

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1610 16th Avenue South
August 21, 2019

Application: New Construction—Addition; Partial Demolition
District: South Music Row Neighborhood Conservation Zoning Overlay
Council District: 19
Base Zoning: OR20/Comm. PUD
Map and Parcel Number: 10408 035100
Applicant: Rodney Young, CDP Architecture
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to reconfigure the existing addition and attached garage and construct a new rear addition. The project involves the demolition of a former two-story rear porch and a part of the non-contributing garage.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
2. Staff approve the standing seam metal roof color and design;
3. Staff approve the “wood-look cladding” prior to purchase and installation to determine its appropriateness;
4. The Hardiepanel be smooth, free of any wood grain stamp;
5. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
6. Utility meters be located on the side of the building, within 5’ of the front corner or on the rear or rear-side within 5’ of the rear corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s).

With these conditions, staff finds that the proposed addition and rear structure meet Sections II.B.1., II.B.2., and III. of the design guidelines.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

GUIDELINES

a. Setback and Rhythm of Spacing

The setbacks for new buildings from front and side property lines shall be compatible by not contrasting greatly with those of surrounding historic buildings.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

b. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

c. Building Shape

The shape of a new building shall be compatible by not contrasting greatly with those of surrounding historic buildings.

d. Roof Shape

The roof(s) of a new building shall be visually compatible by not contrasting greatly with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12

and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

e. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

f. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be

representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at

least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
Double-hung windows should exhibit a height to width ratio of at least 2:1.
Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.
Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

g. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should:

- *No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- *Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- *When an addition ties into an existing roof it should be at least 6" below the existing ridge.*
- *Generally an addition should be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
 - *An extreme grade change*
 - *Atypical lot parcel shape or size**In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

- b. An addition shall connect to the associated building in such a way that the original form of the building

is visually evident.

- c. The creation of an addition through enclosure of a front porch is not appropriate.

The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

- d. An addition shall be compatible by not contrasting greatly with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.

- e. New additions shall follow the guidelines for new construction.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: 1606 16th Avenue South is a two-story, American Foursquare constructed c. 1910 (Figure 1). The site includes a two-story outbuilding that is connected to the historic house with a connector on the right side and a second-story deck on the right side (Figures 2-6). The garage was constructed c. 1987 and does not contribute to the historic character of the house, site, or district. The house was rezoned as a commercial planned unit development (PUD) in 1987, and later rezoned to OR20. Both of these rezonings allowed for commercial use in a residential neighborhood.



Figure 1. 1610 16th Avenue South

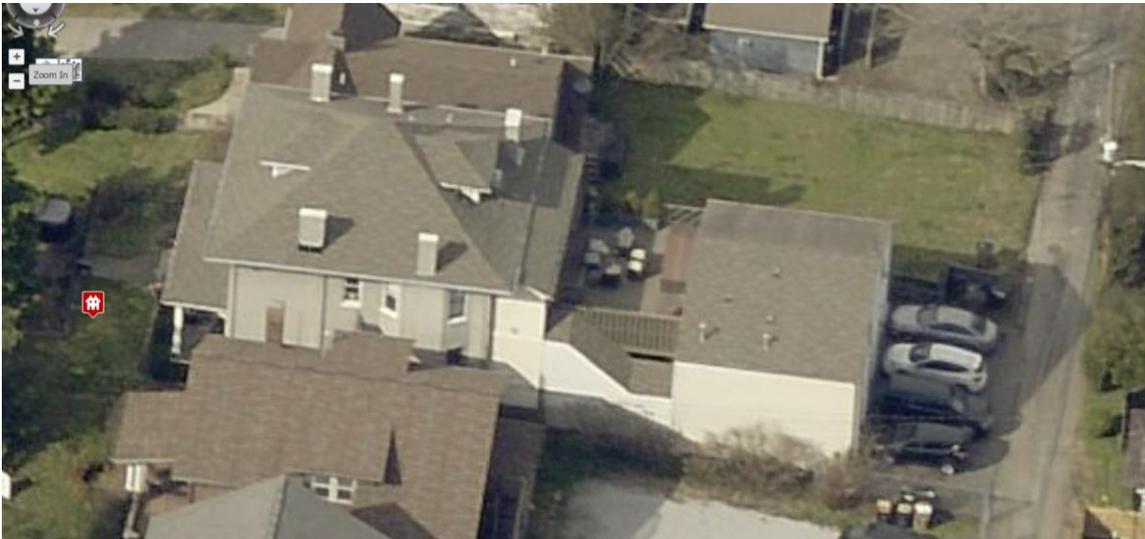


Figure 2. Aerial view of the property with current conditions.



Figure 3. Left side, rear.



Figure 4. Current conditions as seen from the rear.



Figure 5. Right side of addition.



Figures 6. Aerial view of current conditions.

Analysis and Findings: Application is to reconfigure the existing addition and attached garage and construct a new rear addition. The project involves the demolition of a former two-story rear porch and a part of the non-contributing garage.

