

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1212 Russell Street**  
**August 21, 2019**

**Application:** New Construction—Outbuilding/ Detached Accessory Dwelling Unit (DADU)

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 083130020

**Applicant:** Cori Morris, owner

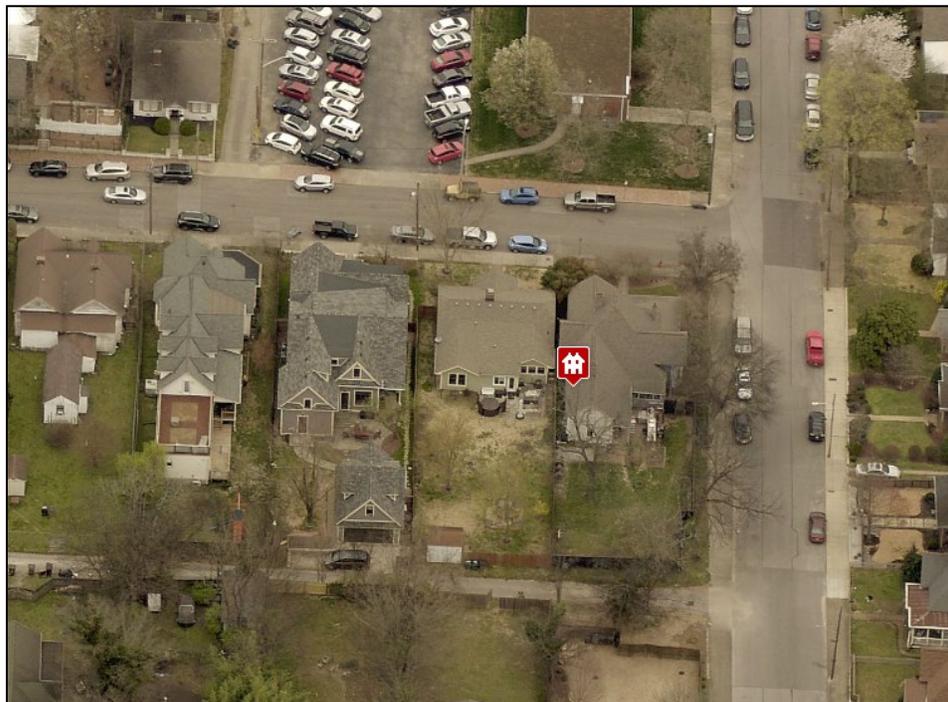
**Project Lead:** Jenny Warren, jenny.warren@nashville.gov

<p><b>Description of Project:</b> The applicant proposes an outbuilding to be used as a detached accessory dwelling unit (DADU) at the rear of the lot.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the proposed DADU with the following conditions:</p> <ol style="list-style-type: none"><li>1. Staff shall approve the roofing color, windows, doors and garage doors; and,</li><li>2. The maximum eave height shall be ten feet (10’);</li></ol> <p>finding that it meets Section II.B.8 of the Lockeland Springs-East End Conservation Zoning Overlay design guidelines for outbuildings and the design standards of the DADU Ordinance.</p>	<p><b>Attachments</b></p> <p><b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 8. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

##### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

##### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

##### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

##### *Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials.
  - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
  - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
  - Stud wall lumber and embossed wood grain are prohibited.
  - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

- *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- *The DADU may not exceed the maximums outlined previously for outbuildings.*
- *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*

- *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
- The DADU cannot be divided from the property ownership of the principal dwelling.
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

*Bulk and Massing.*

- The living space of a DADU shall not exceed seven hundred square feet.

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.



Figure 1: 1212 Russell Street

**Background:** 1212 Russell Street was constructed circa 1900 and contributes to the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

**Analysis and Findings:** The application is for the construction of a new outbuilding which will be used as a detached accessory dwelling unit (DADU).

Outbuildings:

*Massing Planning:*

The lot is less than 10,000 square feet, at nine thousand, eight-hundred and sixty (9,860) square feet.

The lesser of these two numbers is the maximum square footage allowed for the footprint:

	50% of first floor area of primary structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	1,104 sq. ft.	750 sq. ft. max	748 sq. ft.

The proposed square footage meets the guidelines for a lot of this size.

	Potential maximums under Ordinance	Existing House	Proposed DADU, as measured from grade
Ridge Height	25' unless existing building is less	~25'	~22'
Eave Height	10'	~15'	~15'6"



The proposed ridge height will vary, due to grade. However, at its tallest point, the ridge will be just over twenty-two feet (22'), which is lower than the height of the primary house, at about twenty-five feet (25').

