

DAVID BRILEY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

### STAFF RECOMMENDATION

231 Cherokee Road

August 21, 2019

**Application:** New Construction—Infill

**District:** Cherokee Park Neighborhood Conservation Zoning Overlay

**Council District:** 24

**Base Zoning:** R8

**Map and Parcel Number:** 10312001400

**Applicant:** Shane Teeters, Builder

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The proposal is to construct a one and-one-half story house on a vacant lot. The house will have brick walls on the first story and half-timbering and panel cladding on the upperstory gable fields and dormers.

**Recommendation Summary:** Staff Recommends approval of the proposed infill construction with the following conditions:

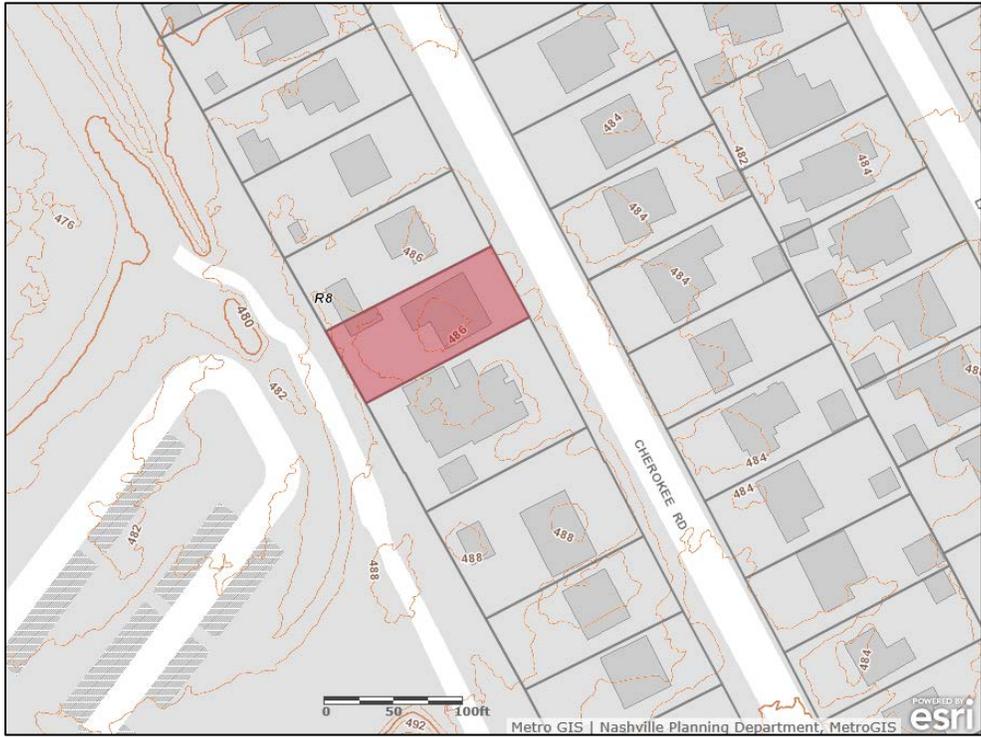
1. The foundation height shall be reduced by one foot (1') to two feet (2') tall;
2. The ridge height shall not exceed twenty-nine feet from finished grade;
3. The foundation material shall be different from that of the primary wall material;
4. All materials shall receive final approval from staff prior to purchase and installation: foundation, driveway and walkway; front porch floor and stairs; rear porch floor and railing materials; window and door selections and roof colors;
5. The cement-fiber cladding and trim material shall have a smooth finish; and,
6. The HVAC units shall be behind the midpoint of the building.

With these conditions, staff finds that the proposal will meet the design guidelines for new construction in the Cherokee Park Neighborhood Conservation Zoning Overlay.

#### Attachments

- A: Photographs
- B: Site Plan
- C: Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. GUIDELINES**

#### **1. NEW CONSTRUCTION**

##### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

##### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

##### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*
- There is not enough square footage to legally subdivide the lot but there is enough frontage*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*With the exception of Cambridge Avenue which was developed earlier than all other streets within the historic district, brick and stone (primarily limestone) are the primary exterior claddings on historic structures in the neighborhood. Only on Cambridge Avenue is wood lap siding a primary exterior cladding on historic structures and considered compatible for infill construction.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

*Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

#### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### *Multi-unit Developments*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

**Background:** A non-contributing house at 231 Mockingbird Road was demolished in June of 2019. The lot is currently vacant.

**Analysis and Findings:** The applicant proposes to construct a new one and one-half story house.

Height & Scale: The proposed infill will be one and one-half-stories with a roof-ridge height of thirty feet (30') above existing grade. The foundation will be three feet (3') tall. Typically, historic houses nearby range between twenty feet (20') and twenty-nine feet (29') tall, with foundations approximately one foot (1') to two feet (2') tall. Staff recommends that the foundation height be reduced to be between one foot (1') and two feet (2') tall so that the foundation height and overall height are compatible with the surrounding context, which will also reduce the ridge height to twenty-nine feet (29') or less.

The house will be forty feet (40') wide at the front, with a projecting bay expanding a portion of the building to be two feet (2') wider on the right side. The primary massing of the building will extend forty feet (40') from front to back, including a seven foot (7') deep entry vestibule on the front. A covered rear porch will extend another ten feet (10') to the rear. The width overall is compatible with historic houses nearby, which typically range between thirty-five feet (35') and forty-five feet (45') wide.

With a condition that the foundation height is reduced to be between one foot (1') and two feet (2') tall and the ridge height is dropped so that it does not exceed twenty-nine feet (29') from existing grade, Staff finds that the height and scale of the proposed infill to meet Sections II.B.1.a. and II.B.1.b. of the design guidelines.

