKING INSPECTION

FOUNDATION CHECK INSPECTION

ROUGH FRAMING INSPECTION

APPLICANT: Jason Peveler, Peveler Construction

Issued Date: 20-Dec-2018 **Issued By:** Sean Alexander



SITE PLAN

SCALE 1" = 10'

A
09

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)



CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

A

09

APPROX. AREA	
MAIN FLOOR LIVING	2014
TOP FLOOR LIVING	1275
TOTAL	3289
GARAGE BONUS	505

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

- Please refer to notes on pages 1-2.
- Staff must approve the construction progress at the three following points:
 - After the building footprint has been field staked
 - After the foundation has been constructed
 - After the rough framing has been completed
- The following must be submitted for final approval before purchase.
 - Windows and doors
 - Roof color (if not matched to principal building)

NOTES:
 - ALL INTERIOR AND EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED
 - EXTERIOR WALLS ARE DIMENSIONED EXTERIOR EDGE TO EXTERIOR EDGE
 - INTERIOR WALLS ARE DIMENSIONED INSIDE EDGE TO INSIDE EDGE UNLESS OTHERWISE NOTED OR DIMENSIONED
 - IF NOT NOTED, HVAC RETURN AND THERMOSTAT TO BE COORDINATED BETWEEN DESIGNER, CONTRACTOR, AND HOME OWNER
 - WINDOW LOCATIONS ARE DIMENSIONED TO CENTERLINE OF OPENING
 - IF NOT DIMENSIONED, DOORS TO BE 5" FROM ADJACENT WALL, OR CENTERED AS APPROPRIATE.
 - CONTRACTOR WILL PROVIDE ADDITIONAL STRUCTURE AS REQUIRED TO SUPPORT EQUIPMENT AND/OR MISC. ITEMS INCLUDING, BUT NOT LIMITED TO CASEWORK, CABINETS, TUBS, CEILING/ ROOF SUPPORT, ETC.

CEILINGS:
 - EXISTING HOME 10'
 - ADDITION 1ST FLOOR 10'
 - ADDITION 2ND FLOOR 8'
 *TO BE FIELD CORRECTED AS NEEDED

WINDOWS:
 - 1ST FLOOR ADDITION WINDOWS FRAMED AT 8"
 - 2ND FLOOR ADDITION WINDOWS FRAMED AT 6"
 *TO BE FIELD CORRECTED AS NEEDED

ALL ILLUSTRATIONS AND DIMENSIONS USED ARE FOR ILLUSTRATIVE PURPOSES AND ARE INTENDED TO CONVEY THE CONCEPT AND VISION. THEY ARE FOR GUIDANCE, AND MAY ALTER AS WORK PROGRESSES AND DO NOT NECESSARILY REPRESENT A TRUE AND ACCURATE DEPICTION OF THE FINISHED PRODUCT.
 FLOOR PLANS ARE INTENDED TO GIVE A GENERAL INDICATION OF THE PROPOSED LAYOUT. LANE DESIGN ASSUMES NO LIABILITY. BUILDER OR CONTRACTOR MUST VERIFY PLANS PRIOR TO CONSTRUCTION, INCLUDING COMPLIANCE WITH BUILDING CODES.



CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

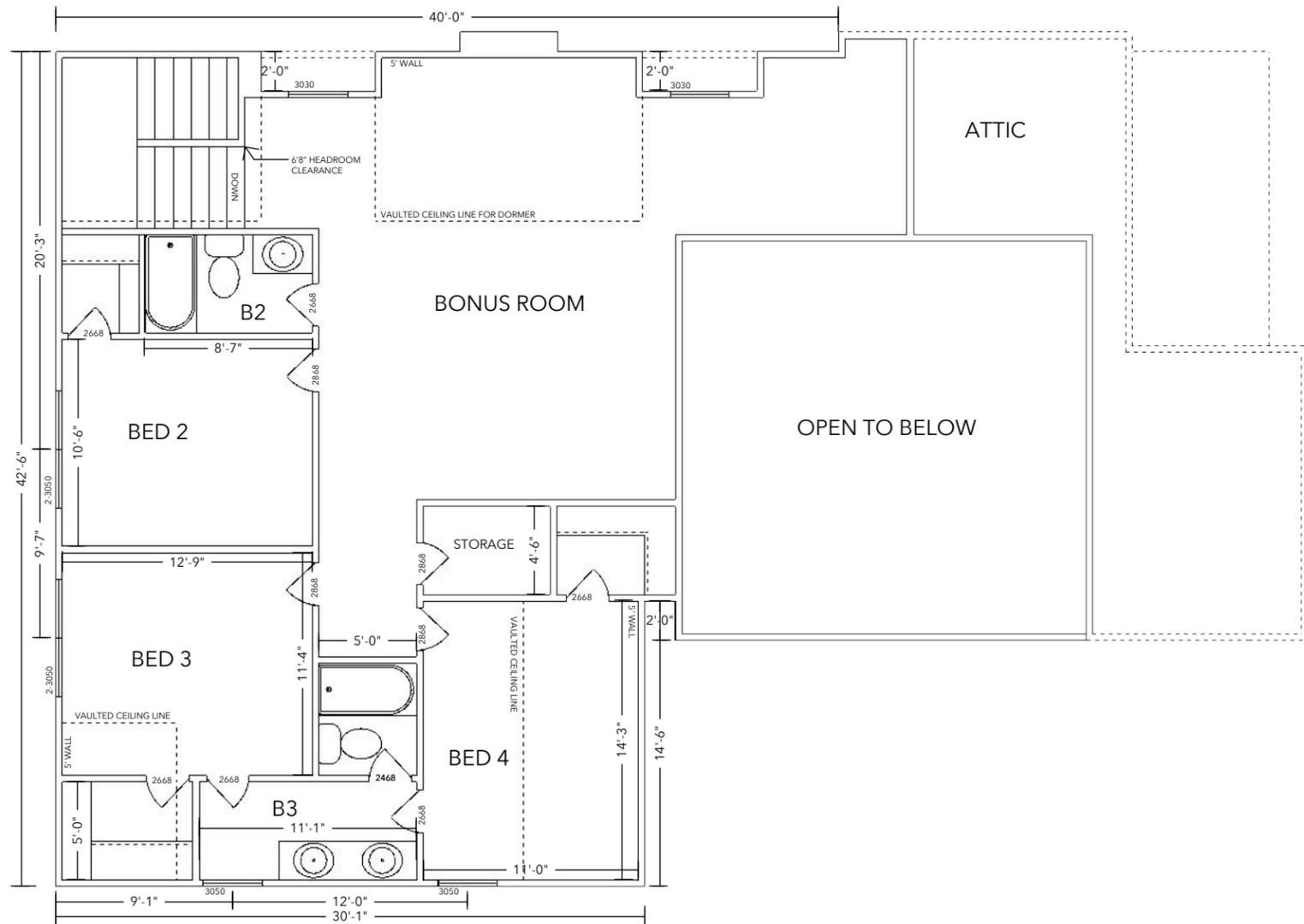
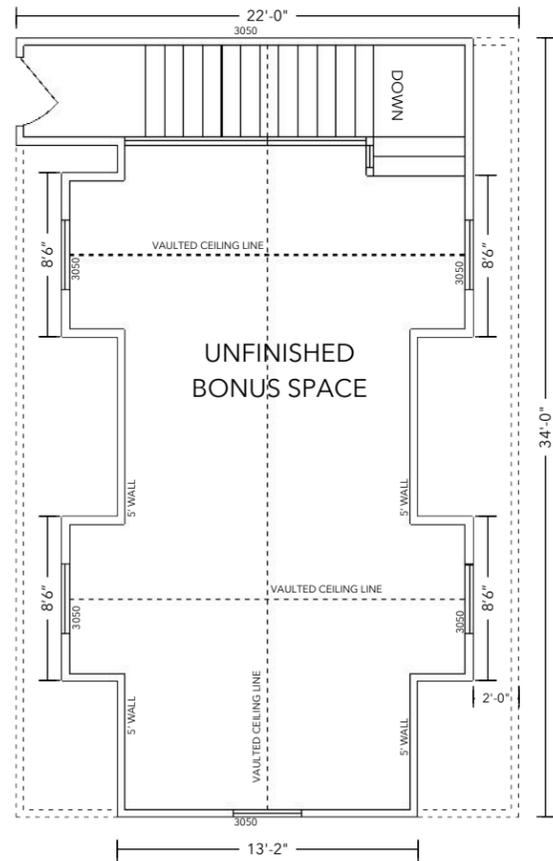
PREPARED BY
WHITNEY LANE