The proposed eave height is fifteen feet, six inches (15'6"). The historic house itself is a tall one story, with an average eave height of about fifteen feet (15') from grade. In the past, the Commission has determined that when the historic house is one story tall, the DADU eaves need to meet the ten foot (10') requirement, even if the eaves on the historic house are taller.

Figure 2: Proposed outbuilding – facing side street

Staff finds that if the eave height is reduced to be ten feet (10') or less, the proposal will meet Section II.B.8.a of the design guidelines.

*Roof Form:*

Proposed Element	Proposed Form	Typical of district?
Primary form	Cross Gable	Yes
Primary roof slope	8/12	Yes

The primary roof form is cross gabled, which is appropriate. Staff finds that the proposal meets Section II.B.8 of the design guidelines for roof shape.

*Design Standards*

The proposed structure has a simple cross gabled form (Figure 2). On the side that faces the house (Figure 3), the main wall of the second level is inset about six feet (6') from the ground level. The roof form, and materials are compatible with the surrounding historic buildings. In the past, the Commission has required outbuildings be the same number of stories as the principal house. In this case, the house is one story; however, the outbuilding is proposed to be two stories, with a two-story eave. With the reduction of the

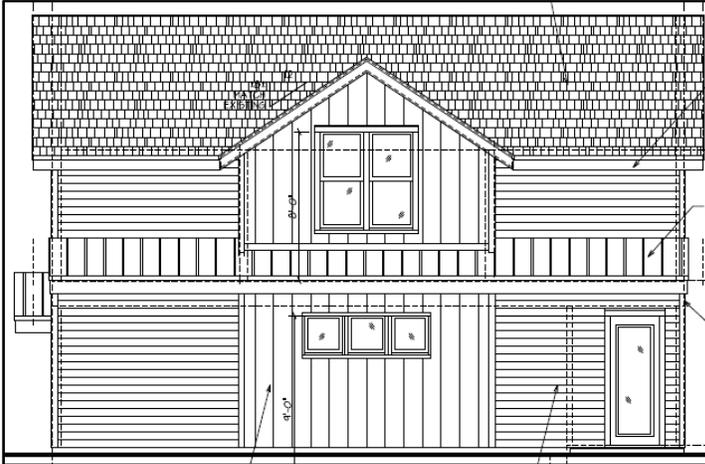


Figure 3: House-facing elevation

eave height to no more than ten feet (10'), the proposal will meet Section II.B.8 of the design guidelines.

*Materials:*

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Needs final approval?</b>
Foundation	Concrete block	Split-faced	No
Cladding	Fiber cement boards	Smooth, 5" exposure lap siding	No
Secondary cladding	Vertical siding	Smooth	No
Roofing	Architectural shingle	Match house	No
Secondary roofing	Standing seam metal	Unknown	Yes
Trim	Harditrim	Smooth	No
Windows	Fiberglass	Final windows need approval	Yes
Doors	Not indicated	Final door needs approval	Yes
Garage door	Not indicated	Final doors need approval	Yes

With staff's final approval of the roofing color, windows, doors and garage doors, staff finds that the materials meet the design guidelines.