Setback & Rhythm of Spacing: The infill is proposed to be located with its front wall in line between the fronts of the two adjacent historic houses. The house will be shifted toward the left side of the lot for a driveway and will have side setbacks of six feet (6') on the left side and eleven feet (11') on the right. Historic houses in the Cherokee Park neighborhood are typically shifted to one side to accommodate side yard driveways because the lots do not have alleys at the rear, therefore staff finds that these setbacks are consistent with those of surrounding historic houses nearby.

Staff finds that the setbacks for the proposed infill will meet the zoning setback regulations and Section II.B.1.c. of the design guidelines.

Materials:

|                   | <b>Proposed</b> | <b>Color/Texture/<br/>Make/<br/>Manufacturer</b> | <b>Approved<br/>Previously or<br/>Typical</b> | <b>Requires<br/>Additional<br/>Review</b> |
|-------------------|-----------------|--|---|---|
| <b>Foundation</b> | Brick           | Color and Texture<br>Needs Approval              | Yes   | X   |

|                                |                            |                                  |         |   |
|--------------------------------|----------------------------|----------------------------------|---------|---|
| <b>Cladding</b>                | Brick                      | Color and Texture Needs Approval | Yes     | X |
| <b>Secondary Cladding</b>      | Half-Timber and Panel      | Texture Needs Approval           | Yes     | X |
| <b>Roofing</b>                 | Asphalt Shingle            | Color Needs Approval             | Yes     | X |
| <b>Trim</b>                    | Wood or Cement fiber       | Texture Needs Approval           | Yes     | X |
| <b>Front Porch Floor/Steps</b> | Not Known                  | Needs Approval                   | Yes     | X |
| <b>Front Porch Roof</b>        | Asphalt Shingle            | Color Needs Approval             | Yes     | X |
| <b>Rear Porch floor/steps</b>  | Not Known                  | Needs Approval                   | Unknown | X |
| <b>Rear Porch Posts</b>        | Not Known                  | Needs Approval                   | Unknown | X |
| <b>Rear Porch Railing</b>      | Not Known                  | Needs Approval                   | Unknown | X |
| <b>Rear Porch Roof</b>         | Standing Seam Metal        | Color Needs Approval             | Unknown | X |
| <b>Windows</b>                 | Divided-light Double-hung  | Needs Approval                   | Yes     | X |
| <b>Principle Entrance</b>      | Glass Top 1/2 Panels Below | Needs Approval                   | Yes     | X |
| <b>Driveway</b>                | Not Known                  | Needs Approval                   | Unknown | X |
| <b>Walkway</b>                 | Not Known                  | Needs Approval                   | Unknown | X |

Brick walls and half-timbered gable fields are common in the Cherokee Park neighborhood, where the historic context is made up of mostly Colonial Revival and Tudor Revival houses. However, it is typical for the foundation material to be different from that of the primary wall material. Most historic buildings have a stone foundation, but parged or poured-concrete foundations are also very common and split-faced concrete block has been approved by the MHZC as a foundation material on infill houses.

As a condition of approval, staff recommends that the applicant seek final approval of: brick and stone selections, front porch floor and stair material, the rear porch floor and railing material, the roof colors, that the window and door selections. Staff further recommends that the cement-fiber material shall be smooth and that the foundation material shall be different from that of the primary wall material, with final material approval from staff.

With a condition that the materials shall be approved, staff finds that the project will meet Section II.B.1.d. of the design guidelines.

Roof form: The primary roof of the building will be a side-oriented gable. The front slope of the roof will feature two gabled dormers of differing size, and a gabled roof over the vestibule containing the front entrance. There will also be a gabled dormer on the rear, and a shed roof over a rear porch. The gables will all have a 9/12 pitch and the rear porch roof will have a 3/12 pitch. These roof forms are compatible with the roofs of nearby historic houses.

Staff finds that the project meets section II.B.1.e. of the design guidelines.

Orientation: The new house will be oriented with the primary entrance facing the street, within a recessed front vestibule. The house will be shifted toward the left side of the lot with a driveway running along the right side of the house, with a walkway connecting the front porch to the street in front. This orientation is similar to several surrounding houses along Cherokee Road.

Staff finds that the project's orientation meets Section II.B.1.f. of the design guidelines.

Proportion and Rhythm of Openings: The windows on the front and side of the proposed infill are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening.

Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g. of the design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities is not indicated on the submitted site plan. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

With the HVAC location as described, staff finds that the project will meet Section II.B.1.i. of the design guidelines.

**Recommendation:** Staff Recommends approval of the proposed infill construction with the following conditions:

1. The foundation height shall be reduced by one foot (1') to two feet (2'); and
2. The ridge height shall not exceed twenty-nine feet from finished grade;
3. The foundation material shall be different from that of the primary wall material;
4. All materials shall receive final approval from staff prior to purchase and installation: foundation, driveway and walkway; front porch floor and stairs; rear porch floor and railing materials; window and door selections and roof colors;
5. The cement-fiber cladding and trim material shall have a smooth finish; and,
6. The HVAC units shall be behind the midpoint of the building.

With these conditions, staff finds that the proposal will meet the design guidelines for new construction in the Cherokee Park Neighborhood Conservation Zoning Overlay.