A

02

**ADDITION: HISTORICAL
COMMISSION PERMIT 201870250**

**OUTBUILDING: HISTORICAL
COMMISSION PERMIT 2018079303**



PROPERTY LINE

SECOND FLOOR

SCALE 1/8" = 1'-0"

A
02

HISTORICAL COMMISSION PERMIT 2018070250
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)



FRONT ELEVATION

SCALE 1/4" = 1'0"

HISTORICAL COMMISSION PERMIT 2018070250 -- MHZC NOTES; CALL 615-862-7970 WITH ANY QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not regulate use.
4. Exterior materials shall be finish grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Siding and trim shall be wood or cement-fiberboard (ex: Hardi), and shall be smooth-faced.
6. Overlapped siding shall have an exposure of five inches (5"), or shall match the exposure of the existing building.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner on frame walls.
8. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate.
9. Double and triple windows shall have 4" to 6" mullions between.
10. Four inch (4" nominal) casing trim required around doors, windows and vents within frame walls. Windows on frame structures shall not have brick-mold.
11. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.



CLIENT
DALLON HUDSON

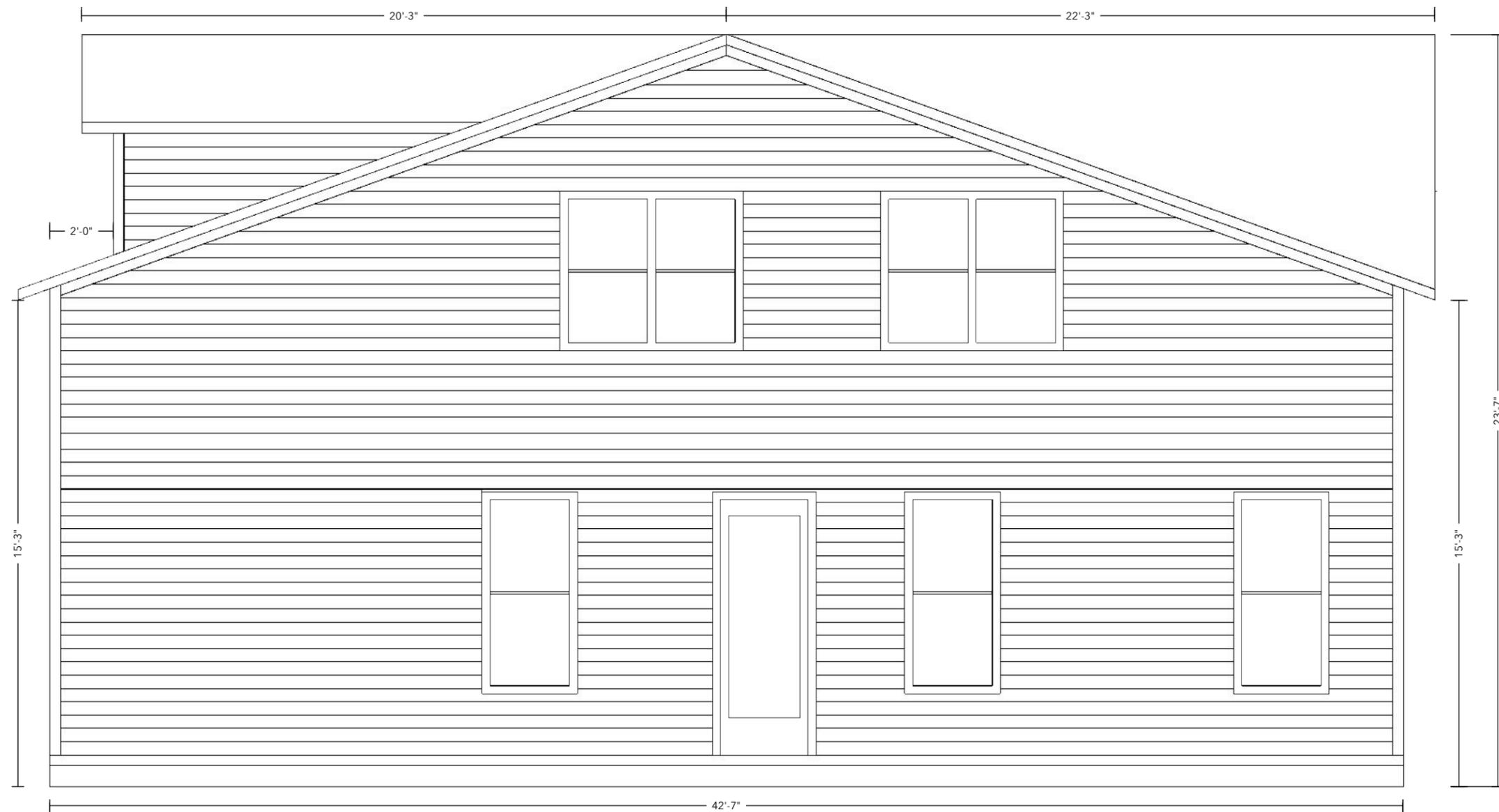
ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

A

03



BACK ELEVATION

SCALE 1/4" = 1'0"

A
04

HISTORICAL COMMISSION PERMIT 2018070250
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

