

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

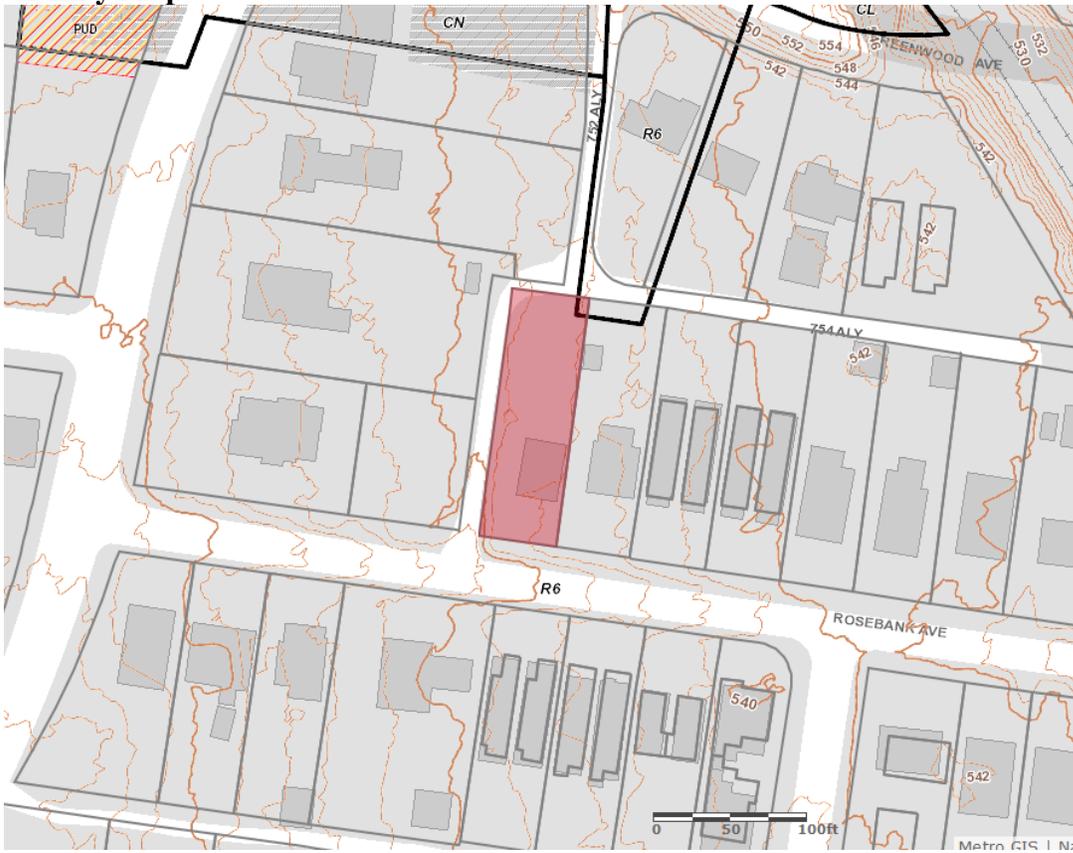
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**108 Rosebank Avenue**  
**December 18, 2019**

**Application:** Setback determination  
**District:** Eastwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Base Zoning:** R6  
**Map and Parcel Number:** 08303018400  
**Applicant:** Cheyenne Smith  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is for a setback determination for an addition that was previously approved by the Metro Historic Zoning Commission. Base zoning requires a five foot (5') side setback and the applicant is proposing a side setback of approximately two feet, ten inches (2'10"). The addition's design, including its height, scale, roof form, proportion and rhythm of openings, orientation, and materials, have not changed since the Commission approved the project in April 2019.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the setback finding that it meets Sections II.B. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. GUIDELINES**

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

**Background:** 108 Rosebank is a c. 1925 frame cottage that contributes to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay (Figure 1). In April 2019, the Historic Zoning Commission approved demolition of a non-historic addition and the construction of a new addition. Since that time, a survey of the property has shown that the historic house and the addition do not meet the five foot (5') base zoning setback.