**ATTACHMENT A: PHOTOGRAPHS**



233 Cherokee Road (contributing) and 235 Cherokee Road (non-contributing).



232 Cherokee Road, directly across the street from 231.

LEGEND  
 I.R.(D)=IRON ROD (OLD)  
 I.R.(N)=IRON ROD (NEW)  
 W=WATER LINE (RECORD)  
 S=SEWER LINE (RECORD)  
 DHL=OVERHEAD LINES  
 E/P=EDGE PAVEMENT  
 U/P=UTILITY POLE  
 M.B.S.L.=MINIMUM BUILDING SETBACK LINE

CONTOURS SCALED FROM METRO GIS MAPS

**SITE DATA**

**PARCEL ID**  
 10312001400  
 P.A.D.C., TN

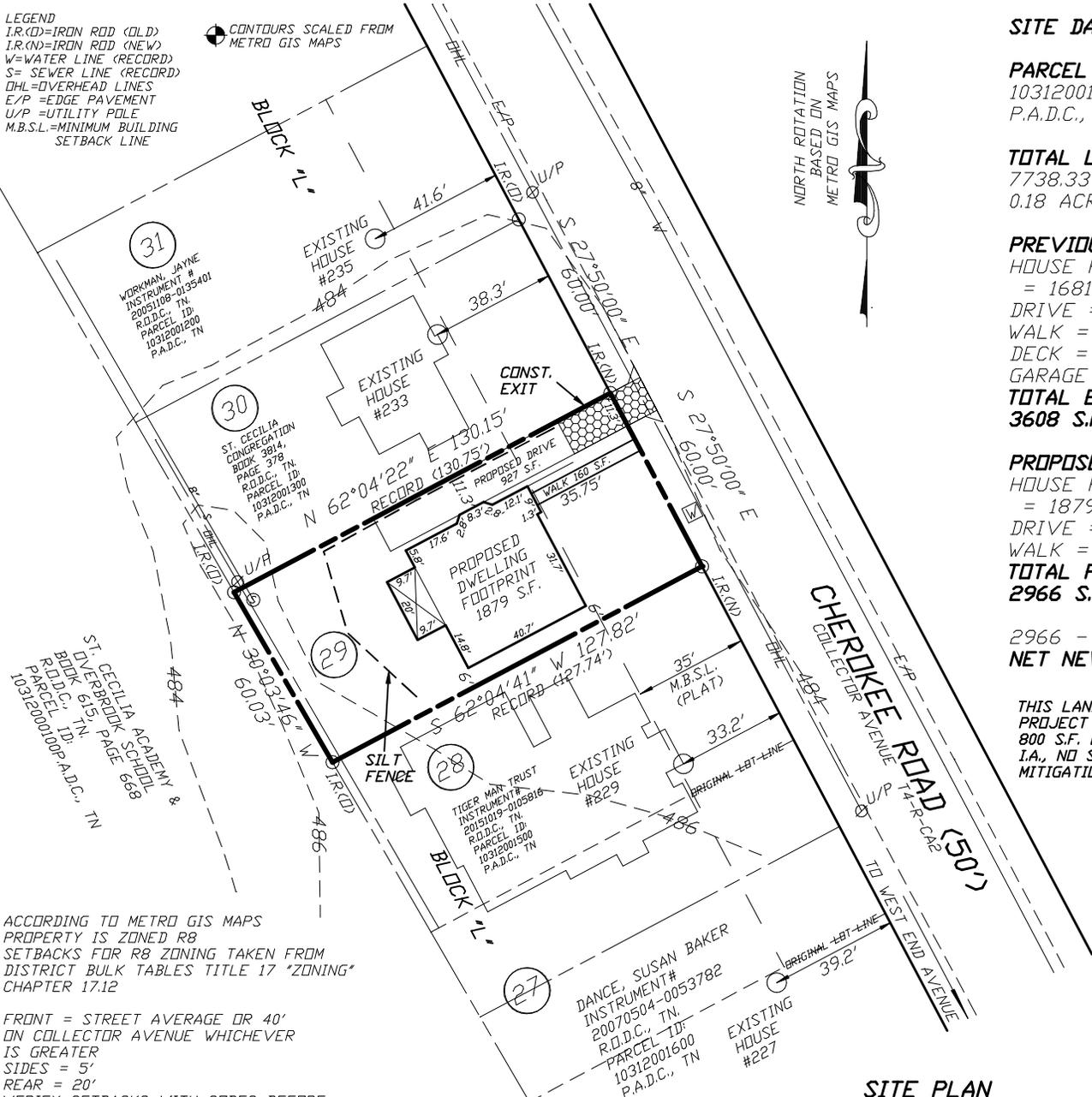
**TOTAL LOT AREA**  
 7738.33 S.F. OR  
 0.18 ACRES±

**PREVIOUS I.A.**  
 HOUSE FOOTPRINT = 1681 S.F.  
 DRIVE = 1171 S.F.  
 WALK = 88 S.F.  
 DECK = 299  
 GARAGE = 369  
**TOTAL EXISTING I.A.**  
**3608 S.F.**

**PROPOSED I.A.**  
 HOUSE FOOTPRINT = 1879 S.F.  
 DRIVE = 927 S.F.  
 WALK = 160 S.F.  
**TOTAL PROPOSED I.A.**  
**2966 S.F.**

2966 - 3608 = -642  
**NET NEW I.A. -642 S.F.**

THIS LAND DEVELOPMENT PROJECT CREATES LESS THAN 800 S.F. OF NET ADDITIONAL I.A., NO STORMWATER MITIGATION IS REQUIRED.



ACCORDING TO METRO GIS MAPS PROPERTY IS ZONED R8 SETBACKS FOR R8 ZONING TAKEN FROM DISTRICT BULK TABLES TITLE 17 "ZONING" CHAPTER 17.12

FRONT = STREET AVERAGE OR 40' ON COLLECTOR AVENUE WHICHEVER IS GREATER  
 SIDES = 5'  
 REAR = 20'  
 VERIFY SETBACKS WITH CODES BEFORE DESIGN OR CONSTRUCTION DECISIONS ARE MADE.