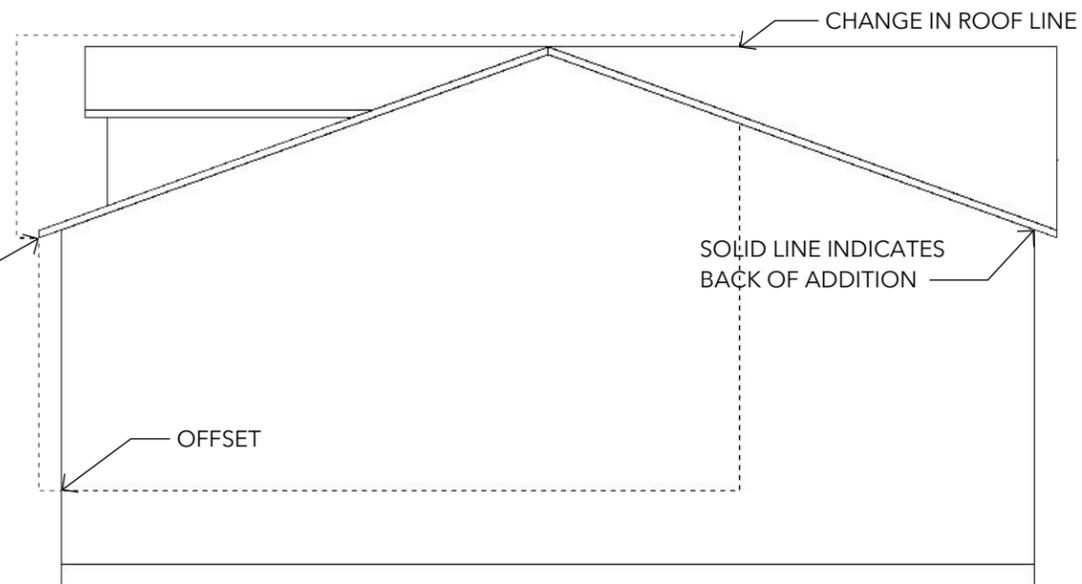
1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)

DOTTED LINE INDICATES
 BACK OF EXISTING HOME

BACK SECTION

SCALE 1/8" = 1'0"

A
04




 Lane Design

CLIENT
DALLON HUDSON

ISSUE
 08.07.18
 REVISED
 11.30.2018

PROJECT NO.
 N/A
 PROJECT
 1207 DALLAS AVE
 NASHVILLE, TN 37212

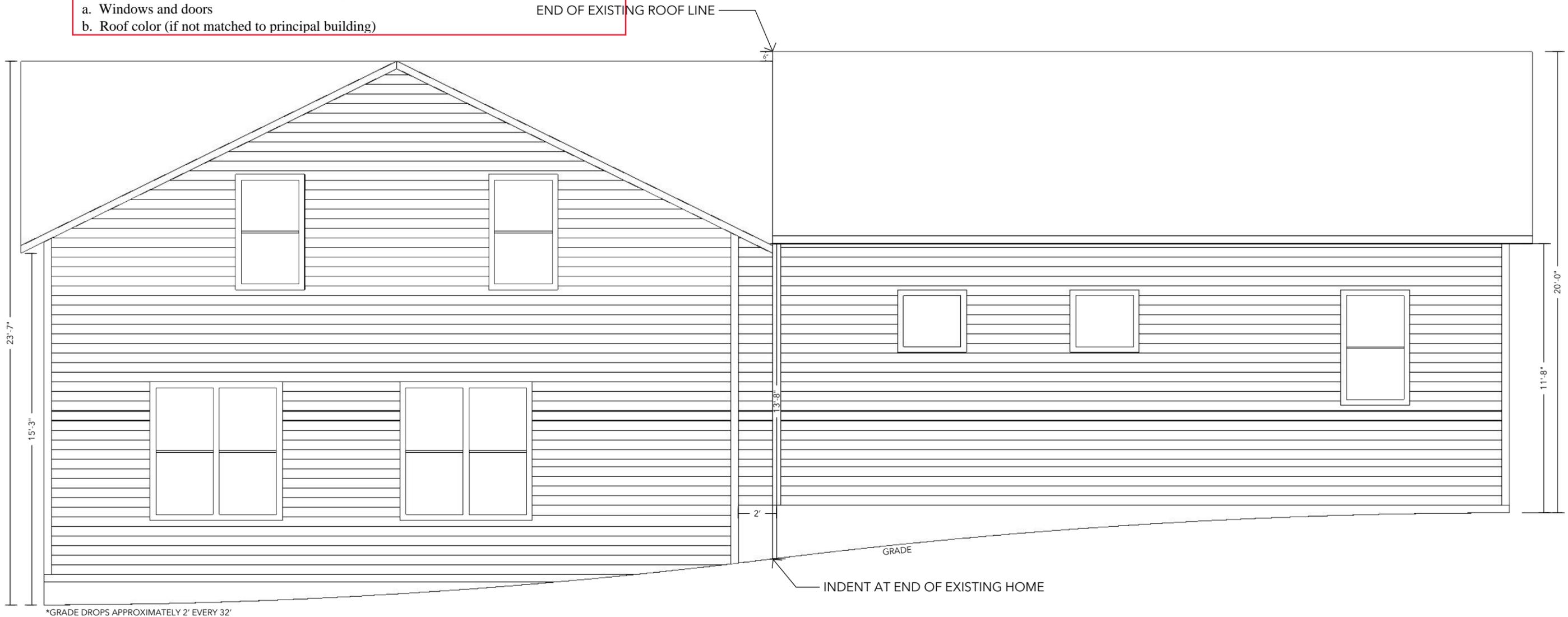
PREPARED BY
 WHITNEY LANE

A

04

HISTORICAL COMMISSION PERMIT 2018070250
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)



WEST ELEVATION
 NOT TO SCALE



HISTORICAL COMMISSION PERMIT 2018070250 -- MHZC NOTES; CALL 615-862-7970 WITH ANY QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not regulate use.
4. Exterior materials shall be finish grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Siding and trim shall be wood or cement-fiberboard (ex: Hardi), and shall be smooth-faced.
6. Overlapped siding shall have an exposure of five inches (5"), or shall match the exposure of the existing building.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner on frame walls.
8. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate.
9. Double and triple windows shall have 4" to 6" mullions between.
10. Four inch (4" nominal) casing trim required around doors, windows and vents within frame walls. Windows on frame structures shall not have brick-mold.
11. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.