Partial Demolition. The proposed changes to the existing attached garage involves the partial demolition of the garage and its attachment to the house. This demolition is appropriate because the garage dates to c. 1987 and is not historic.

The project also involves the removal of a portion of the rear of the house that is likely original (Figures 7 – 11). At the rear of the brick house is a two-story frame section with a shed roof form separate from the main hipped roof. This frame portion was likely originally a two-story porch, possibly a sleeping porch, that later, was more fully enclosed. It appears in the 1914 Sanborn map as a porch (Figure 12). Although an original feature of the house, these older porches were often not constructed to last more than one hundred years and are often significantly altered. In this case, the shape of the porch may be the same as the original, but the area would have likely been much more open in nature to let in air. The structure is clad in vinyl siding and has lost its original openings. It is located at the rear of the house, not highly visible from the street. Staff finds that the porch's removal will not significantly alter the historic character of the historic house, particularly since the porch has a separate roof form that sits lower than

the historic house's roof form and since the addition is inset approximately one foot (1') from each of the house's back corners. Staff therefore finds that its removal meets the design guidelines.

Staff finds that the proposed partial demolition to meet Section III.B.2. of the design guidelines for appropriate demolition.



Figure 7.



Figure 8.



Figure 9.



Figure 10.



Figure 11.

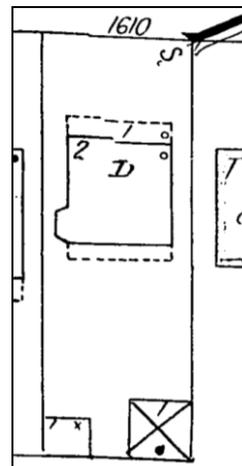


Figure 12. The 1914 Sanborn Map

Height, Scale & Building Shape: The new rear addition will more fully tie the existing two-story garage to the historic house and will alter the roof form of the existing garage. The depth of the house with the attached garage will remain the same. The addition will be located in between the historic house and the existing garage, which are currently connected with a narrow connector on the right side and a two-story deck in the middle and left side.

The addition is two-stories in height, which is appropriate because the house is a full two-story house. The tallest portion of the addition will be seven feet (7') shorter than the historic house, and the bulk of the addition is closer to fourteen feet (14') shorter than the historic house.

The addition will be inset two feet (2') from each back corner for a depth of four feet (4'). After this inset, on the right side, the addition will step back out to match the side wall of the historic house. On the left side, after the inset, the addition will step back out to be eighteen inches (18") wider than the historic house. Staff finds this to be appropriate because the addition will connect to the existing garage, which is also eighteen inches (18") wider than the historic house. In addition, this wider portion of the addition, while two stories, is seventeen feet (17') lower in height than the historic house. This wider portion will be located approximately seventy-eight feet (78') from the front property line, ensuring that it will not be highly visible from the street.

Staff finds that the addition's height, scale, and building shape are appropriate to the historic house and meet Section II.B.1. b., II.B.1.c., and II.B.2. of the design guidelines.

Location & Removability: The location of the addition at the rear of the existing building is in accordance with the design guidelines. The addition's insets and lower height ensure that if it were to be removed in the future, the historic character of the house would still be intact.

Staff finds that the addition Sections II.B.2.a and II.B.2.b. of the design guidelines.

Design: The addition's change in materials, inset, separate roof form, and lower height help to distinguish it from the historic house and read as an addition to the house. At the same time, its scale, materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact.

Staff finds that the addition Sections II.B.2.d. and II.B.2.e. of the design guidelines.

Setback & Rhythm of Spacing: The addition meets all base zoning setbacks. On the left side, the addition will be approximately seven feet (7') from the side property line. On

the right side, the addition will meet the five foot (5') setback. The existing attached garage does encroach on the five foot (5') right setback and the rear twenty foot (20') setback; it will be approximately four feet (4') from the right side property line and eighteen feet (18') from the rear property line. Since the garage is existing, and its rear will not be increased in height or scale, the project does not require a setback determination. All new construction will meet the base zoning setbacks.

The addition will not affect the rhythm of spacing of historic houses along the street.

Staff finds that the addition's setback and rhythm of spacing to meet Sections II.B.1.a. and II.B.2. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Slab (brick materials extend to grade)*	Typical	Yes	No
Cladding 1	“Wood Look Cladding”**	Unknown	Unknown	Yes
Cladding 2	Brick Painted to Match Historic House	Unknown	Yes	No
Cladding 3	Hardieboard Panel***	Unknown	Yes	Yes
Roofing 1	Standing Seam Metal	Unknown	Yes	Yes
Roofing 2	Existing Asphalt	Grey	Yes	No
Trim	Wood or Cement Fiberboard	Smooth	Yes	No
Guardrail	Steel Wire	Typical	Yes	No
Canopy	Steel	Typical	Yes	No
Garage Door	Glass Paneled, Single Bay	Unknown	Yes	Yes
Pedestrian Doors	Not indicated	Unknown	Unknown	Yes
Windows	Fixed Aluminum	Unknown	Yes	Yes

*The addition's floor level is lower than that of the historic house, matching the floor level of the garage. It therefore won't have a distinctive foundation line.