BY GRAPHIC SCALING FROM THE LATEST F.E.M.A. / FLOOD INSURANCE RATE MAP THIS PROPERTY IS NOT LOCATED IN A F.E.M.A. / F.I.R.M SPECIAL FLOOD HAZARD AREA MAP 470040 PANEL 0239 H EFFECTIVE DATE = 4-5-17

THIS SURVEY WAS PREPARED FROM THE LATEST RECORDED DEED DESCRIPTION. THIS SURVEY IS SUBJECT TO THE FINDINGS OF A CURRENT TITLE EXAMINATION. NO TITLE REPORT WAS FURNISHED PRIOR TO THE SURVEY.

UTILITIES SHOWN WERE TAKEN FROM PUBLIC AS-BUILT RECORDS & FIELD LOCATION. THERE MAY BE UTILITIES OR EASEMENTS PRESENT THAT ARE NOT SHOWN ON THIS SURVEY. CONTACT THE TENNESSEE ONE CALL SYSTEM PRIOR TO ANY CONSTRUCTION OR DIGGING.

PREPARED BY:  
 CAMPBELL, McRAE  
 & ASSOCIATES,  
 SURVEYING, INC.  
 P.O. BOX 41153  
 NASHVILLE, TN., 37204  
 PH. 615-298-2424  
 EMAIL cmas@att.net



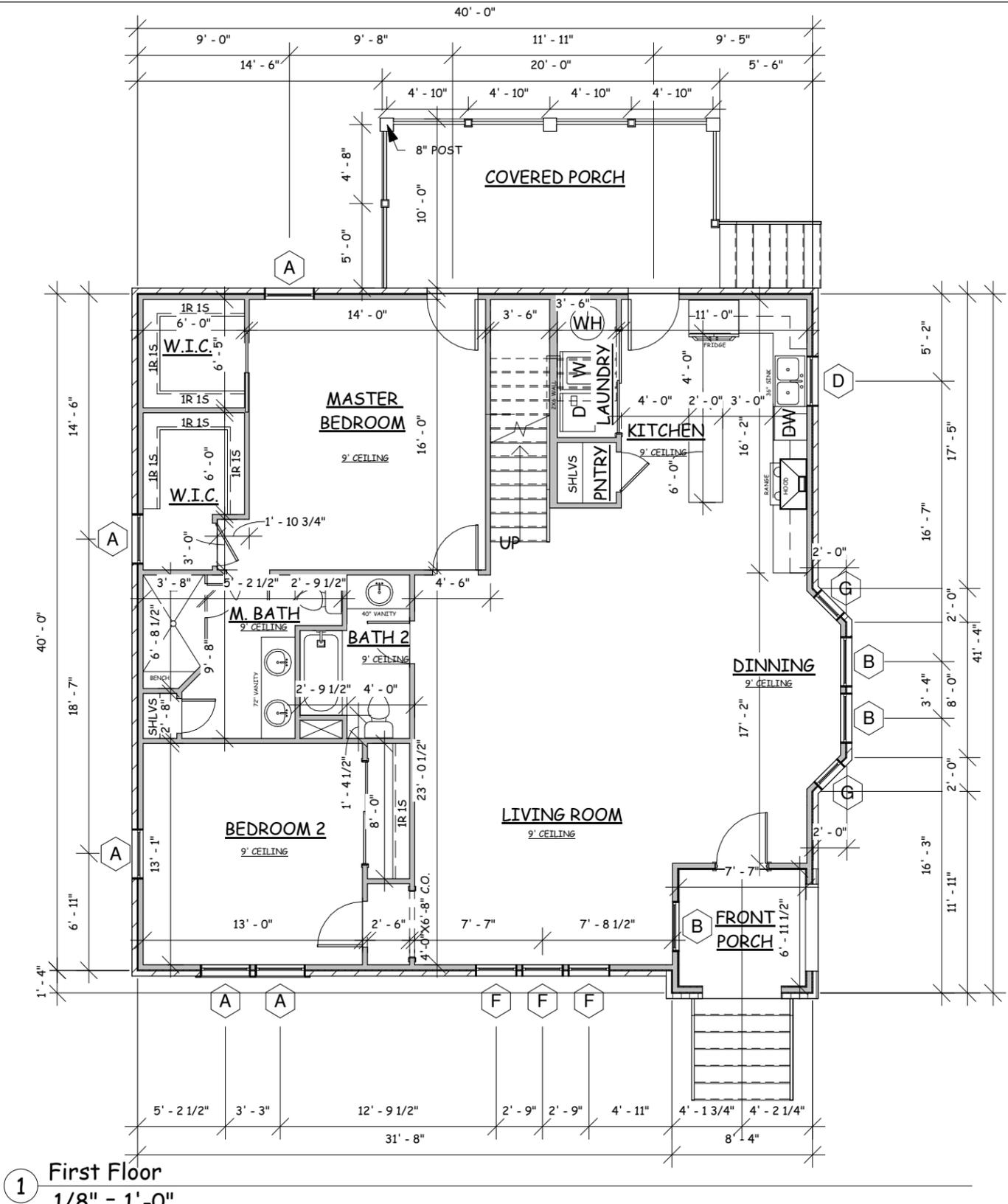
I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY WITH THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY BEING 1: 18,000. THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT STANDARDS OF PRACTICE ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

JOHN ALAN HOOD  
 TN. R.L.S.#1838

**SITE PLAN**

LOT 29, BLOCK "L"  
 CHEROKEE PARK, SECTION 3  
 BOOK 843, PAGES 2 AND 3  
 R.O.D.C., TN.  
**PROPERTY LOCATED** IN THE 24TH COUNCIL DISTRICT OF NASHVILLE, DAVIDSON COUNTY TENNESSEE ON THE WESTERLY MARGIN OF CHEROKEE ROAD, NORTH OF WEST END AVENUE  
**PROPERTY ADDRESS:**  
 231 CHEROKEE ROAD,  
 NASHVILLE, TN 37205  
**DEED REFERENCE:**  
 INSTRUMENT #20040218-0018580  
 R.O.D.C., TN.  
**PARCEL ID:**  
 10312001400 P.A.D.C., TN.  
**DATE:** 6-12-2019  
**SCALE:** 1"=50'  
**PREPARED FOR:** SHANE TEETERS





1 First Floor  
1/8" = 1'-0"



dmdrafter@outlook.co

Merridian Construction  
231 Cherokee Rd.  
Nashville, TN.