CLIENT
 DALLON HUDSON

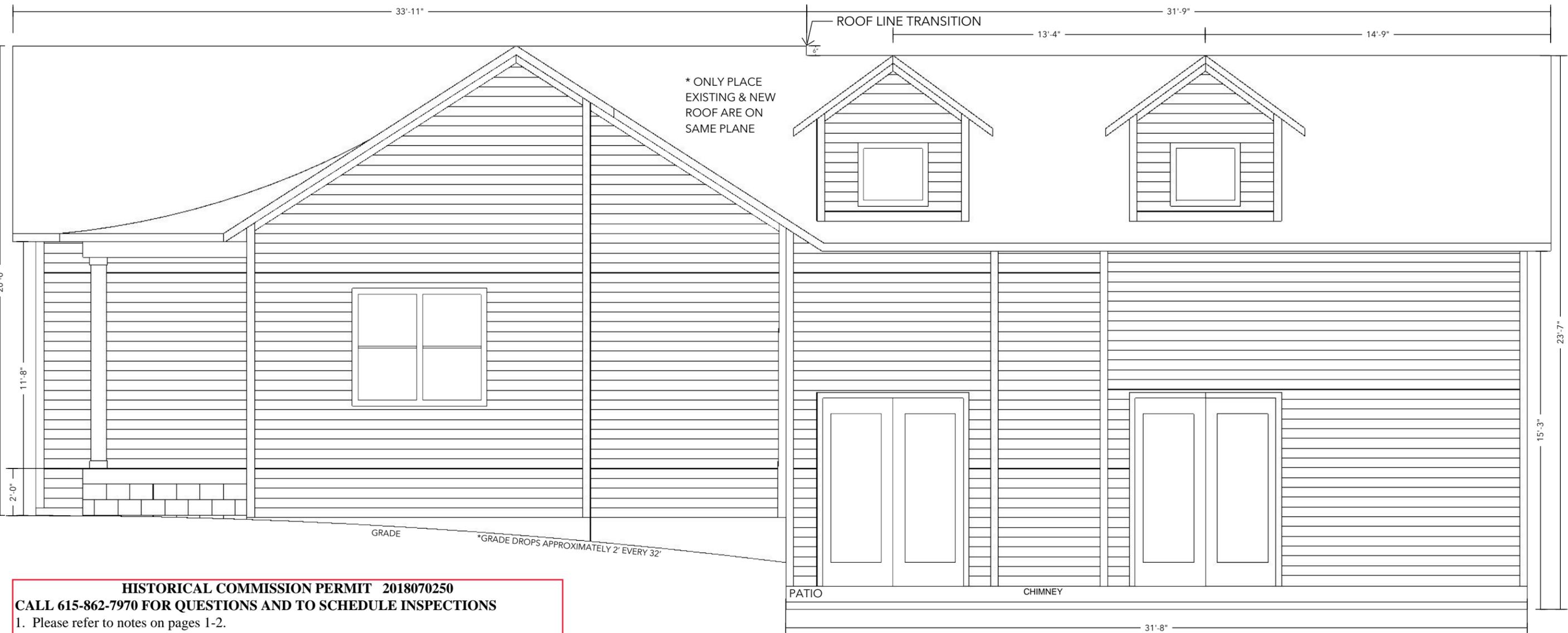
ISSUE
 08.07.18
 REVISED
 11.30.2018

PROJECT NO.
 N/A
 PROJECT
 1207 DALLAS AVE
 NASHVILLE, TN 37212

PREPARED BY
 WHITNEY LANE

A

05



EAST ELEVATION

NOT TO SCALE



HISTORICAL COMMISSION PERMIT 2018070250
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

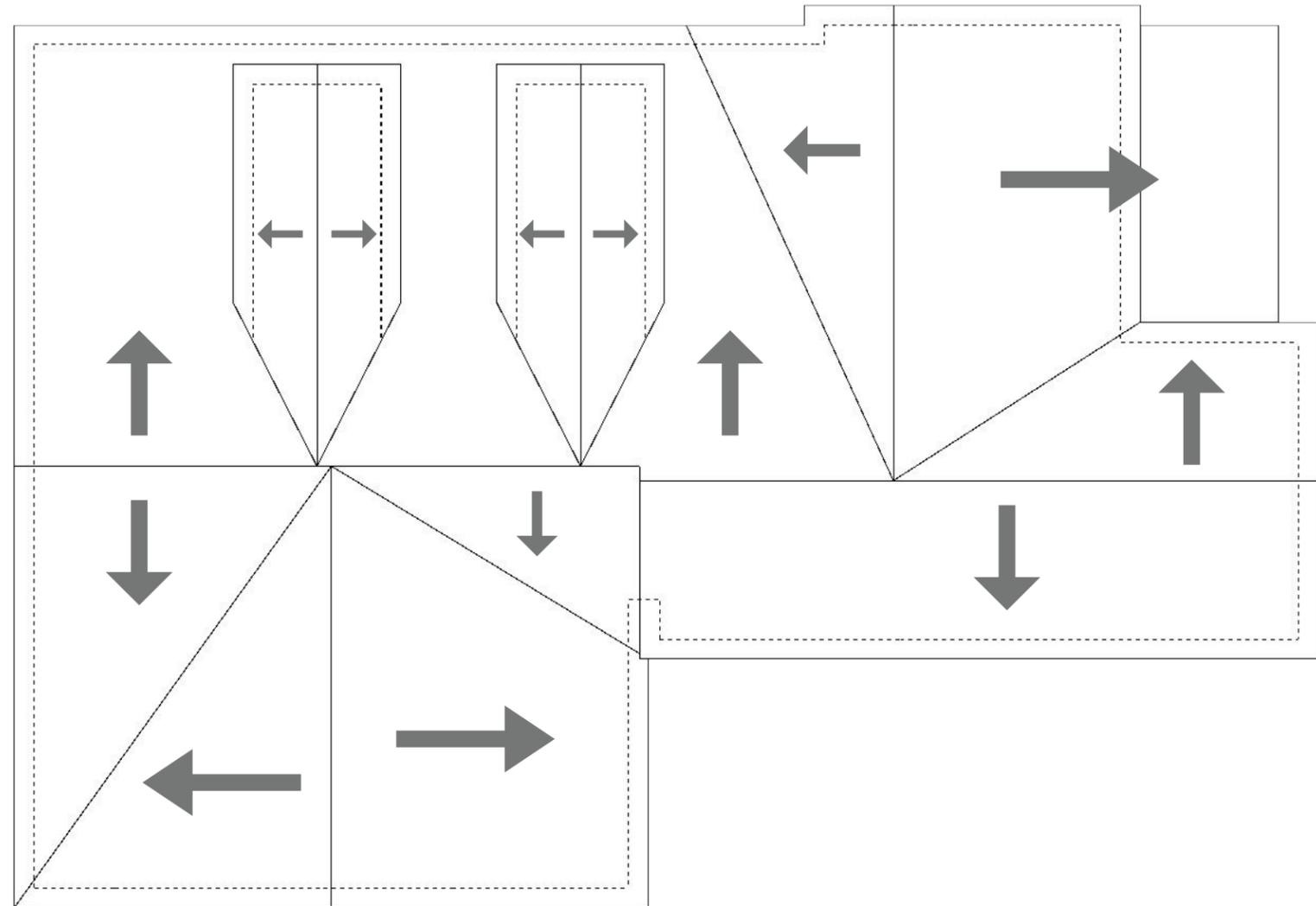
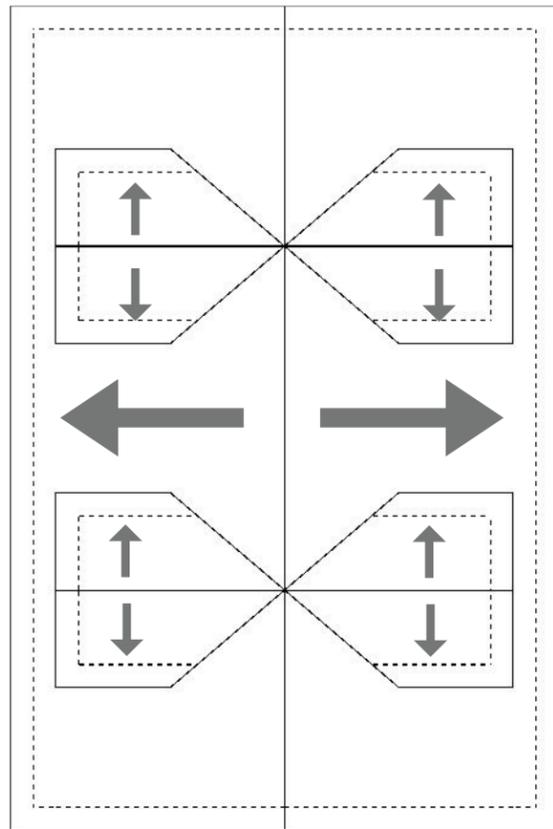
1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)