*General requirements for Outbuildings/DADUs:*

	<b>YES</b>	<b>NO</b>
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

*Site Planning & Setbacks:*

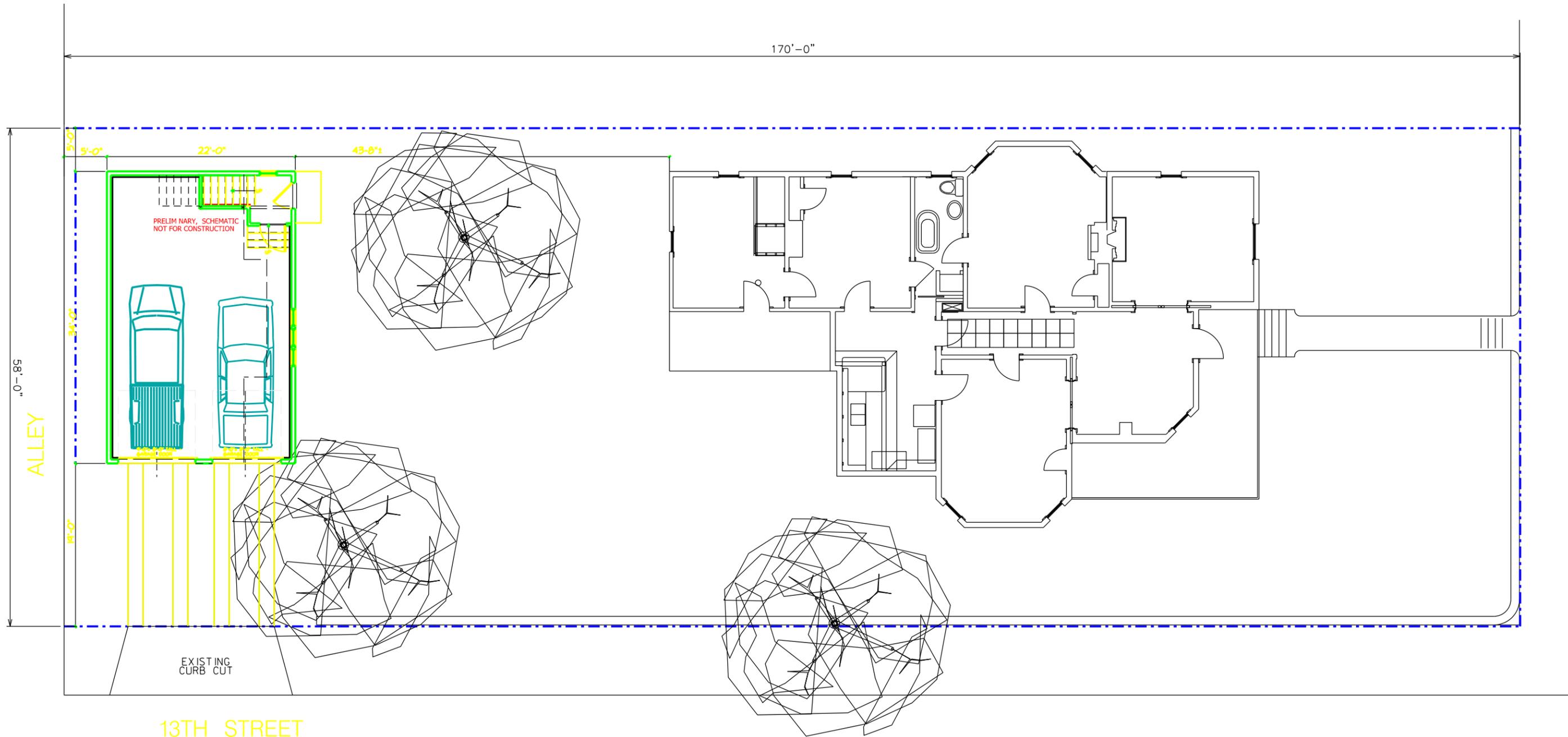
	<b>MINIMUM</b>	<b>PROPOSED</b>
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	~43'
Rear setback – garage doors do not face alley	3'	5'
Interior side setback	5'	5'
Street side setback	3'	~24"
How is the building accessed?	-	From side street
Two different doors rather than one large door (if street facing)?	-	Yes

The project meets all base zoning setback requirements.

**Recommendation:** Staff recommends approval of the proposed DADU with the following conditions:

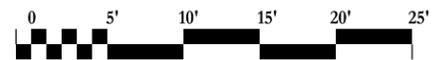
1. Staff shall approve the roofing color, windows, doors and garage doors;
2. The maximum eave height shall be ten feet (10')