** The drawings indicate a "wood-look cladding" for some parts of the addition. MHZC recommends review to ensure its compatibility with the design guidelines and historic neighborhood.

***MHZC requires that the Hardiepanels be smooth, free of any wood grain texture.

With staff's approval of the "wood-look cladding," the standing seam metal roof, the Hardiepanel, all windows and doors, and all final material choices, staff finds that the known materials meet Sections II.B.1.g. and II.B.2. of the design guidelines.

Roof Form: Most of the addition will have a flat roof form, which is appropriate since the historic house is a tall, two-story American Foursquare. The parapet of the addition falls below the eave height of the historic house. A shed roof for a stair tower on the left side will match the eave height of the house at its lowest point and will never extend to be taller than the historic house's hipped roof. Portions of the existing gable roof over the garage will remain.

Staff finds that the proposed roof forms meet Sections II.B.1.d. and II.B.2. of the design guidelines.

Orientation: The addition does not affect the historic house's orientation towards 16th Avenue South, as it is located behind the historic house. Secondary entrances on the side and the rear will not be highly visible from the street and will read as secondary entrances. There will be one vehicular door facing the alley, which is appropriate.

Staff finds that the addition's orientation meets Sections II.B.1.e. and II.B.2. of the design guidelines.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are modern in design, with large areas of glazing. Staff finds that the proposed windows are all appropriate to the historic house and the design of the addition.

Staff finds the project's proportion and rhythm of openings to meet Sections II.B.1.f. and II.B.2. of the design guidelines.

Appurtenances & Utilities: The HVAC shall be located behind the house or on either side, beyond the midpoint of the house, and utility meters shall be located on the side of the building, within 5' of the front corner or on the rear or rear-side within 5' of the rear

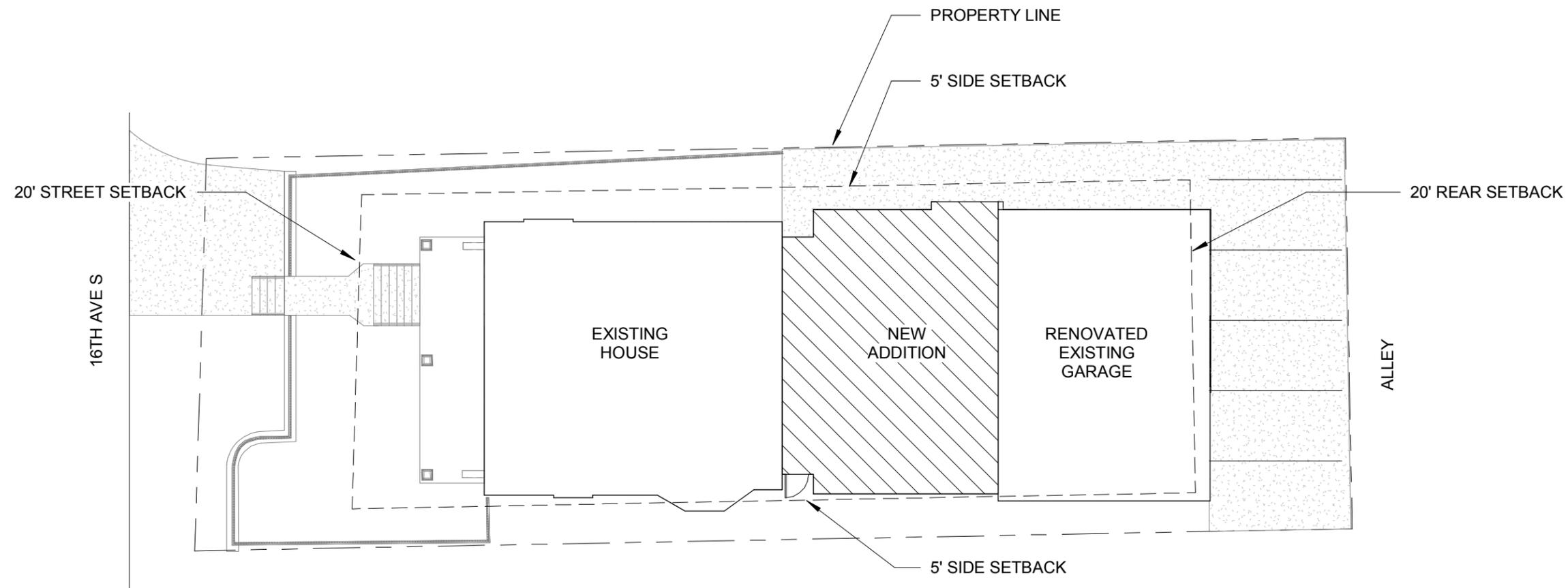
corner. Staff recommends final approval of alternative mechanical and utility locations prior to an administrative sign-off on building permit(s). The applicant intends to retain the existing front yard curb cut and parking spaces; they will not be altered as part of this plan.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
2. Staff approve the standing seam metal roof color and design;
3. Staff approve the “wood-look cladding” prior to purchase and installation to determine its appropriateness;
4. The Hardiepanel be smooth, free of any wood grain stamp;
5. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
6. Utility meters be located on the side of the building, within 5’ of the front corner or on the rear or rear-side within 5’ of the rear corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s).