HISTORICAL COMMISSION PERMIT 2018070250 -- MHZC NOTES; CALL 615-862-7970 WITH ANY QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not regulate use.
4. Exterior materials shall be finish grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Siding and trim shall be wood or cement-fiberboard (ex: Hardi), and shall be smooth-faced.
6. Overlapped siding shall have an exposure of five inches (5"), or shall match the exposure of the existing building.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner on frame walls.
8. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate.
9. Double and triple windows shall have 4" to 6" mullions between.
10. Four inch (4" nominal) casing trim required around doors, windows and vents within frame walls. Windows on frame structures shall not have brick-mold.
11. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

**ADDITION: HISTORICAL
COMMISSION PERMIT 201870250**

**OUTBUILDING: HISTORICAL
COMMISSION PERMIT 2018079303**



ROOF PLAN

SCALE 1/8" = 1'0"

A
08

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)

CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

A

08



3589119



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 2018079303

Entered on: 20-Dec-2018

Site Address

1207 DALLAS AVE
NASHVILLE TN, 37212

Historic District: Belmont-Hillsboro NCZO

Parcel Owner

CDH PROPERTIES, LLC
1207 DALLAS AVE
NASHVILLE, TN 37212

Purpose: Construct Outbuilding (See attached architectural plans)

FOUNDATION

- Foundation shall be slab-on-grade, or exposed material shall match the existing house or shall be split-faced block.

CLADDING & TRIM

- Siding, trim, railings, vents and associated elements are to be wood or cement fiberboard.
- Wood or cement fiberboard shall be smooth without simulated wood grain pattern or rough, unfinished appearance.
- All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.
- Overlapped siding shall match the exposure of siding on the house or shall have a maximum reveal of five inches (5").

WINDOWS & DOORS

- Window and door selections shall be approved by MHZC Staff prior to purchase/installation.
- Divided-light sashes shall have muntins on the outside and inside surfaces, with a spacer bar between.
- There shall be a four inch (4") mullion between any paired windows.
- Windows and doors on clapboard structures shall not have brick-mold and shall have four inch (4") nominal wood casings.

ROOF

- Roof shall be asphalt shingles, matching the color of the house's roof; or
- New roof colors shall be approved by MHZC Staff prior to purchase/installation.



3589119

HISTORICAL COMMISSION PERMIT - 2018079303

GENERAL NOTES

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

REVIEWS REQUIRED - Call: (615) 862-7970:

ROOFING COLOR APPROVAL PRIOR TO INSTALLATION

WINDOWS APPROVAL PRIOR TO INSTALLATION

GARAGE DOOR APPROVAL PRIOR TO INSTALLATION

DOOR APPROVAL PRIOR TO INSTALLATION

INSPECTIONS REQUIRED - Call: (615) 862-7970:

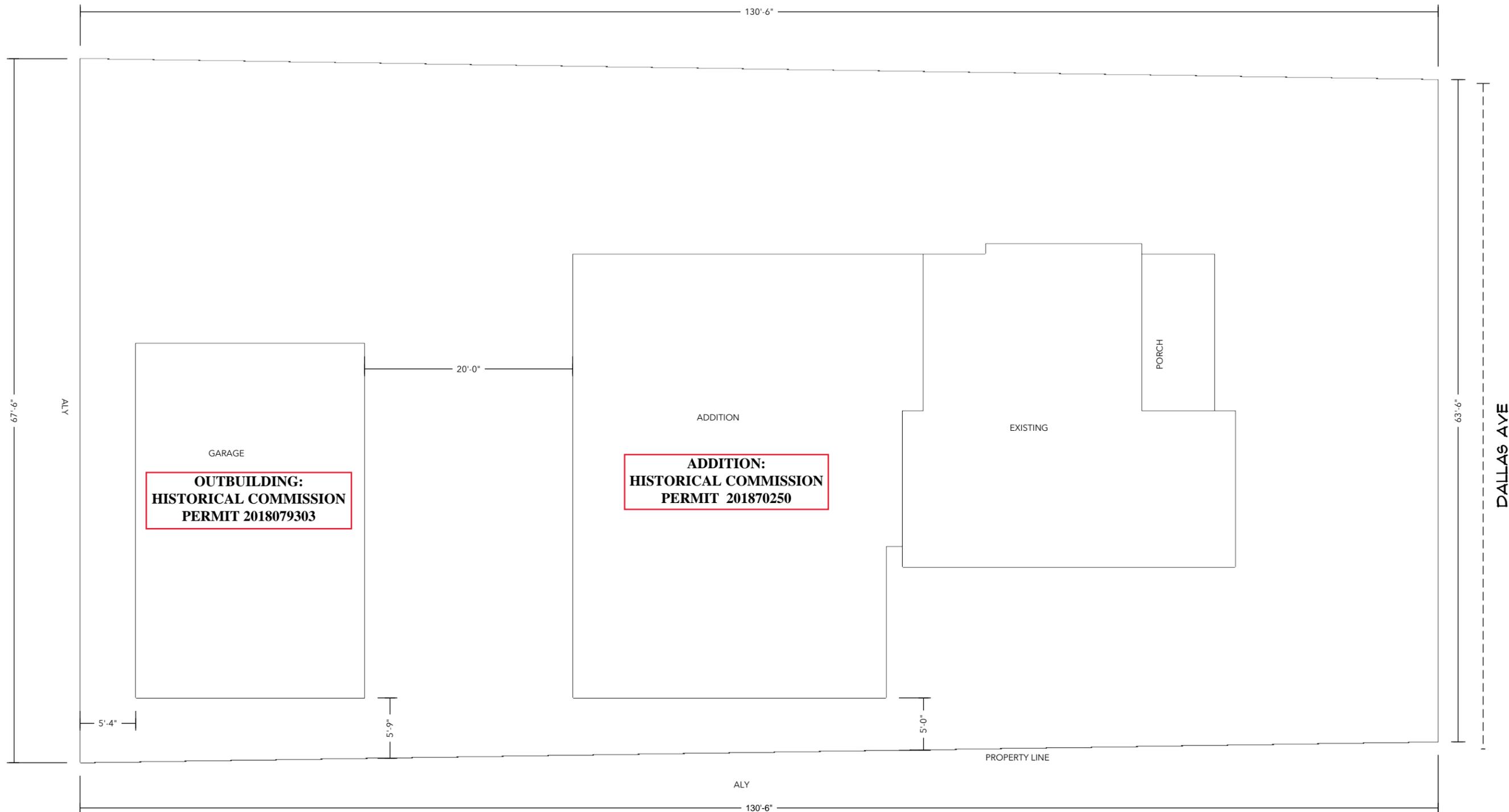
FIELD STAKING INSPECTION

FOUNDATION CHECK INSPECTION

ROUGH FRAMING INSPECTION

APPLICANT: Jason Peveler, Peveler Construction

Issued Date: 20-Dec-2018 **Issued By:** Sean Alexander



SITE PLAN

SCALE 1" = 10'