Figure 1. 108 Rosebank

**Analysis and Findings:** Application is for a setback determination for an addition that was previously approved by the Metro Historic Zoning Commission. Base zoning requires a five foot (5') side setback and the applicant is proposing a side setback of approximately two feet, ten inches (2'10").

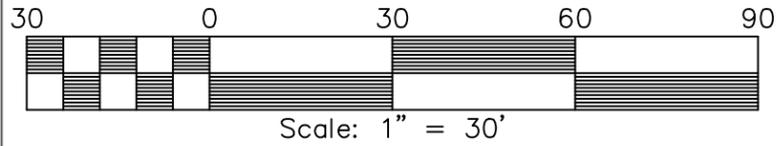
The addition's design, including its height, scale, footprint, insets, roof form, proportion and rhythm of openings, orientation, and materials, have not changed since the Commission approved the project in April 2019. Since no changes to the design of the previously-approved addition are proposed, this staff recommendation will only address the proposed side setback determination.

**Setback & Rhythm of Spacing:** The house is over seventy feet (70') from the rear property line, meeting the base zoning twenty foot (20') rear setback. The house is shifted on the lot so that it is approximately nineteen feet (19') from the left side property line but just two feet, ten inches (2'10") from the right side property line. After an inset, the addition will line up with the side wall of the house; therefore it too will not meet the five foot (5') base zoning setback and will just be two feet, ten inches (2'10") from the side property line. Staff finds the proposed right side setback determination to be appropriate because addition will be no wider than the historic house and will not

encroach further on the side property line than the current house. The Commission has approved side setback determinations in similar situations where the historic house does not meet the base zoning setback and the addition is no wider than the historic house.

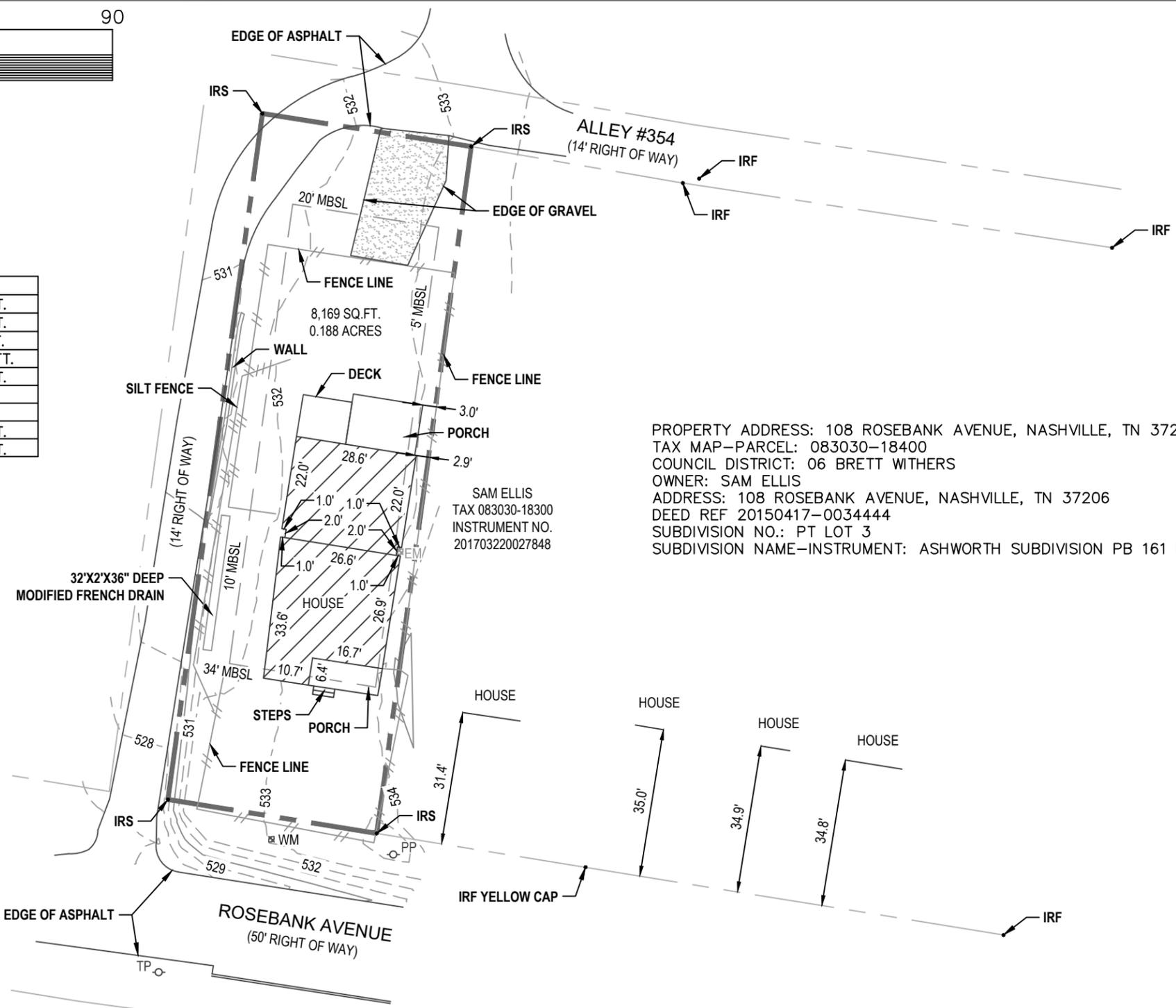
Staff finds the addition's setback and rhythm of spacing to meet Section II.B.1.c. and II.B.2. of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the setback finding that it meets Sections II.B. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.