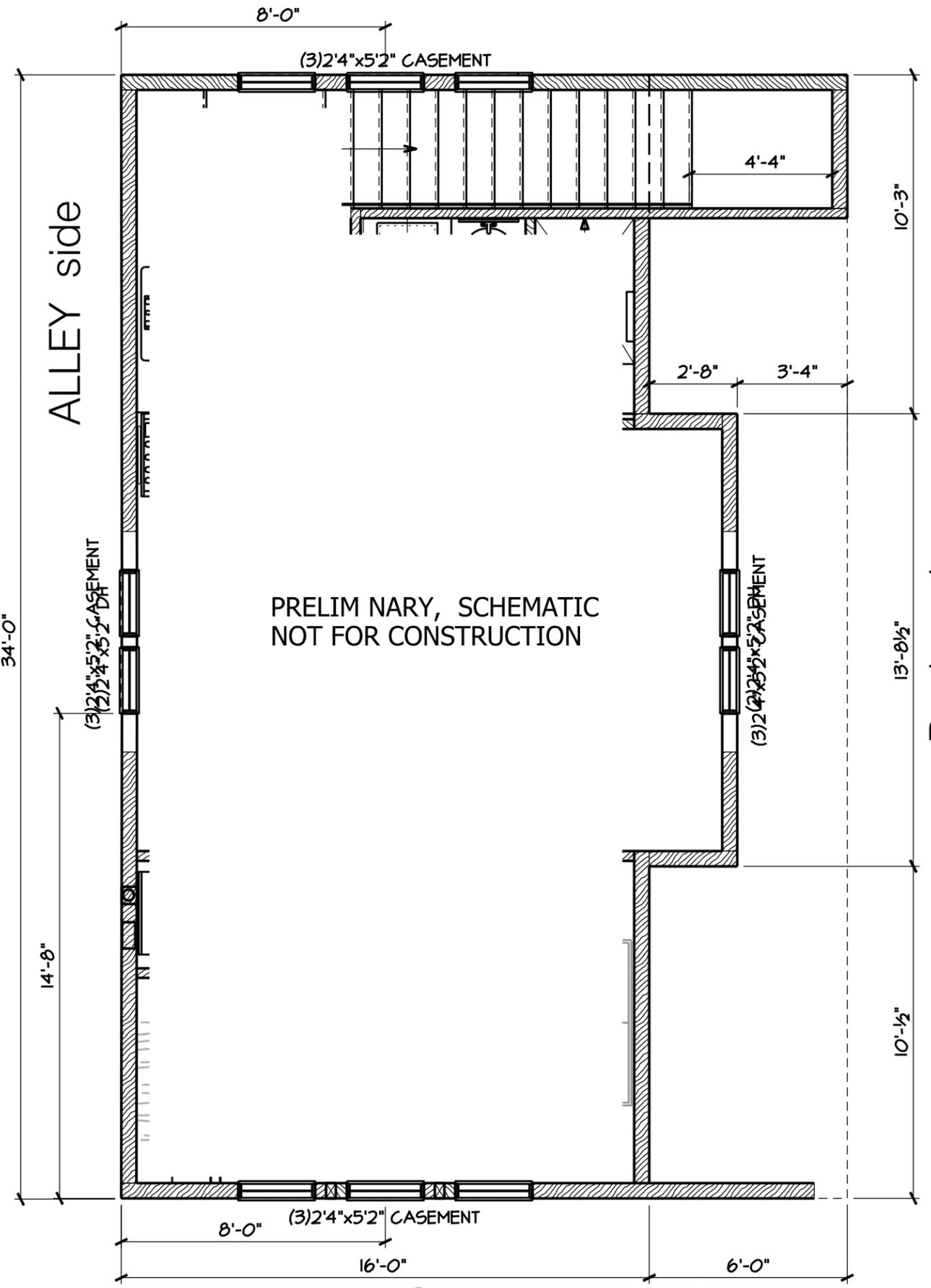
finding that it meets Section II.B.8 of the Lockeland Springs-East End Conservation Zoning Overlay design guidelines for outbuildings and the design standards of the DADU Ordinance.