A
09

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)



CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

A

09

APPROX. AREA	
MAIN FLOOR LIVING	2014
TOP FLOOR LIVING	1275
TOTAL	3289
GARAGE BONUS	505

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

- Please refer to notes on pages 1-2.
- Staff must approve the construction progress at the three following points:
 - After the building footprint has been field staked
 - After the foundation has been constructed
 - After the rough framing has been completed
- The following must be submitted for final approval before purchase.
 - Windows and doors
 - Roof color (if not matched to principal building)

NOTES:
 - ALL INTERIOR AND EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED
 - EXTERIOR WALLS ARE DIMENSIONED EXTERIOR EDGE TO EXTERIOR EDGE
 - INTERIOR WALLS ARE DIMENSIONED INSIDE EDGE TO INSIDE EDGE UNLESS OTHERWISE NOTED OR DIMENSIONED
 - IF NOT NOTED, HVAC RETURN AND THERMOSTAT TO BE COORDINATED BETWEEN DESIGNER, CONTRACTOR, AND HOME OWNER
 - WINDOW LOCATIONS ARE DIMENSIONED TO CENTERLINE OF OPENING
 - IF NOT DIMENSIONED, DOORS TO BE 5" FROM ADJACENT WALL, OR CENTERED AS APPROPRIATE.
 - CONTRACTOR WILL PROVIDE ADDITIONAL STRUCTURE AS REQUIRED TO SUPPORT EQUIPMENT AND/OR MISC. ITEMS INCLUDING, BUT NOT LIMITED TO CASEWORK, CABINETS, TUBS, CEILING/ ROOF SUPPORT, ETC.

CEILINGS:
 - EXISTING HOME 10'
 - ADDITION 1ST FLOOR 10'
 - ADDITION 2ND FLOOR 8'
 *TO BE FIELD CORRECTED AS NEEDED

WINDOWS:
 - 1ST FLOOR ADDITION WINDOWS FRAMED AT 8"
 - 2ND FLOOR ADDITION WINDOWS FRAMED AT 6"
 *TO BE FIELD CORRECTED AS NEEDED

ALL ILLUSTRATIONS AND DIMENSIONS USED ARE FOR ILLUSTRATIVE PURPOSES AND ARE INTENDED TO CONVEY THE CONCEPT AND VISION. THEY ARE FOR GUIDANCE, AND MAY ALTER AS WORK PROGRESSES AND DO NOT NECESSARILY REPRESENT A TRUE AND ACCURATE DEPICTION OF THE FINISHED PRODUCT. FLOOR PLANS ARE INTENDED TO GIVE A GENERAL INDICATION OF THE PROPOSED LAYOUT. LANE DESIGN ASSUMES NO LIABILITY. BUILDER OR CONTRACTOR MUST VERIFY PLANS PRIOR TO CONSTRUCTION, INCLUDING COMPLIANCE WITH BUILDING CODES.



CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

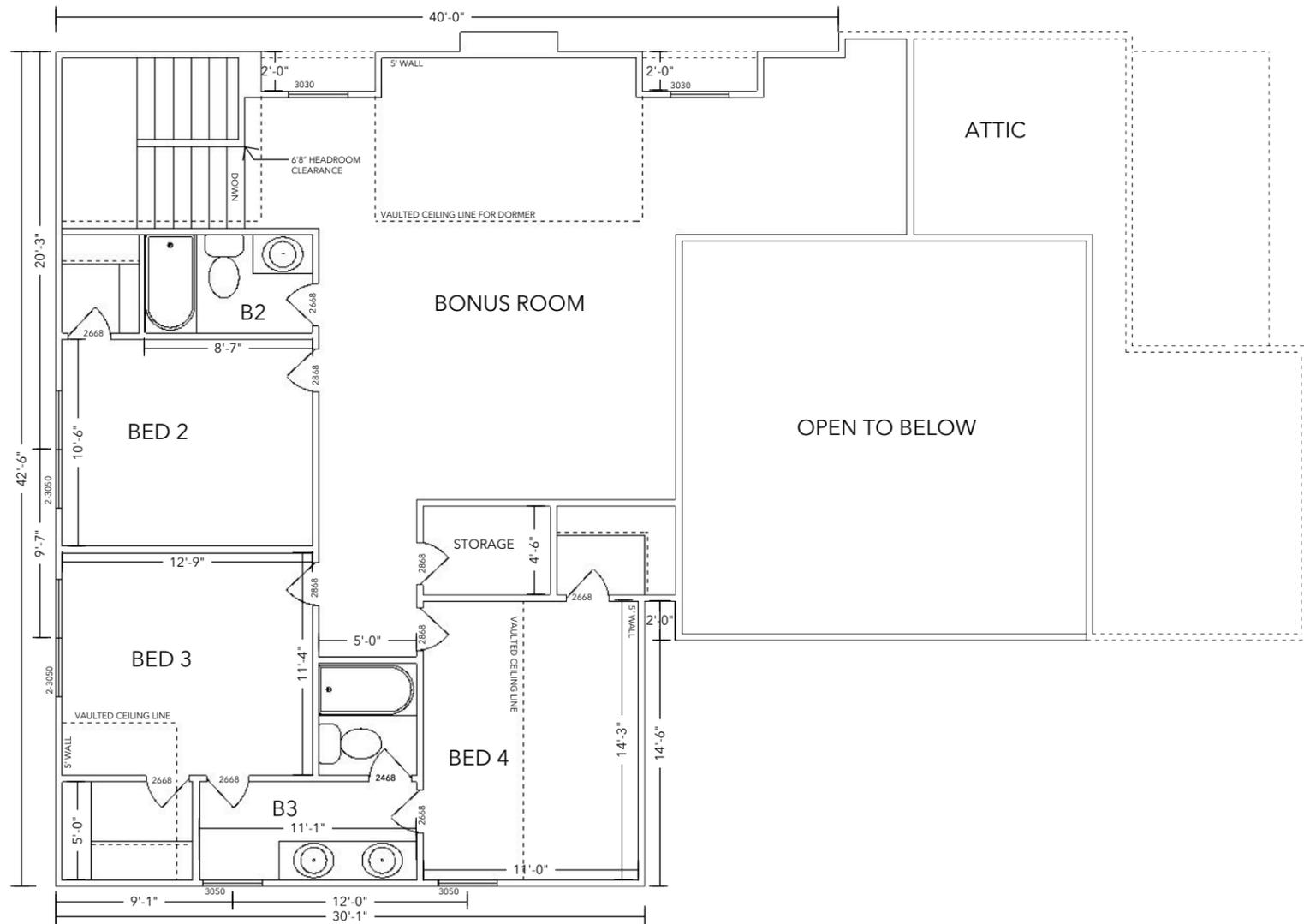
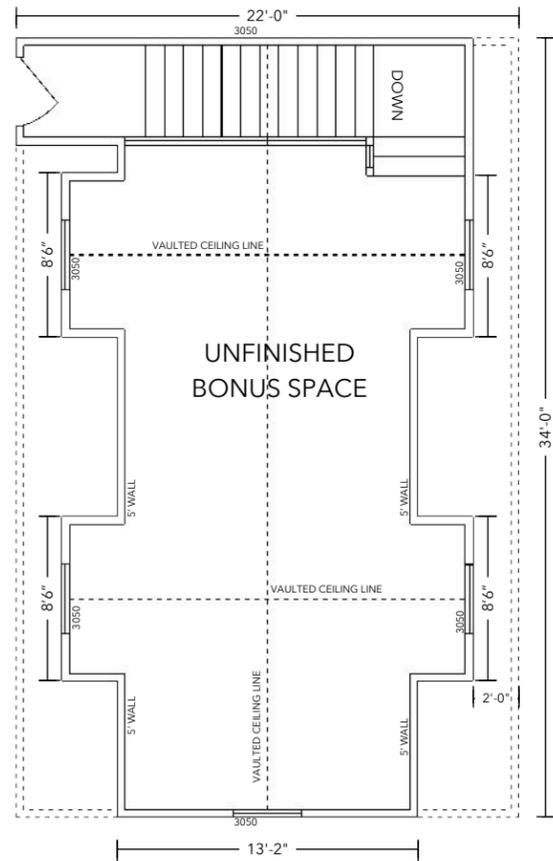
PREPARED BY
WHITNEY LANE