DRAWN BY : KSL  
 DATE: 11/04/19  
 REV: 11/20/19  
 JOB # 19167

IMPERVIOUS TABLE	
EXISTING: BUILDING	907 SQ. FT.
DRIVEWAYS	507 SQ. FT.
SIDEWALK/MISC.	165 SQ. FT.
TOTAL	1579 SQ. FT.
PROPOSED: BUILDING	838 SQ. FT.
DRIVEWAYS	0 SQ. FT.
SIDEWALK/MISC.	0 SQ. FT.
TOTAL	838 SQ. FT.
NET GAIN	838 SQ. FT.



PROPERTY ADDRESS: 108 ROSEBANK AVENUE, NASHVILLE, TN 37206  
 TAX MAP-PARCEL: 083030-18400  
 COUNCIL DISTRICT: 06 BRETT WITHERS  
 OWNER: SAM ELLIS  
 ADDRESS: 108 ROSEBANK AVENUE, NASHVILLE, TN 37206  
 DEED REF 20150417-0034444  
 SUBDIVISION NO.: PT LOT 3  
 SUBDIVISION NAME-INSTRUMENT: ASHWORTH SUBDIVISION PB 161 PG 153

SAM ELLIS  
 TAX 083030-18300  
 INSTRUMENT NO.  
 201703220027848

**SITE PLAN**  
**108 ROSEBANK AVENUE**  
 TAX MAP 083030-18400  
 NASHVILLE, TENNESSEE

CERTIFICATION OF SURVEY ACCURACY

I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON; THAT THIS A CATEGORY "1" LAND SURVEY AS DEFINED IN TITLE 62, CHAPTER 18, TENNESSEE CODE ANNOTATED, AND THAT THE RATIO OF PRECISION IS GREATER THAN OR EQUAL TO 1:10,000.