With these conditions, staff finds that the proposed addition and rear structure meet Sections II.B.1., II.B.2., and III. of the design guidelines.

NOT FOR CONSTRUCTION



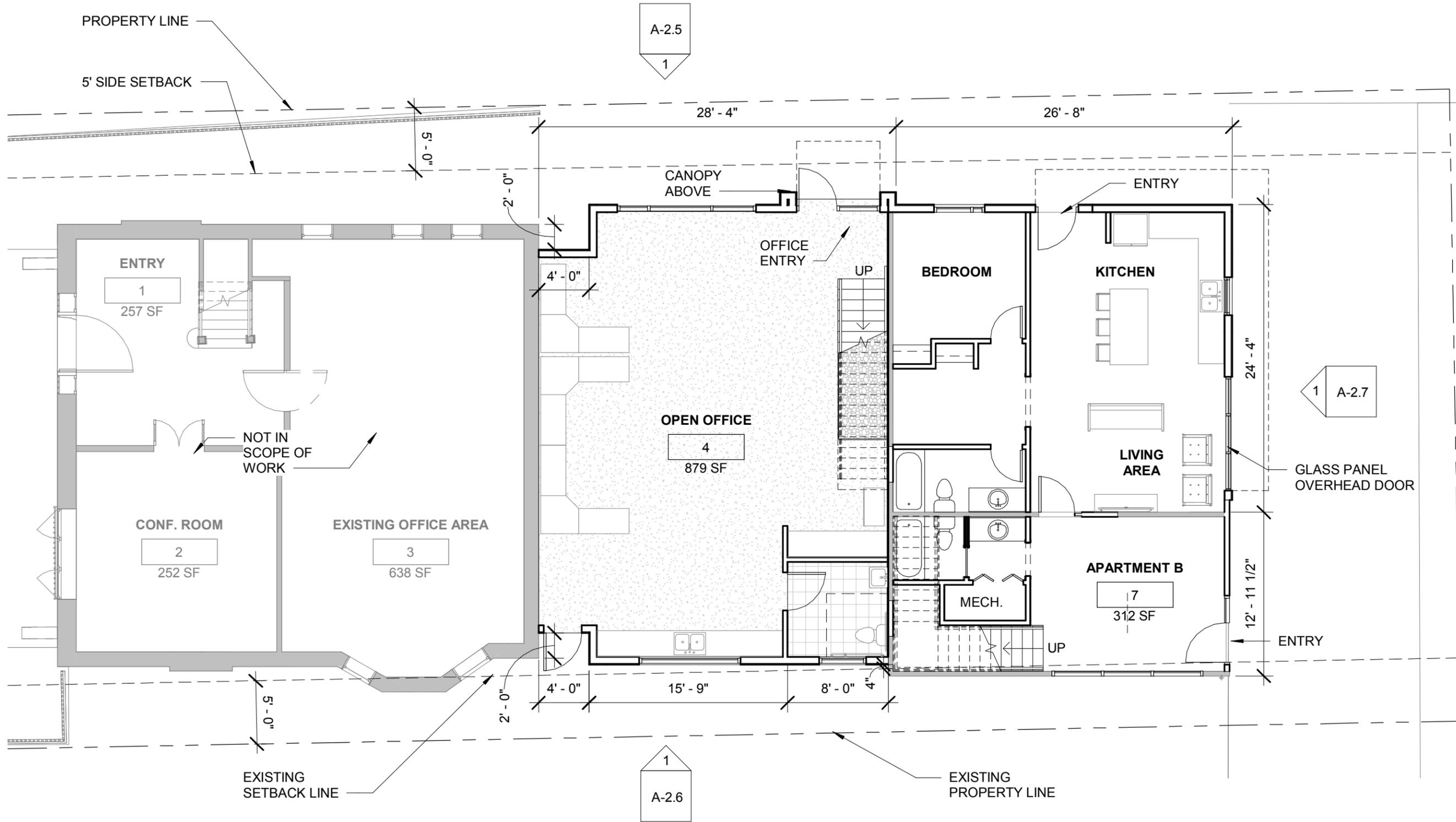
① SITE PLAN
1/16" = 1'-0"

SITE PLAN

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1 NEW WORK PLAN - FIRST FLOOR
 1/8" = 1'-0"



