

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**1000 Paris Avenue**

**September 18, 2019**

**Application:** New Construction—Addition

**District:** Waverly-Belmont Neighborhood Conservation Zoning Overlay

**Council District:** 07

**Base Zoning:** R8

**Map and Parcel Number:** 11801022900

**Applicant:** Larry Swoopes, Owner

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> A proposal to construct a rear screened porch addition to an historic house.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the rear porch addition, finding that the proposal meets the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b></p> <p><b>A:</b> Photographs</p> <p><b>B:</b> Floorplans and Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. New Construction

#### **H. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
  - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
  - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.
3. Roof
    - a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.
    - b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
    - c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
    - d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
  - d. Stud wall lumber and embossed wood grain are prohibited.
  - e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.
6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.
- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
  - b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
  - c. Generally, attached garages are not appropriate.

*Setbacks & Site Requirements.*

- d. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- e. *Outbuilding may be as close as 3' to the rear property line if there are no garage doors facing the rear property line or they may be as close as 5' if there are garage doors facing the rear property line. (Appropriate setbacks approved by Commission on 6/21/17 and notes in Rules of Order and Procedure.)*
- f. *Generally, attached garages are not appropriate; however, instances where they may be are: Where they are a typical feature of the neighborhood; or When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*
- g. *For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- i. *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- J. *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

*7. Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.*

- a. *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- b. *The DADU may not exceed the maximums outlined previously for outbuildings.*
- c. *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*
- d. *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or the lot has been subdivided since August 15, 1984.*

*Ownership.*

- e. *No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- f. *The DADU cannot be divided from the property ownership of the principal dwelling.*
- g. *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- h. *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

*i. The living space of a DADU shall not exceed seven hundred square feet.*

## **I. Utilities**

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid-point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

## **J. Public Spaces**

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.
2. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

## **IV. Additions**

### **A. Location**

1. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.
  - a. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
  - b. Generally rear additions should inset one foot, for each story, from the side wall.
2. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.
  - a. The addition should sit back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.
  - b. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.
  - c. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

### **B. Massing**

1. In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as an extreme grade change or an atypical lot parcel shape or size. In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.
  - a. *When an addition needs to be taller:  
Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above ridge of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*

*b. When an addition needs to be wider:*

*Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

*A rear addition that is wider should not wrap the rear corner. It should only extend from the addition itself and not the historic building.*

2. No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.
  3. Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.
  4. When an addition ties into the existing roof, it should be at least 6" below the existing ridge.
  5. Ridge raises are most appropriate for one-story; side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.
  6. Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset. Foundation height should match or be lower than the existing structure.
  7. The height of the addition's roof and eaves must be less than or equal to the existing structure.
  8. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.
- F. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
- G. Additions should follow the guidelines for new construction.

**Background:** In August of 2019, the MHZC reviewed a request to retain and complete a rear addition on which construction had begun without a Preservation Permit. That application was disapproved.



Figure 1: 1000 Paris Avenue

**Analysis and Findings:** The applicant has proposed to modify the addition to meet the design guidelines. Whereas the addition had been constructed with clapboard walls, the proposal is for a screened porch with a reduced footprint.

Location & Removability: The proposed porch attaches to the house with a gable roof tying into the rear wall at the corner of an existing addition. Under section IV.A.1.b. of the design guidelines, additions are typically required to step in one foot (1') from the sides of an historic house. While the addition does not step in one foot (1') from the side of the house, the impact on the house is minimized because the addition attaches to an earlier addition and has a subordinate massing because the sides will be mostly screen.

Staff finds that the addition meets section IV.A.1.b. of the design guidelines.

Height & Scale: The addition ties into the rear wall of the house, ten feet (10') below the roof ridge. The addition will be stepped in six inches (6") from the right side of the building and approximately twelve feet (12') on the left.

Staff finds that the scale of the addition is subordinate to the historic house and meets sections IV.B and III.B.1 of the design guidelines for new construction.

Setback & Rhythm of Spacing: The addition will not impact the left or right side setbacks as it is stepped in on both sides of the house. The proposal will result in there being ten feet (10') of separation between the house and the outbuilding. Typically, the design guidelines require for there to be twenty feet (20') between a primary building and outbuilding. In this case, staff finds the proposal to be appropriate because the existing outbuilding is only twenty feet (20') from the rear of the house, and because the porch will be open in nature.