11/04/19                      STEVEN D. DELLE  
 DATE                              NAME

**Delle Land Surveying**  
 1104 Pardue Road  
 Ashland, Tennessee 37015  
 (615) 642-9146

REV	DATE	DESCRIPTION
△		
△		

MHZC REVIEW SET  
NOT FOR CONSTRUCTION

PLOT TO FULL SCALE  
ON 22" X 34" PAPER

PLOT TO HALF SCALE  
ON 11" X 17" PAPER

SCALE: AS NOTED

A100

SITE PLAN AND  
DEMOLITION PLAN

**MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS**

- Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
- Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
- Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
- Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
- Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
- Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
- For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**MHZC INSPECTIONS & FINAL APPROVALS  
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

- Please refer to notes on page 1.
- Staff must approve the construction progress at the following points:
  - After the building footprint has been field staked
  - After the foundation wall has been constructed
  - After the rough framing has been completed
- The following must be submitted for final approval before purchase:
  - Windows and doors
  - Roof color

**SITE PLAN NOTES**

THIS SITE PLAN WAS SCALED AND CREATED FROM THE NASHVILLE PLANNING DEPARTMENT ONLINE PARCEL VIEWER. THE PROPERTY LINES AND EXISTING HOME LOCATION ARE ONLY APPROXIMATE.

THE SOLE PURPOSE OF THIS SITE PLAN IS TO SHOW THE APPROXIMATE LOCATION OF THE PROPOSED STRUCTURE AS IT RELATES TO THE BUILDING SETBACK AND PROPERTY LINES AND SHOULD NOT BE USED FOR CALCULATING IMPERVIOUS AREAS.

A BOUNDARY AND TOPOGRAPHICAL SURVEY WAS NOT PERFORMED AND IF REQUIRED FOR PERMITTING PURPOSES IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO HIRE A LICENSED LAND SURVEYOR TO PERFORM THESE DUTIES.

**WALL TYPE LEGEND**

	EXISTING WALLS TO REMAIN
	WALLS TO DEMOLISH
	FILL EXISTING OPENINGS
	NEW WALLS

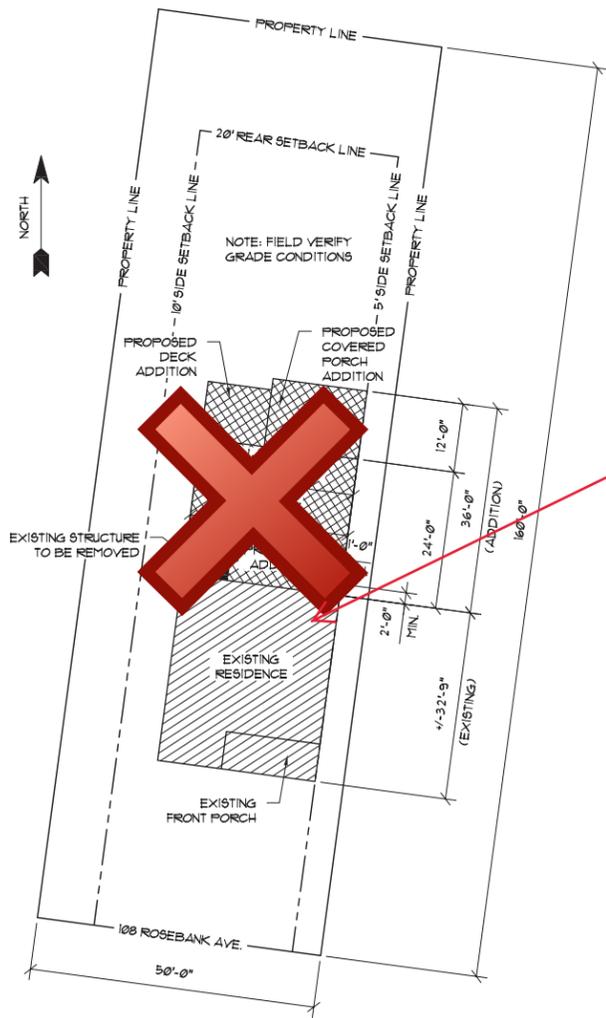
**CONSTRUCTION NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
- DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
- ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
- ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
- TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-0" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
- CABINETRY, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.