NORTH

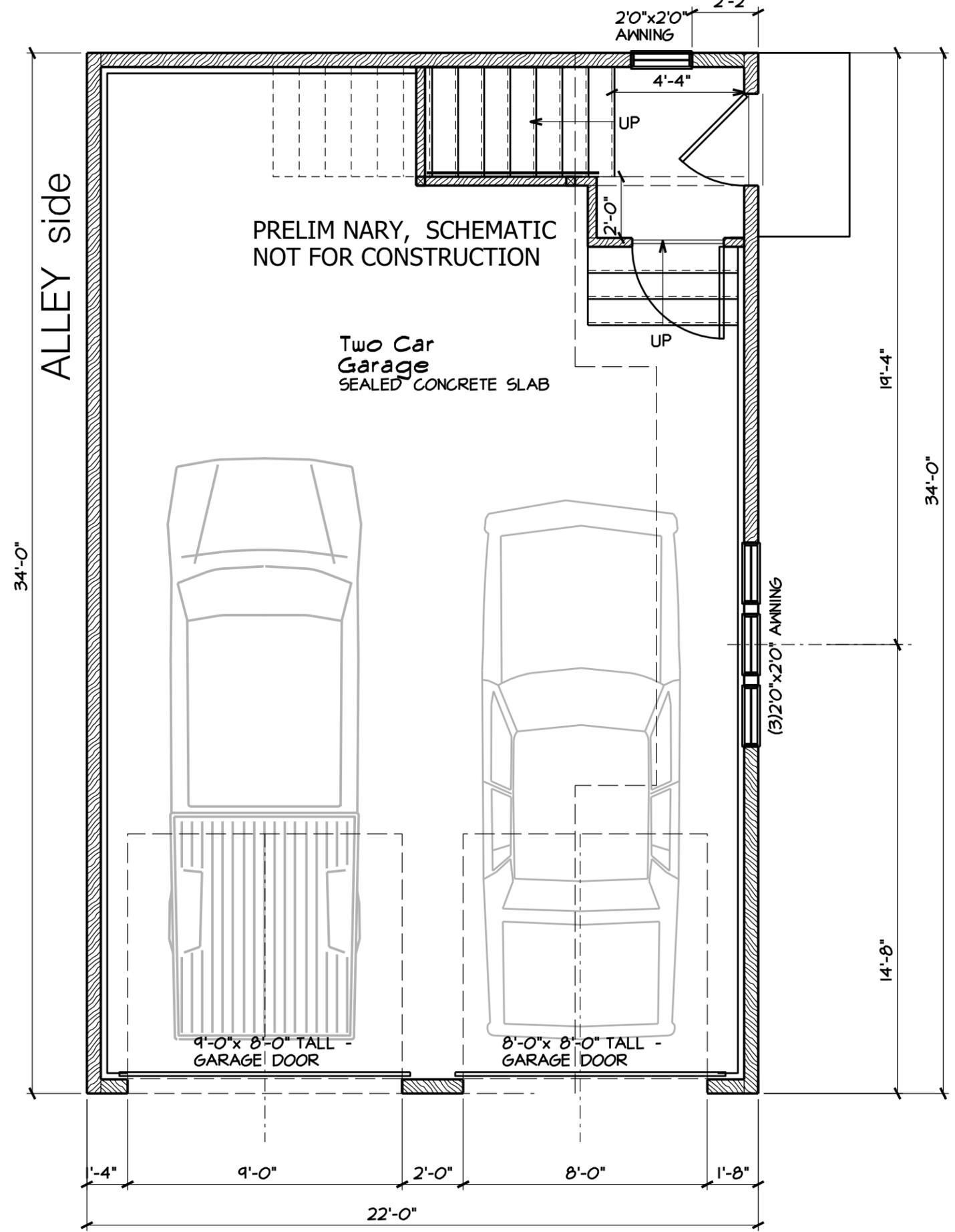
SITE PLAN





13TH STREET  
SECOND FLOOR PLAN

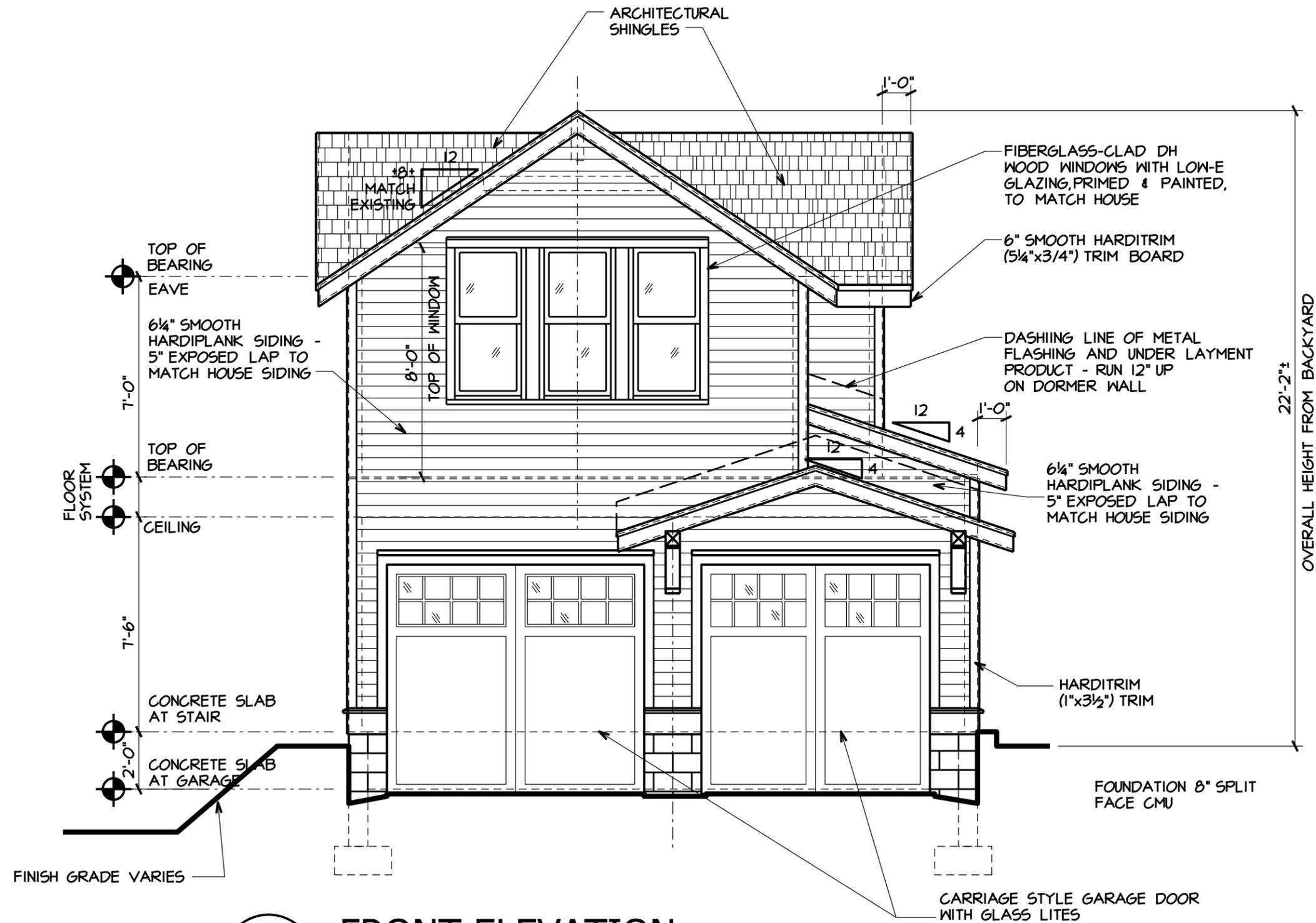
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN 13TH STREET