There will be a covered walkway between the addition and the existing outbuilding. This walkway will be six feet (6') wide and the sides will remain open. The Commission has previously found this type of walkway to be appropriate.

Staff finds that the addition as will meet sections III.C.2. and III.H.6.a., and III.H.6.d. of the design guidelines.

Materials: The porch will have cement-fiber clapboard knee-walls with open screen openings above, and an asphalt-shingle roof. The roof color is reddish brown.

Staff finds these materials to be appropriate and to meet section III.D of the design guidelines.

Roof form: The roof of the addition is a rear-facing gable with a 6/12 pitch.

Staff finds the roof to be compatible with the roof of the house and to meet section III.E for additions.

**Recommendation:** Staff recommends approval of the rear porch addition, finding that the proposal meets the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.

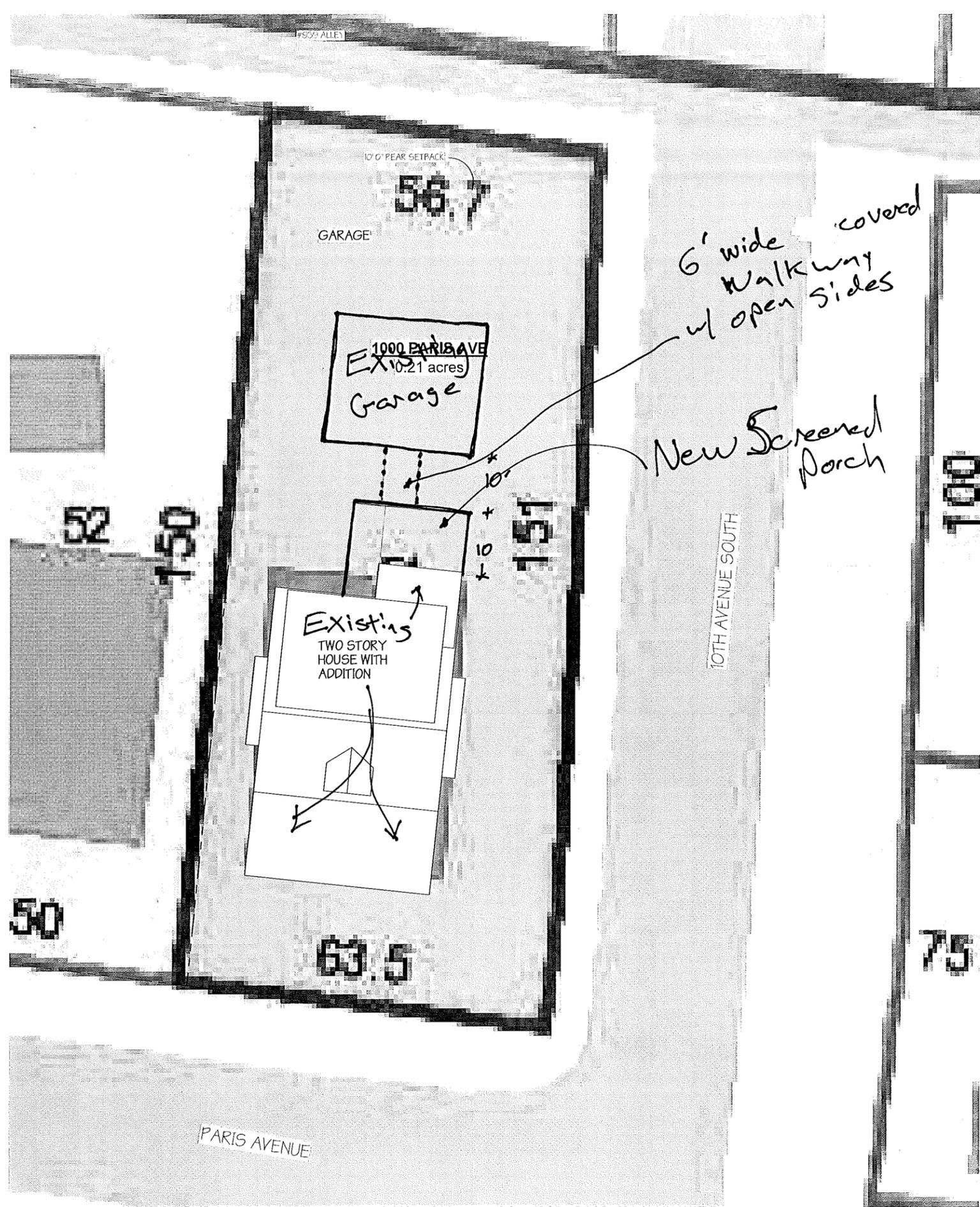
#### ATTACHMENT A: PHOTOGRAPH



1009 Paris Avenue, right side. The new proposed porch will be span between the rear of the house and the center post of the pergola shown.