A

02

**ADDITION: HISTORICAL
COMMISSION PERMIT 201870250**

**OUTBUILDING: HISTORICAL
COMMISSION PERMIT 2018079303**

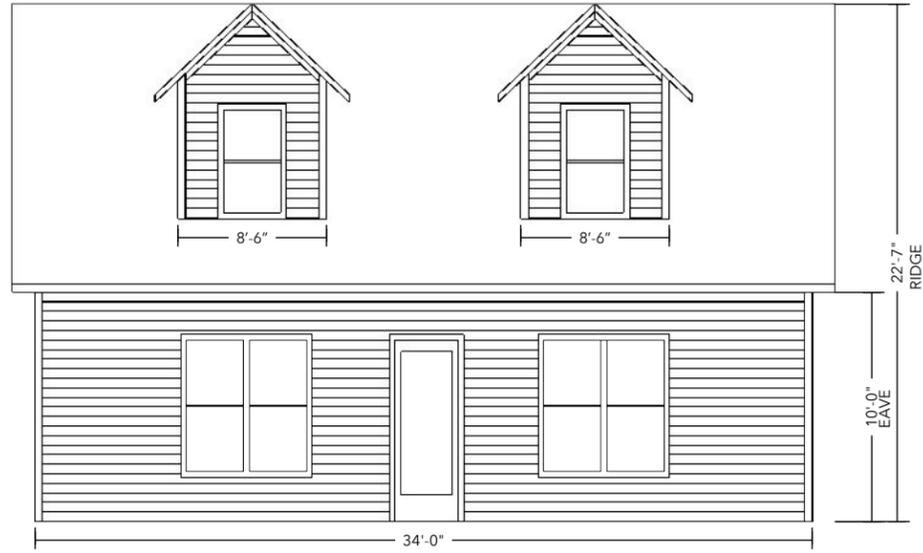


PROPERTY LINE

SECOND FLOOR

SCALE 1/8" = 1'-0"

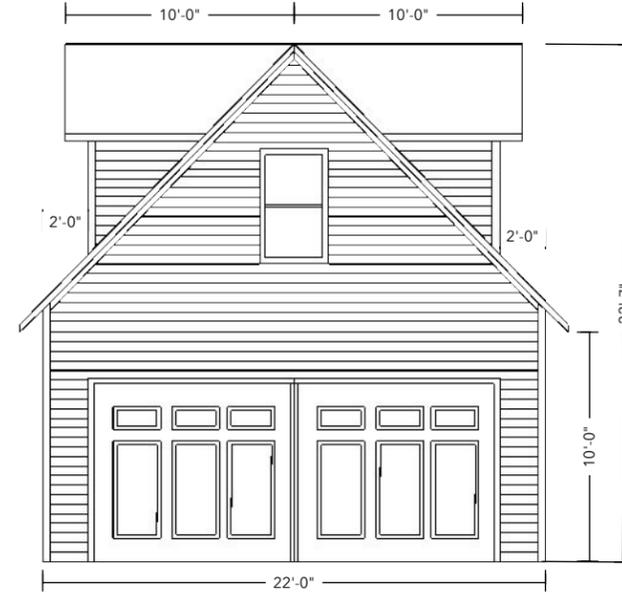
A
02



GARAGE FRONT ELEVATION

SCALE 1/8" = 1'0"

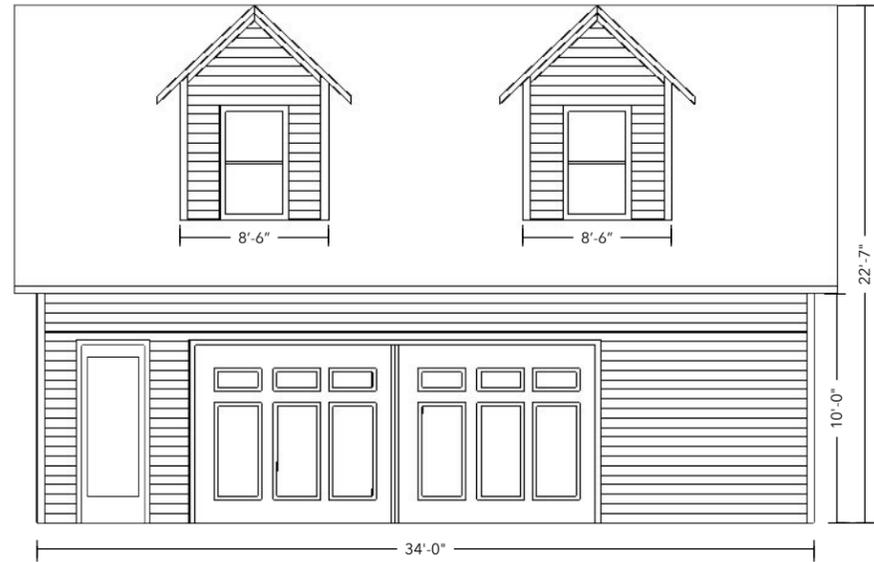
A
07



GARAGE WEST ELEVATION

SCALE 1/8" = 1'0"