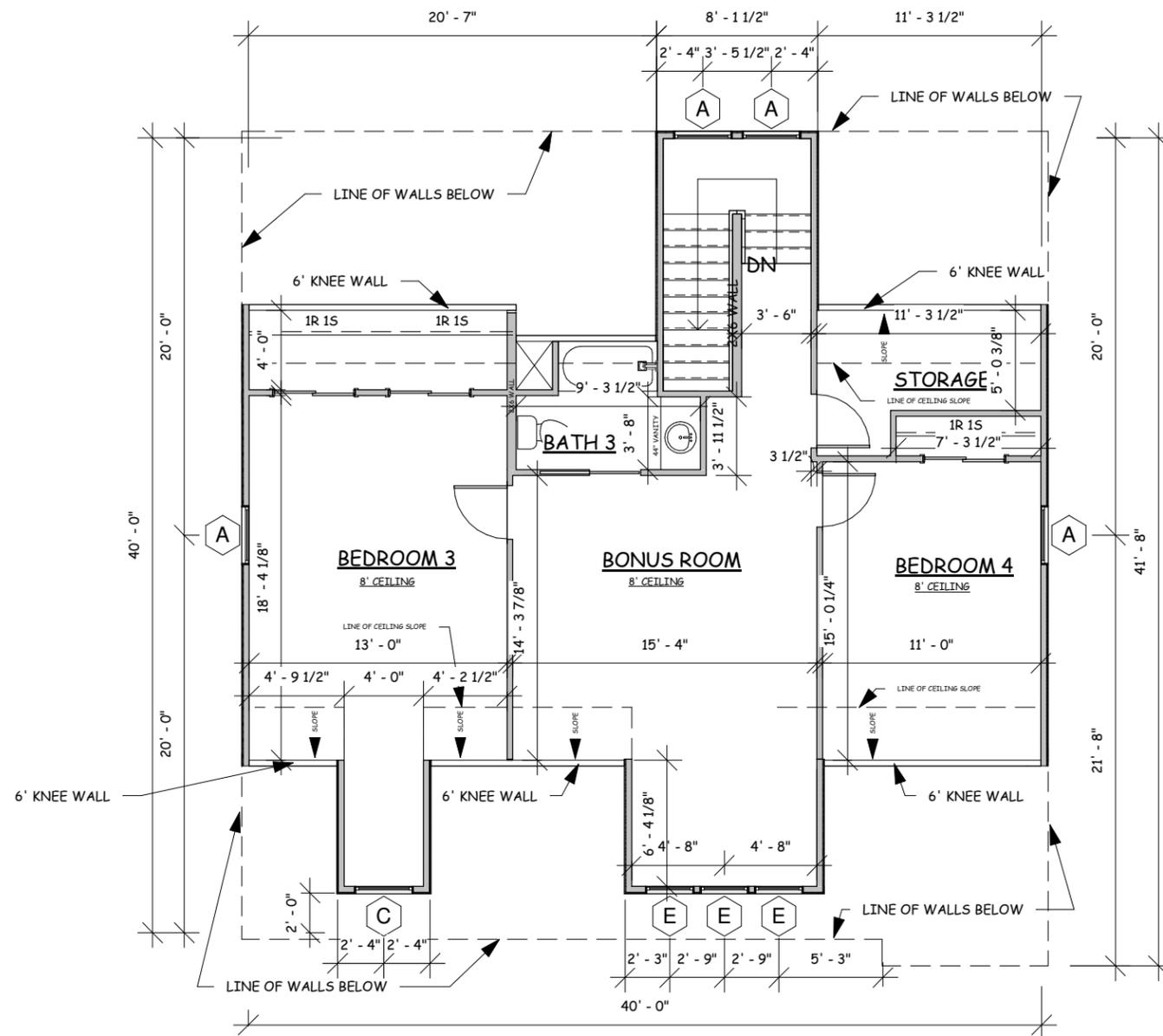
|               |         |
|---------------|---------|
| First Floor   | 1572 SF |
| Second Floor  | 1018 SF |
| Total Living  | 2590 SF |
| Covered Porch | 65 SF   |
| Covered Deck  | 207 SF  |
| Total Covered | 2862 SF |

### FLOOR PLANS

|                |                  |
|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**A101**

Scale 1/8" = 1'-0"



1 Second Floor  
1/8" = 1'-0"



dmdrafter@outlook.co

Merridian Construction  
231 Cherokee Rd.  
Nashville, TN.