site plan notes

1. A QUALIFIED SURVEYOR SHALL LOCATE STRUCTURES ONLY. FINAL LOCATION OF ALL STRUCTURES SHALL BE COORDINATED WITH OWNER.
2. PROPERTY LINE DIMENSIONS ARE PREPARED WITH INFORMATION FURNISHED BY THE OWNER AND SHALL NOT BE CONSTRUED TO BE A SURVEY OF THE PROPERTY. FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE DESIGNED ON THE SITE PLAN AND SHALL CONFORM TO ALL LOCAL ZONING AND BUILDING CODES, AMENDMENTS AND/OR APPROVED VARIANCES. BUILDER SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK.
3. ALL EXTERIOR WALLS NOT ATTACHED TO THE PRIMARY STRUCTURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
4. SIDEWALKS, DRIVEWAYS, AND OTHER FLAT WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT.
5. ALL ADDITIONAL SITE IMPROVEMENTS SHALL BE COORDINATED WITH THE OWNER.



① UNIT A SITE  
1" = 10'-0"

NSC Designs  
nick.combea@gmail.com

THE CLIENT'S RIGHT TO DESIGN AND THESE CONSTRUCTION DOCUMENTS ARE CONDITIONAL AND LIMITED TO ONE TIME USE.

THE DESIGN REPRESENTS THE DRAWINGS BELOW DESIGNER, EXCLUSIVE

THESE PLANS MAY NOT BE LOANED, OR GIVEN TO ANY OTHER PARTY FOR THE PURPOSE OF CONSTRUCTION OF AN PROJECT OR PROJECT

CONTRACTOR IS TO VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER AT ONCE.

CONTRACTOR IS TO VERIFY DIMENSIONS AND REPORT DISCREPANCIES TO THE DESIGNER AT ONCE.

THE FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS PROJECT WERE MADE BASED ON FINISHED SQUARE FOOTAGE OF THE HOUSE BUILT.

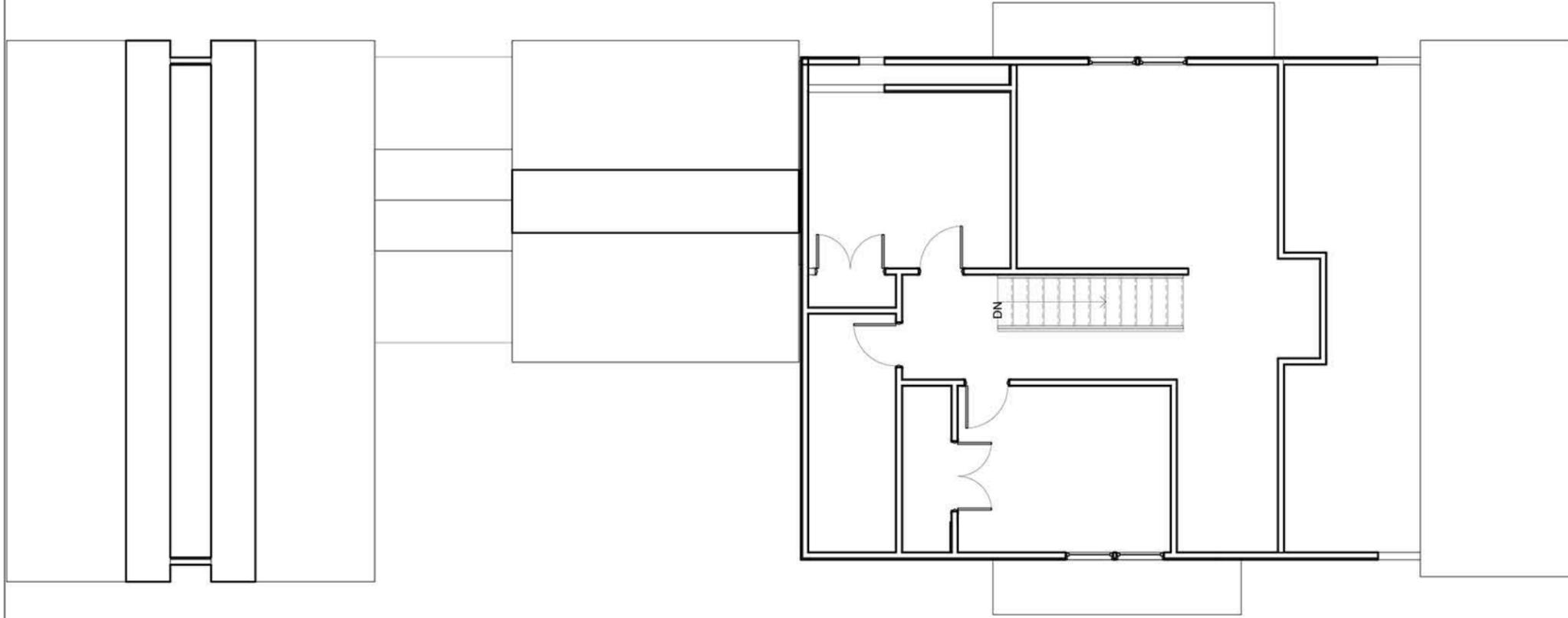
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED.