SCALE: 1/4" = 1'-0"

PROVIDE 6" HALF ROUND ALUMINUM  
GUTTERS AND DOWNSPOUTS -  
NOT SHOWN

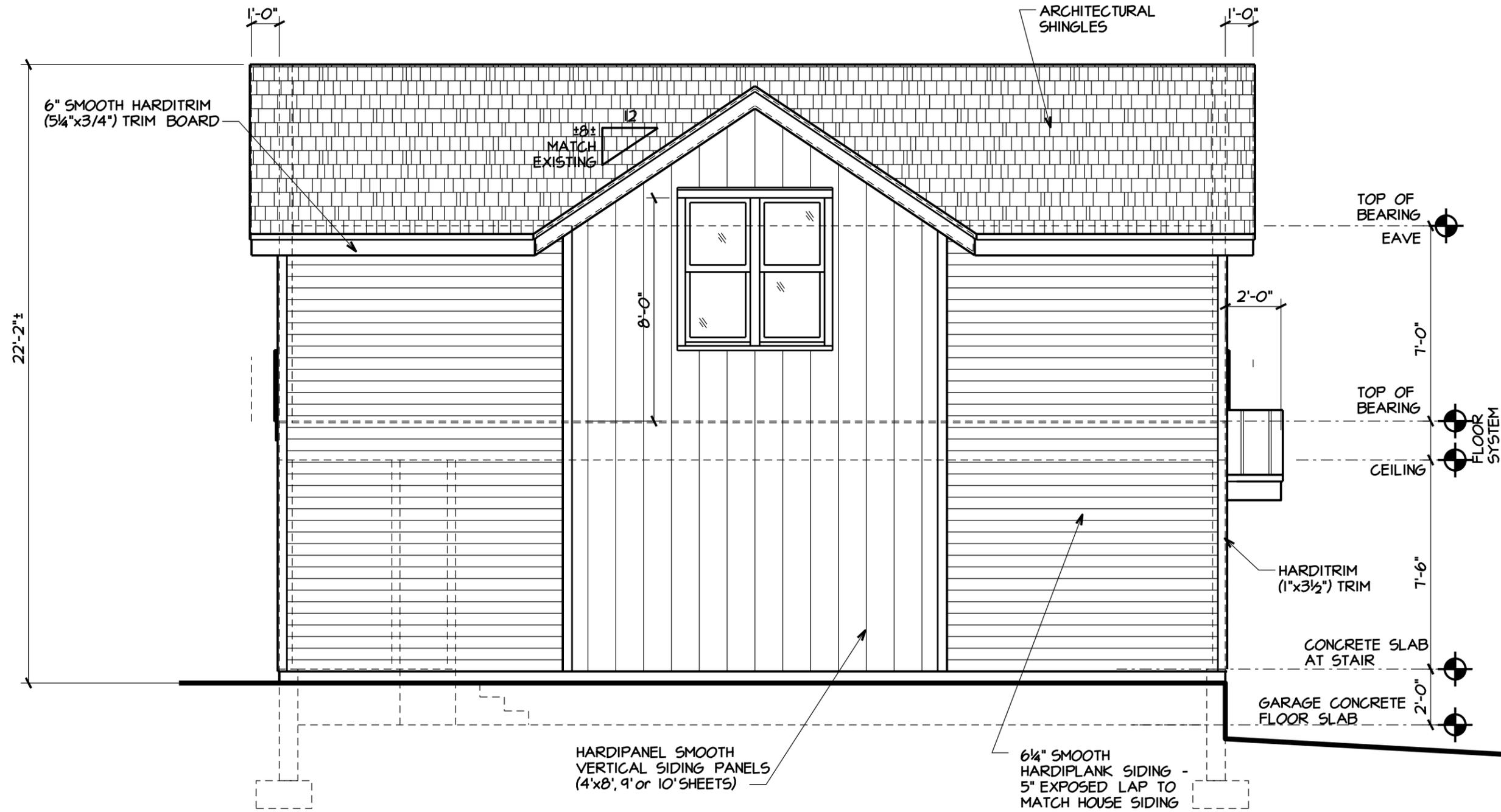


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# FRONT ELEVATION

SCALE: 1/4" = 1'-0"