NEW WORK PLAN - FIRST FLOOR

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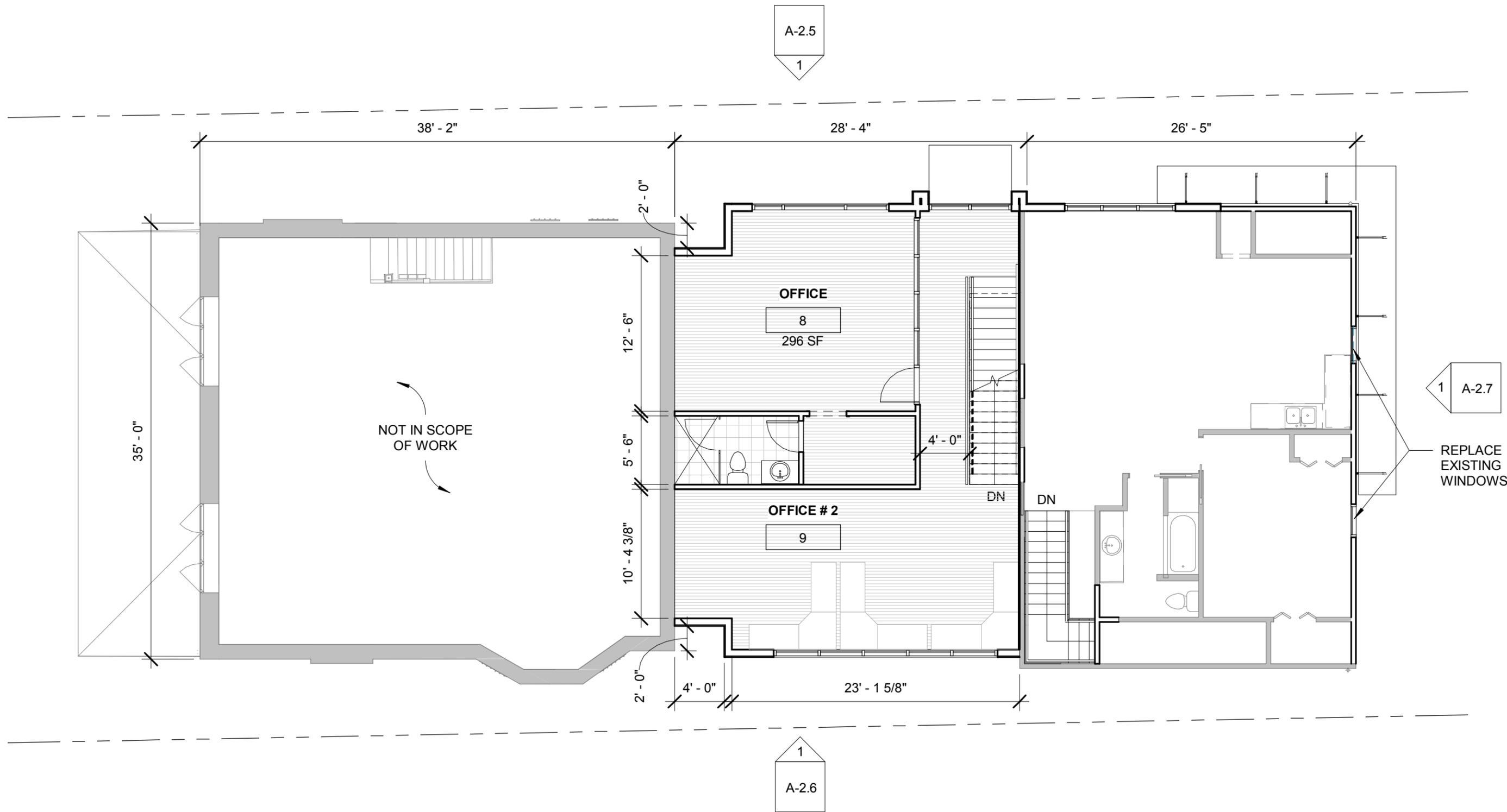
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08-05-19

PROJECT NO.
 19027

SHEET NO.
 A-2.1

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① NEW WORK PLAN - SECOND FLOOR
 1/8" = 1'-0"