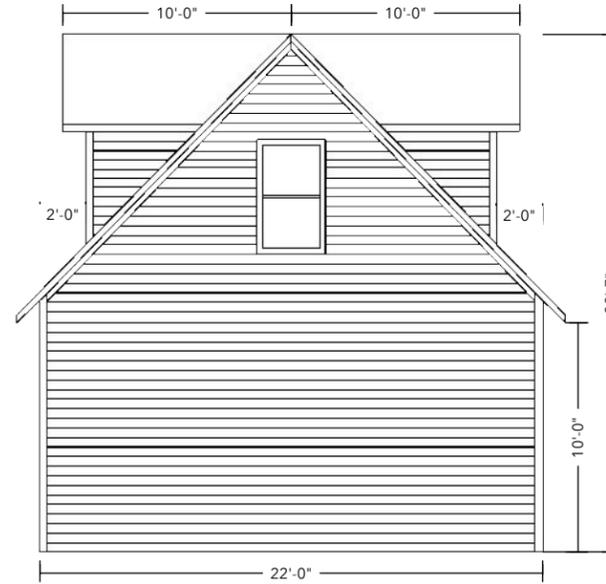
A
07



GARAGE BACK ELEVATION

SCALE 1/8" = 1'0"

A
07



GARAGE EAST ELEVATION

SCALE 1/8" = 1'0"

A
07

HISTORICAL COMMISSION PERMIT 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)



CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

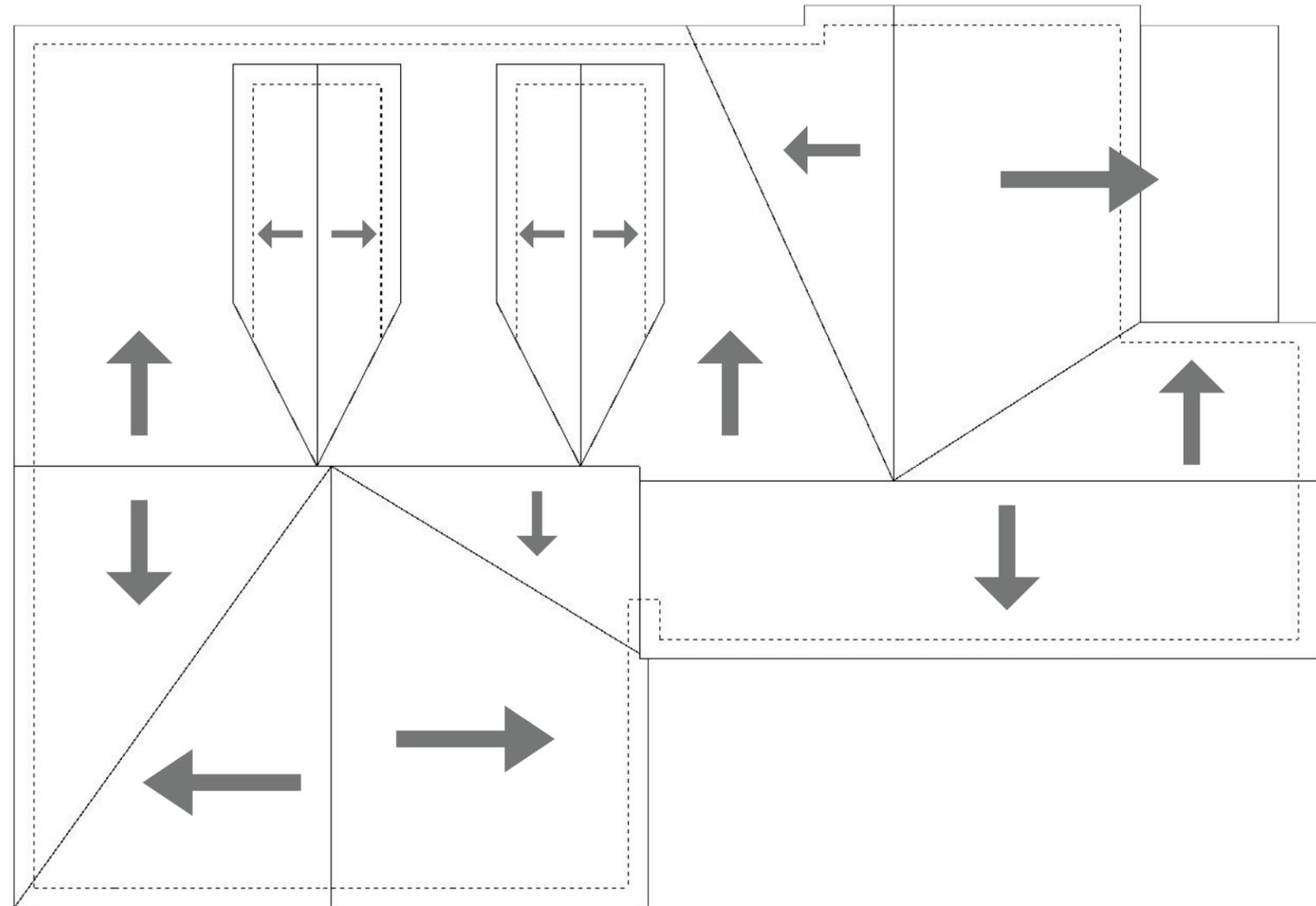
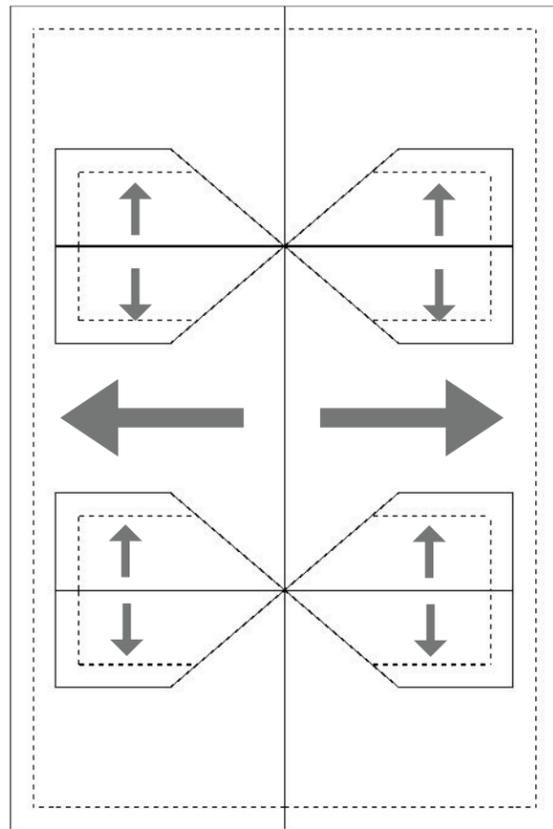
A

07



**ADDITION: HISTORICAL
COMMISSION PERMIT 201870250**

**OUTBUILDING: HISTORICAL
COMMISSION PERMIT 2018079303**



ROOF PLAN

SCALE 1/8" = 1'0"

A
08

**HISTORICAL COMMISSION PERMIT 201870250 & 2018079303
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color (if not matched to principal building)

CLIENT
DALLON HUDSON

ISSUE
08.07.18
REVISED
11.30.2018

PROJECT NO.
N/A
PROJECT
1207 DALLAS AVE
NASHVILLE, TN 37212

PREPARED BY
WHITNEY LANE

A

08