PROVIDE 6" HALF ROUND ALUMINUM  
GUTTERS AND DOWNSPOUTS -  
NOT SHOWN

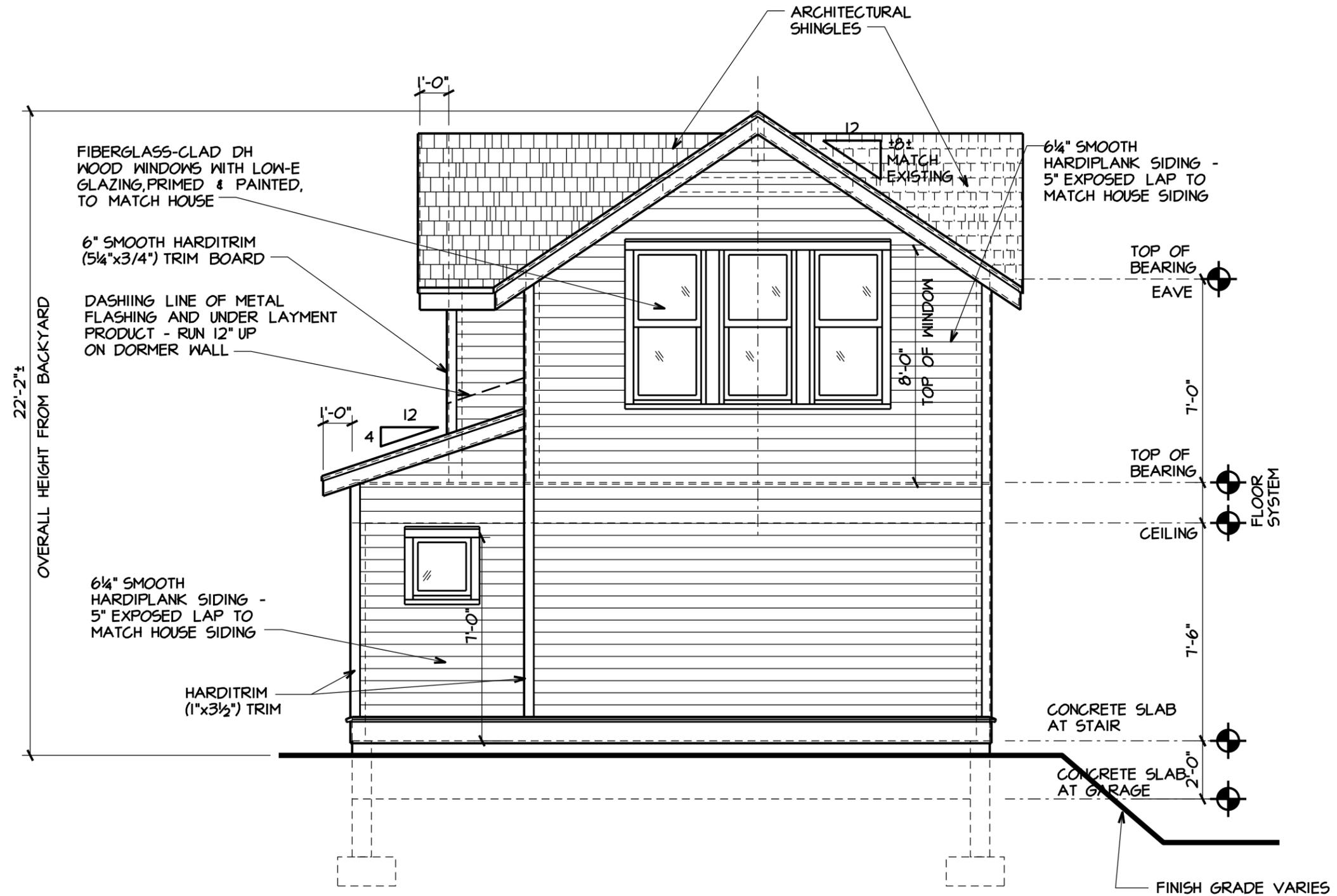


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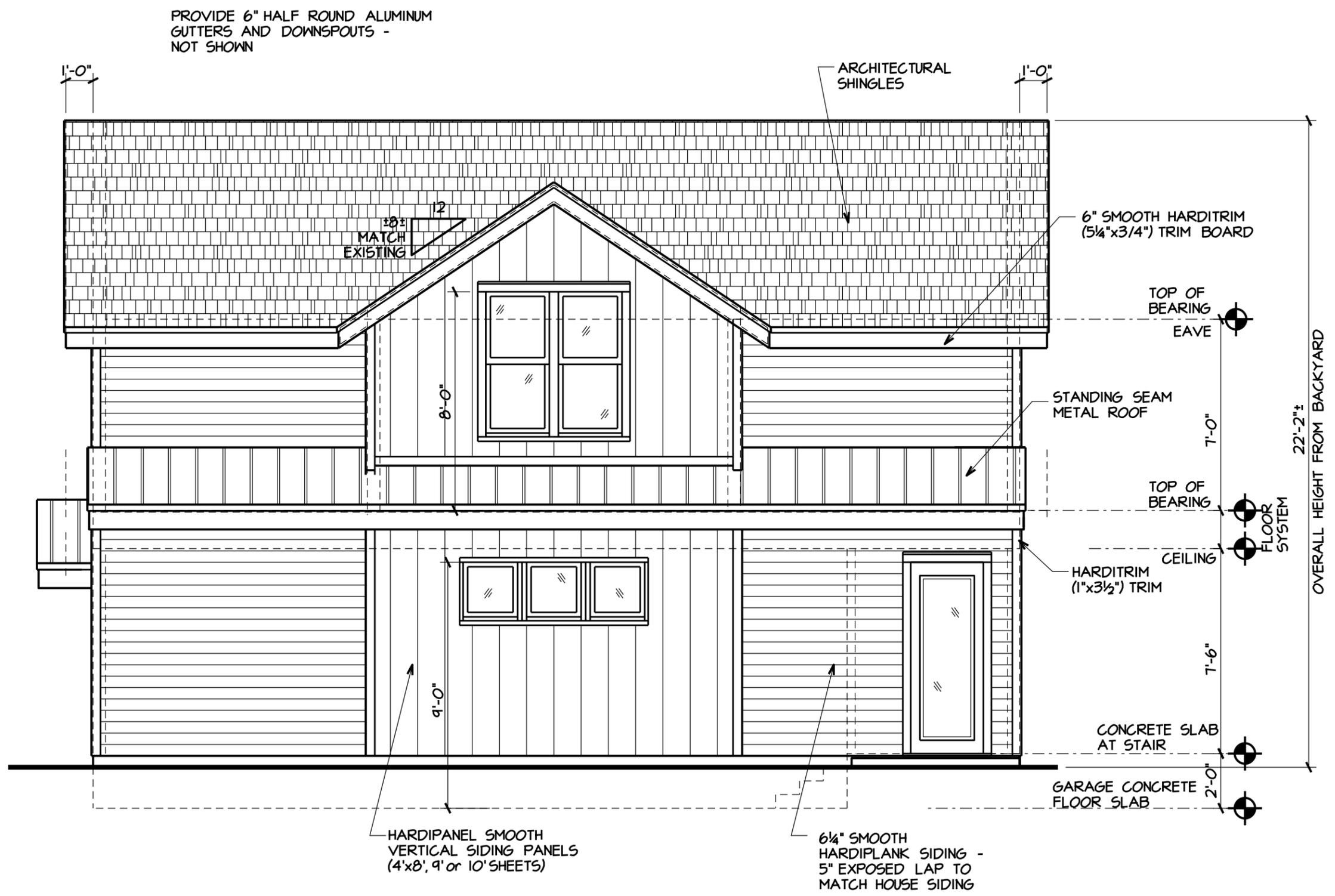
## LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PROVIDE 6" HALF ROUND ALUMINUM  
GUTTERS AND DOWNSPOUTS -  
NOT SHOWN



**4** REAR ELEVATION  
SCALE: 1/4" = 1'-0"



3

**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"