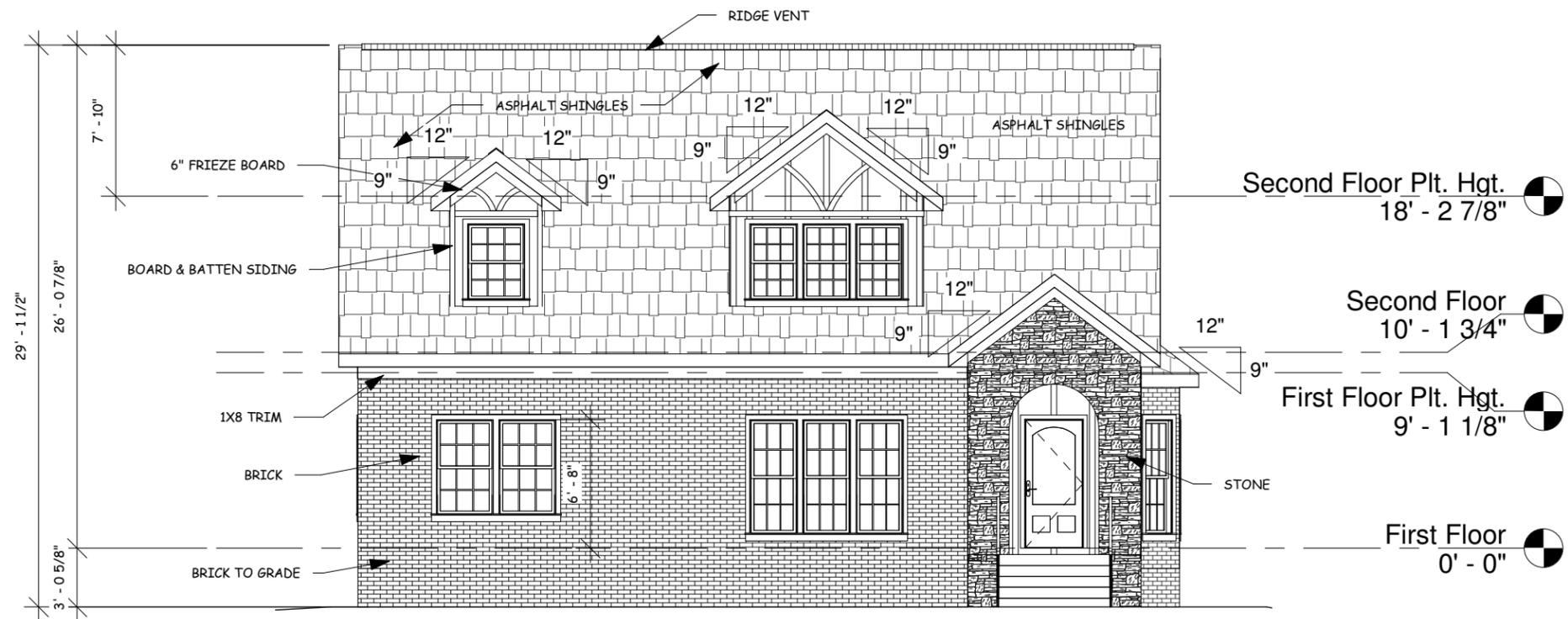
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|                |                  |
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| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**A102**

Scale 1/8" = 1'-0"



① Front  
 1/8" = 1'-0"



dmdrafter@outlook.co

**Merridian Construction**  
**231 Cherokee Rd.**  
**Nashville, TN.**

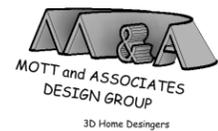
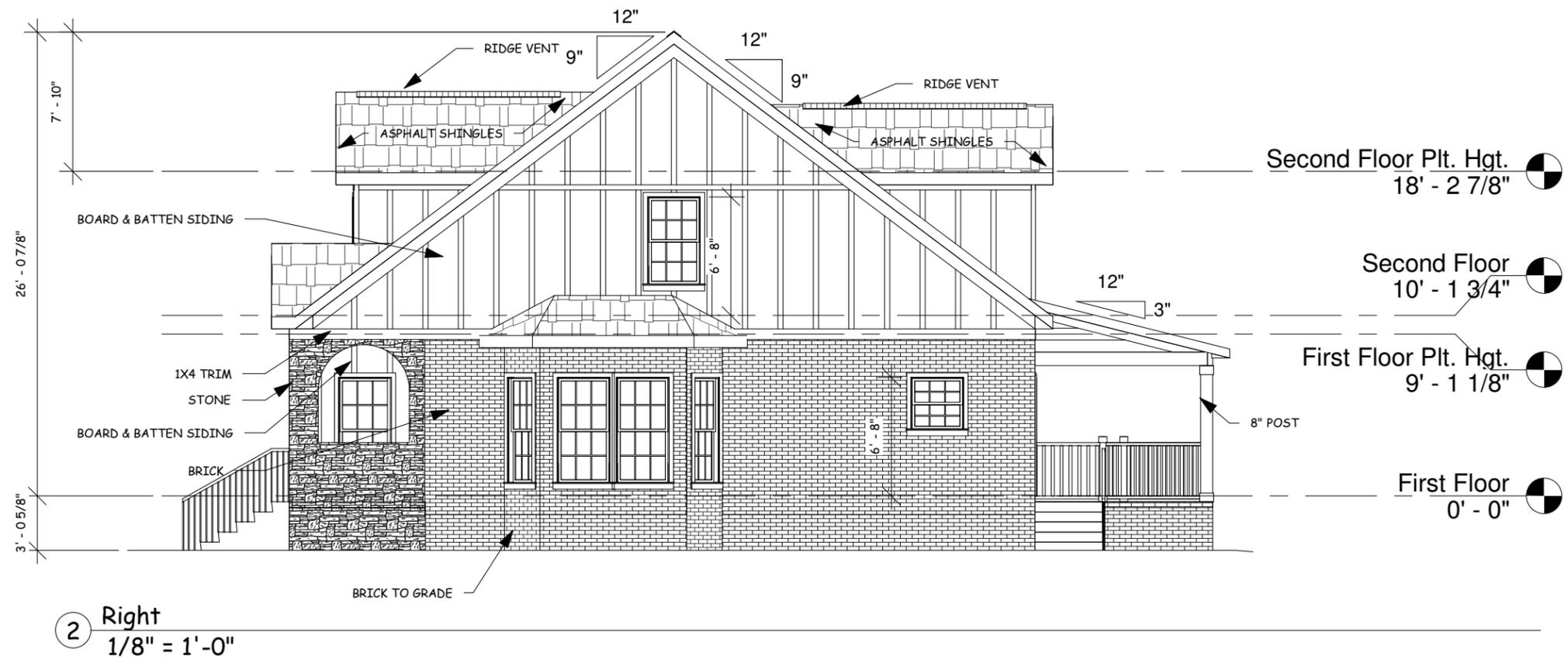
|               |         |
|---------------|---------|
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### ELEVATIONS