Swoopes' Residence Addition and Renovation

SITE PLAN

A002





1 Proposed Second Level  
3/16" = 1'-0"

Reduced 50%

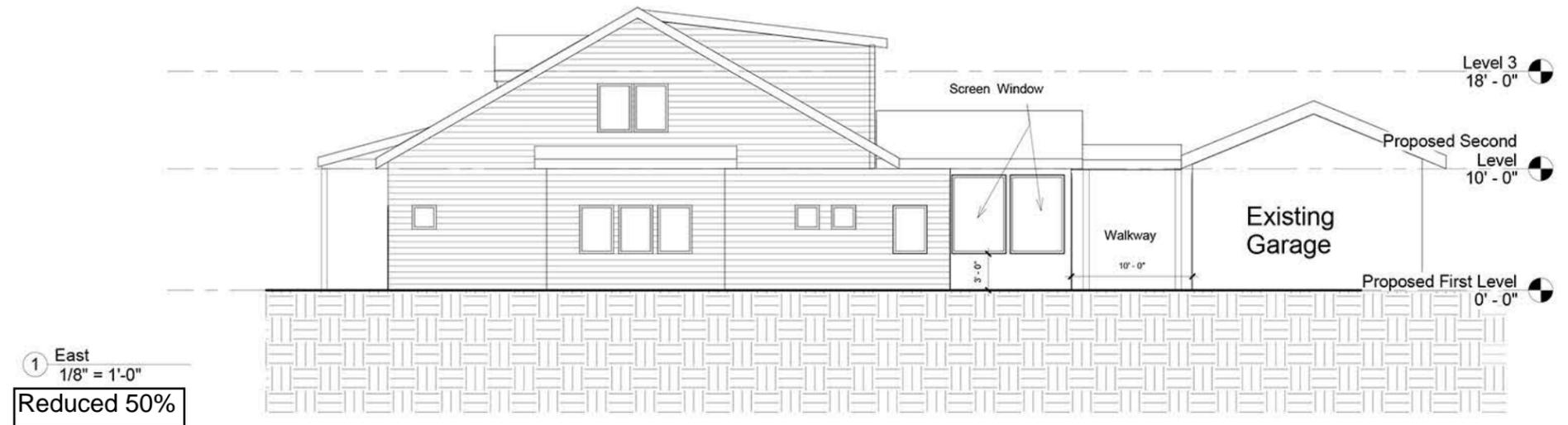
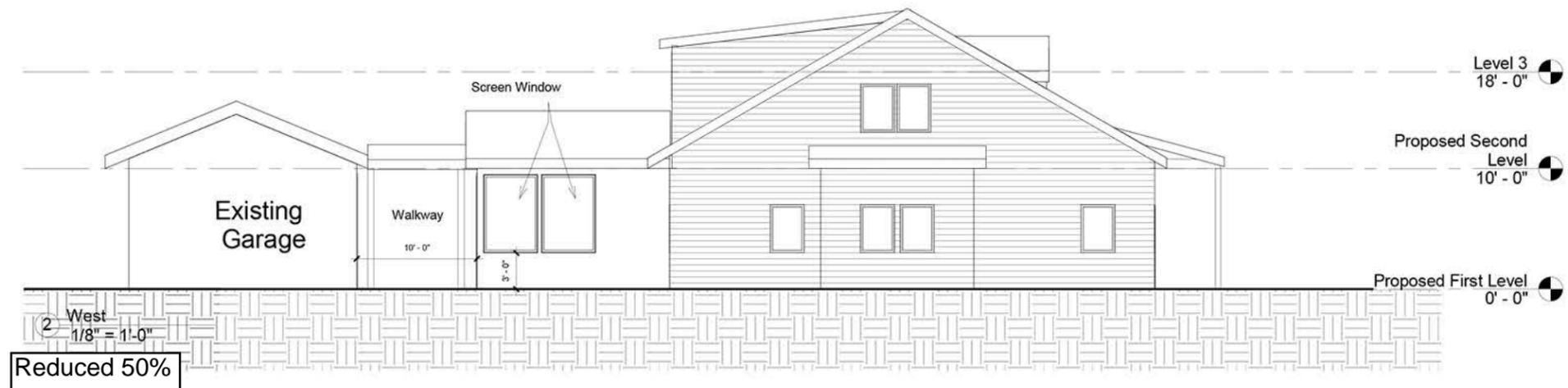
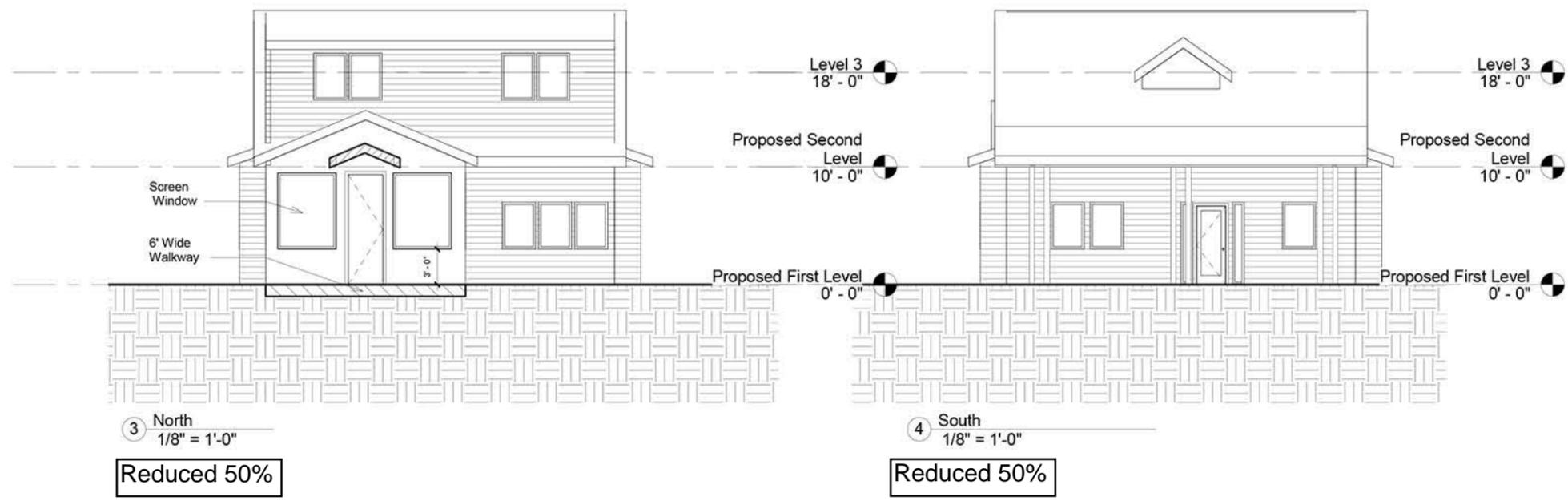
No.	Description	Date

**Project**  
**Home Addition**  
**Proposed Second Level**

Project number	230619
Date	23June,2019
Drawn by	Author
Checked by	Checker

**A102**

Scale	3/16" = 1'-0"
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No.	Description	Date

**Project  
Home Addition  
Facades**

Project number 230619  
 Date 23 June, 2019  
 Drawn by Author  
 Checked by Checker

**A103**

Scale 1/8" = 1'-0"