NEW WORK PLAN - SECOND FLOOR

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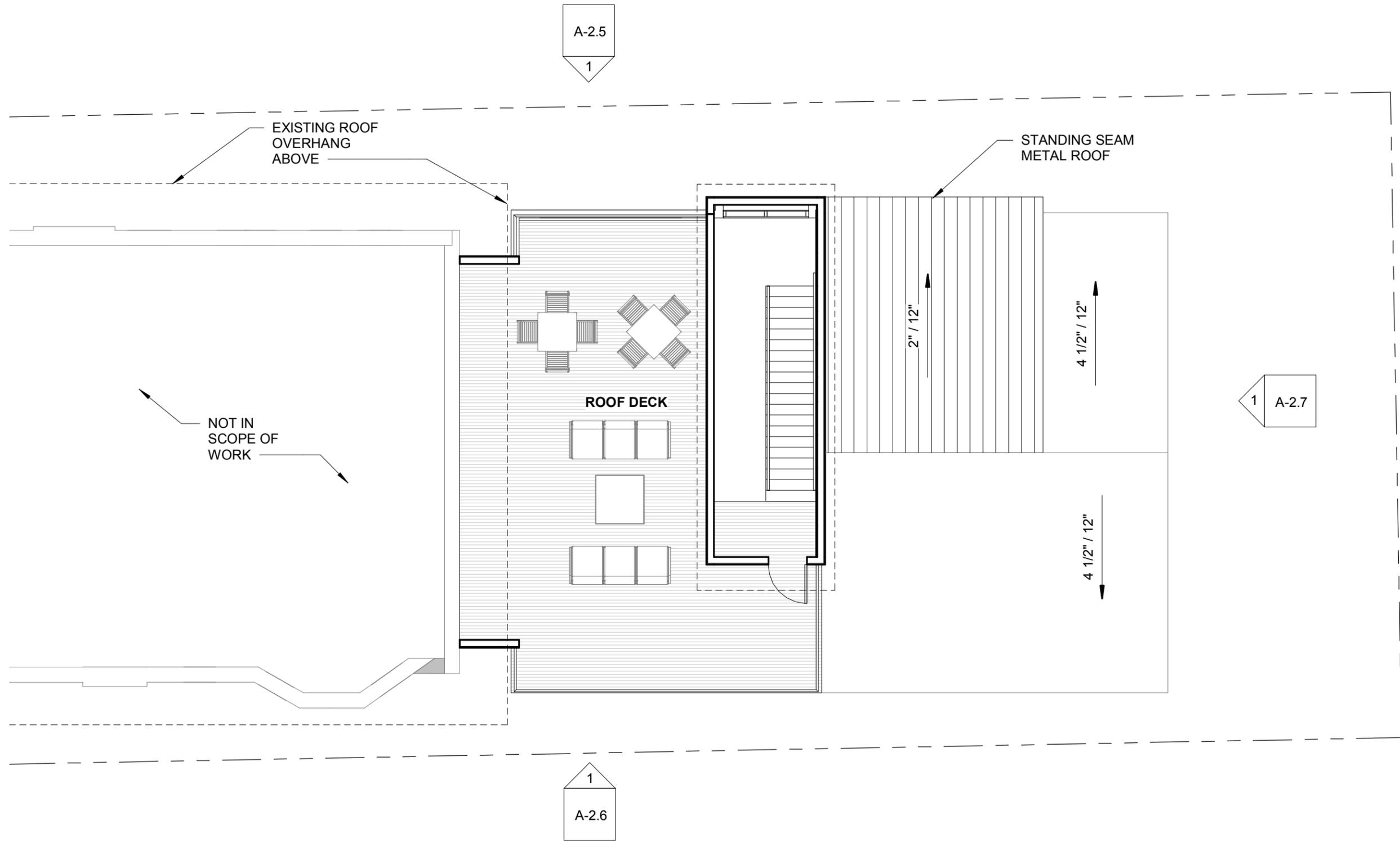
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08-05-19