|                |                  |
|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**E100**

Scale 1/8" = 1'-0"



dmdrafter@outlook.co

Merridian Construction  
231 Cherokee Rd.  
Nashville, TN.

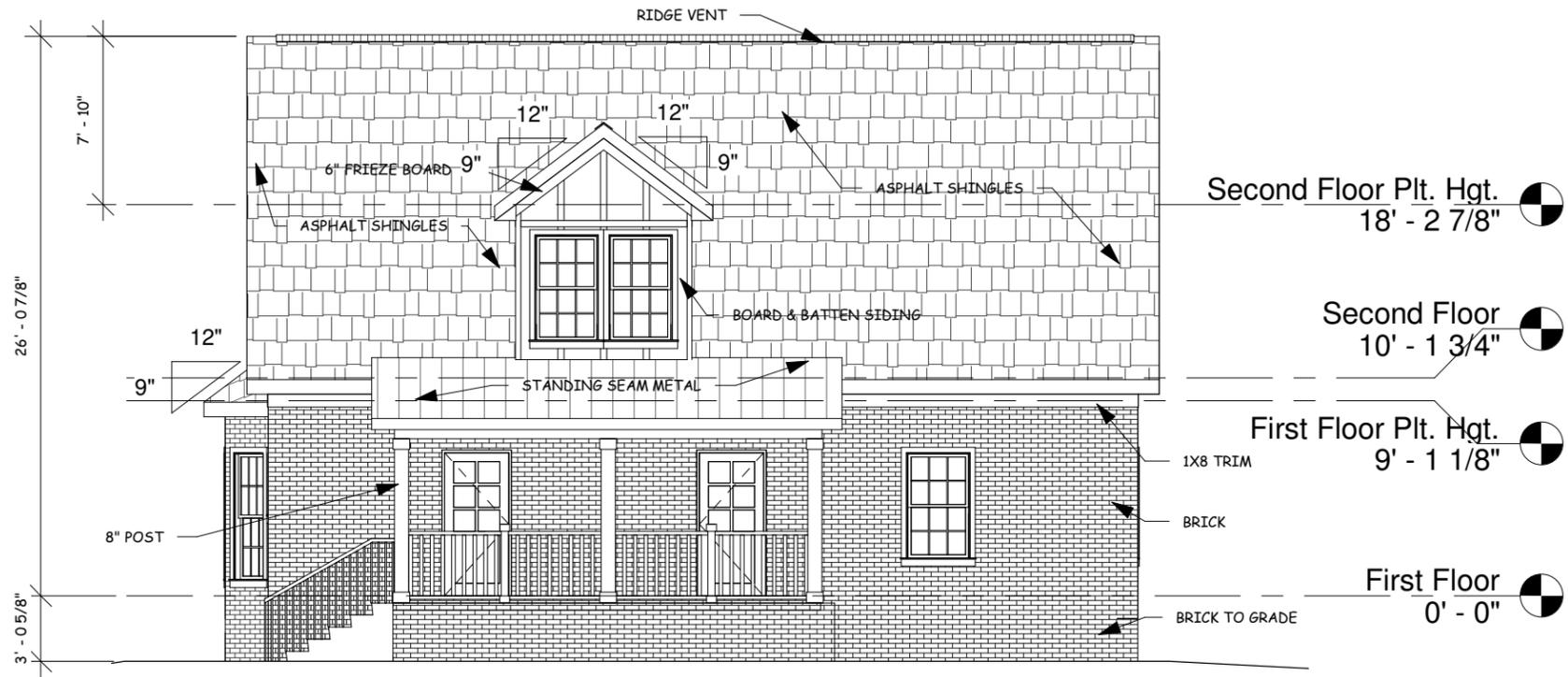
|               |         |
|---------------|---------|
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### ELEVATIONS

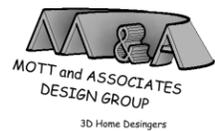
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|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**E101**

Scale 1/8" = 1'-0"



1 Rear  
1/8" = 1'-0"



dmdrafter@outlook.co

Merridian Construction  
231 Cherokee Rd.  
Nashville, TN.

|               |         |
|---------------|---------|
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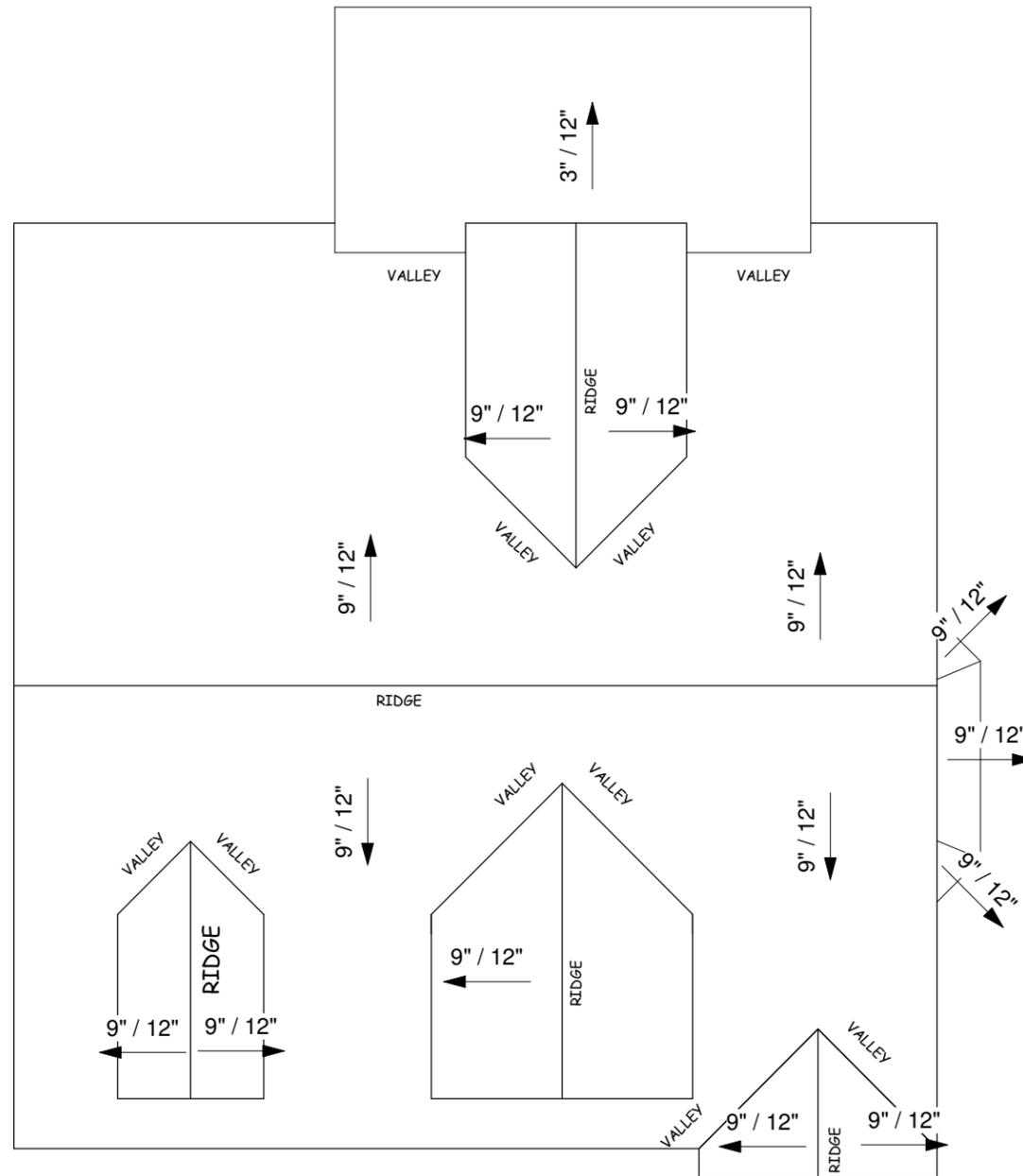
### ELEVATIONS

|                |                  |
|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

E102

Scale 1/8" = 1'-0"





2 Roof Plan  
 1/8" = 1'-0"



dmdrafter@outlook.co

Merridian Construction  
 231 Cherokee Rd.  
 Nashville, TN.

|               |         |
|---------------|---------|
| First Floor   | 1572 SF |
| Second Floor  | 1018 SF |
| Total Living  | 2590 SF |
| Covered Porch | 65 SF   |
| Covered Deck  | 207 SF  |
| Total Covered | 2862 SF |

### ROOF PLAN

|                |                  |
|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**R100**

Scale 1/8" = 1'-0"

## Window Schedule

| Type Mark | Family      | Width        | Rough Width | Height       | Rough Height | Sill Height |
|-----------|-------------|--------------|-------------|--------------|--------------|-------------|
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
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| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| A         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 4' - 11 1/2" | 5' - 0"      | 1' - 8 1/2" |
| B         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| B         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| B         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| C         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 3' - 11 1/2" | 4' - 0"      | 2' - 8 1/2" |
| D         | Double Hung | 2' - 11 1/2" | 3' - 0"     | 2' - 11 1/2" | 3' - 0"      | 3' - 8 1/2" |
| E         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 3' - 11 1/2" | 4' - 0"      | 2' - 8 1/2" |
| E         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 3' - 11 1/2" | 4' - 0"      | 2' - 8 1/2" |
| E         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 3' - 11 1/2" | 4' - 0"      | 2' - 8 1/2" |
| F         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| F         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| F         | Double Hung | 2' - 5 1/2"  | 2' - 6"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| G         | Double Hung | 1' - 11 1/2" | 2' - 0"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |
| G         | Double Hung | 1' - 11 1/2" | 2' - 0"     | 5' - 11 1/2" | 6' - 0"      | 0' - 8 1/2" |



dmdrafter@outlook.co

**Merridian Construction**  
**231 Cherokee Rd.**  
**Nashville, TN.**

|               |         |
|---------------|---------|
| First Floor   | 1572 SF |
| Second Floor  | 1018 SF |
| Total Living  | 2590 SF |
| Covered Porch | 65 SF   |
| Covered Deck  | 207 SF  |
| Total Covered | 2862 SF |

### SCHEDULES

|                |                  |
|----------------|------------------|
| Project number | 052419 - Rev III |
| Date           | 7/10/19          |
| Drawn by       | JR               |
| Checked by     | DM               |

**B100**

Scale