PROJECT NO.
19027

SHEET NO.
A-2.2

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A-2.5
1

1 A-2.7

1
A-2.6

1 NEW WORK PLAN - ROOF DECK
1/8" = 1'-0"



NEW WORK PLAN - ROOF DECK

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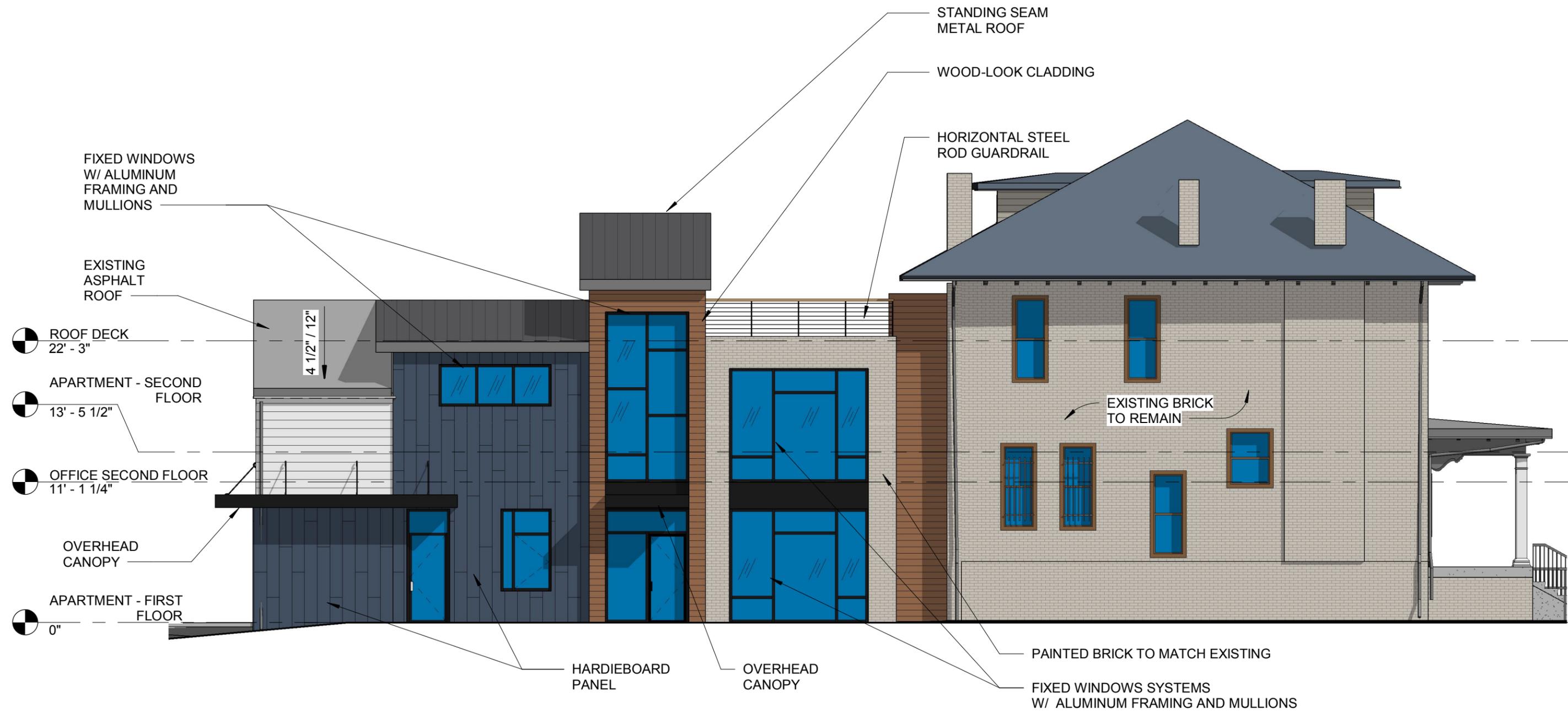
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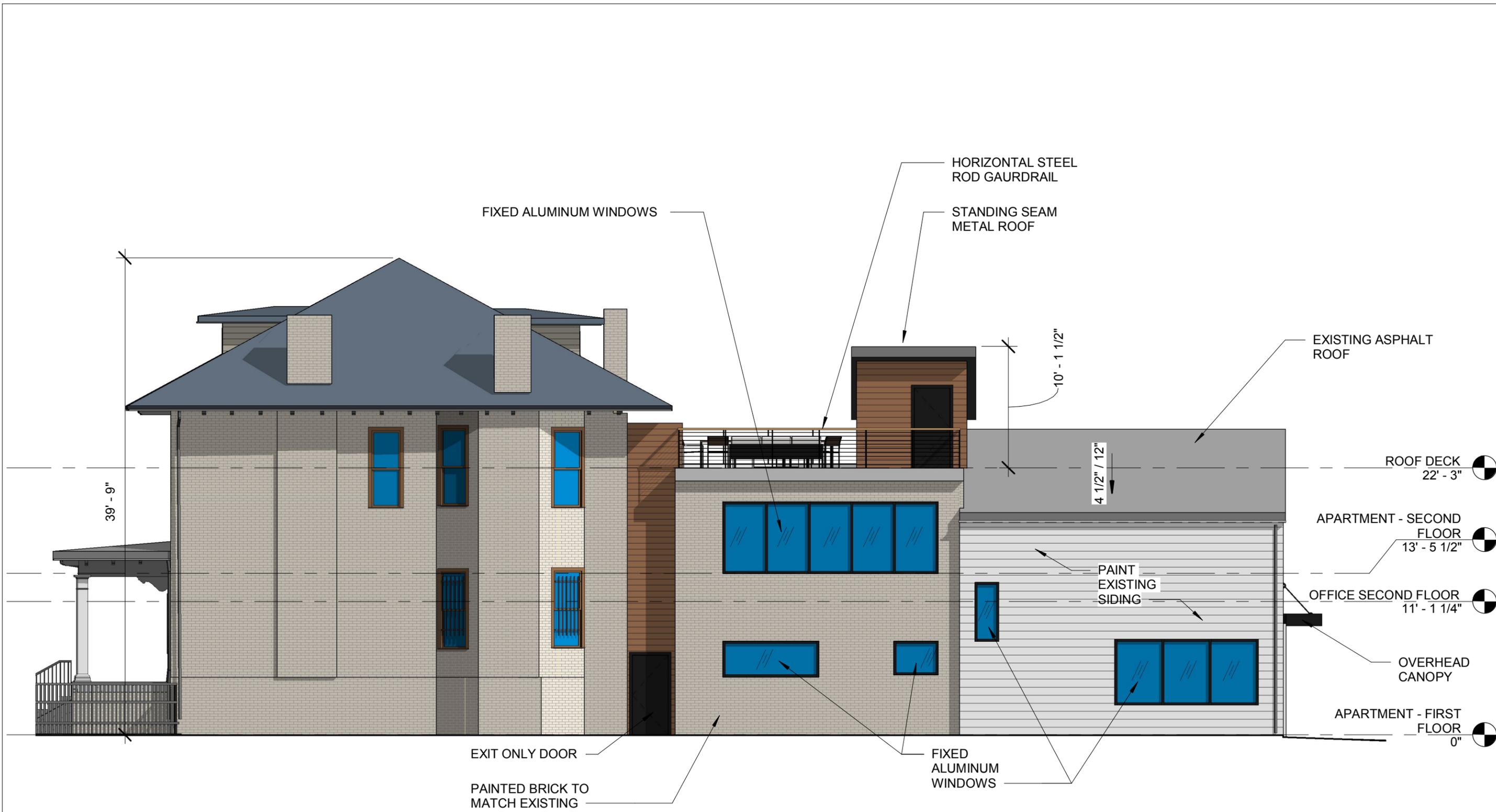
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A-2.3

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1 NORTH ELEVATION
1/8" = 1'-0"

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1 SOUTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
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① EAST ELEVATION
1/8" = 1'-0"

EAST ELEVATION

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3D VIEW

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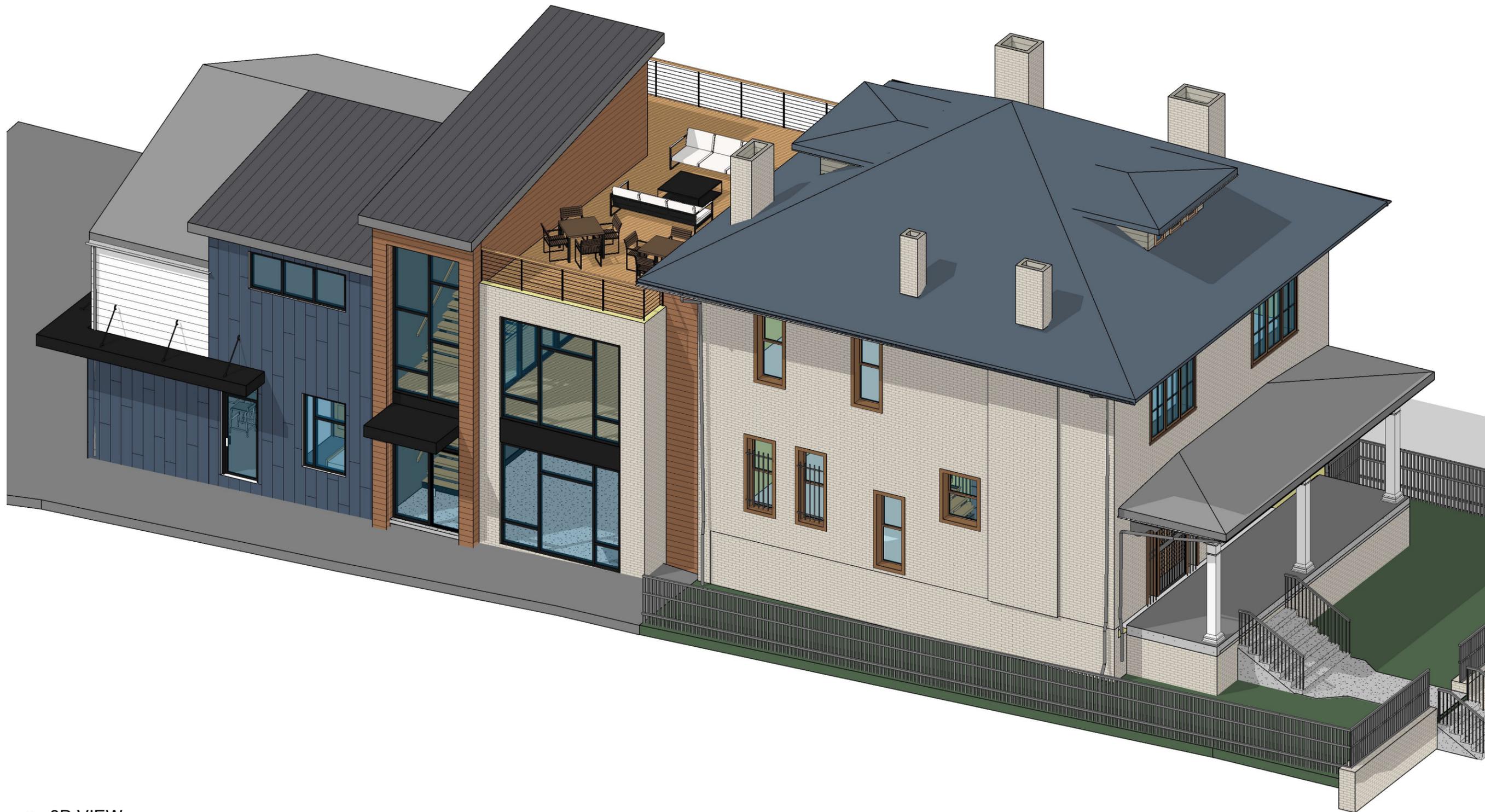
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1 3D VIEW

3D VIEW

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EXTERIOR PERSPECTIVES

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08-05-19

PROJECT NO.
19027

SHEET NO.
A-2.10



FRONT VIEW



REAR SIDE VIEW



REAR VIEW



SIDEVIEW



SIDEVIEW



REAR VIEW

NOT FOR CONSTRUCTION

EXISTING PHOTOS

2115 Eighth Avenue South . Nashville, TN 37204 . 615.594.0309

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