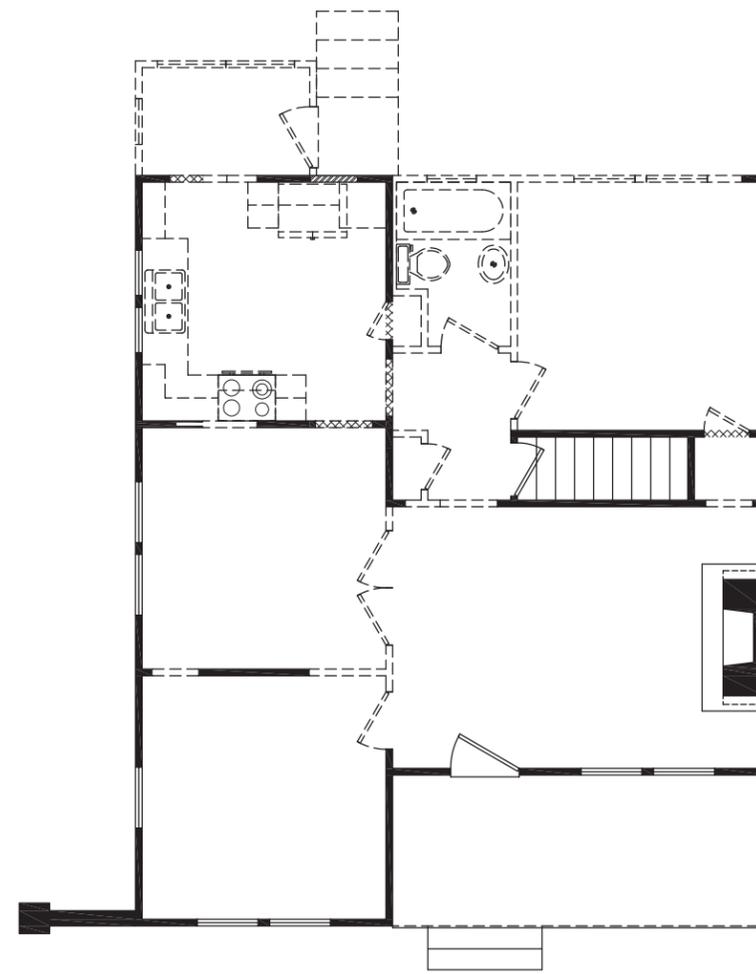
**AREA CALCULATIONS**

CONDITIONED AREA	
FIRST FLOOR EXISTING:	+/- 907 SF
(FIRST FLOOR EXISTING TO BE DEMOLISHED):	+/- 40 SF
FIRST FLOOR ADDITION:	+/- 663 SF
SECOND FLOOR ADDITION:	+/- 500 SF
TOTAL CONDITIONED:	+/- 2430 SF
NON-CONDITIONED AREA	
FRONT STOOP EXISTING:	+/- 119 SF
REAR PORCH/STOOP ADDITION:	+/- 211 SF
TOTAL NON-CONDITIONED:	+/- 336 SF
TOTAL UNDER ROOF:	+/- 2766 SF

\*NOTE - NEW CONSTRUCTION AREA CALCULATIONS TAKEN FROM OUTSIDE OF FRAMING. EXISTING CALCULATIONS TAKEN FROM TAX ASSESSMENT RECORDS.



01 SITE PLAN Scale: 1/8"=1'-0"



02 DEMOLITION PLAN Scale: 1/4"=1'-0"

PROPOSED RENOVATION AND ADDITION  
108 ROSEBANK AVE.  
NASHVILLE, TN 37206

ISSUE DATE: 04.01.19

REV	DATE	DESCRIPTION
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MHC REVIEW SET  
NOT FOR CONSTRUCTION

PLOT TO FULL SCALE  
ON 22" X 34" PAPER

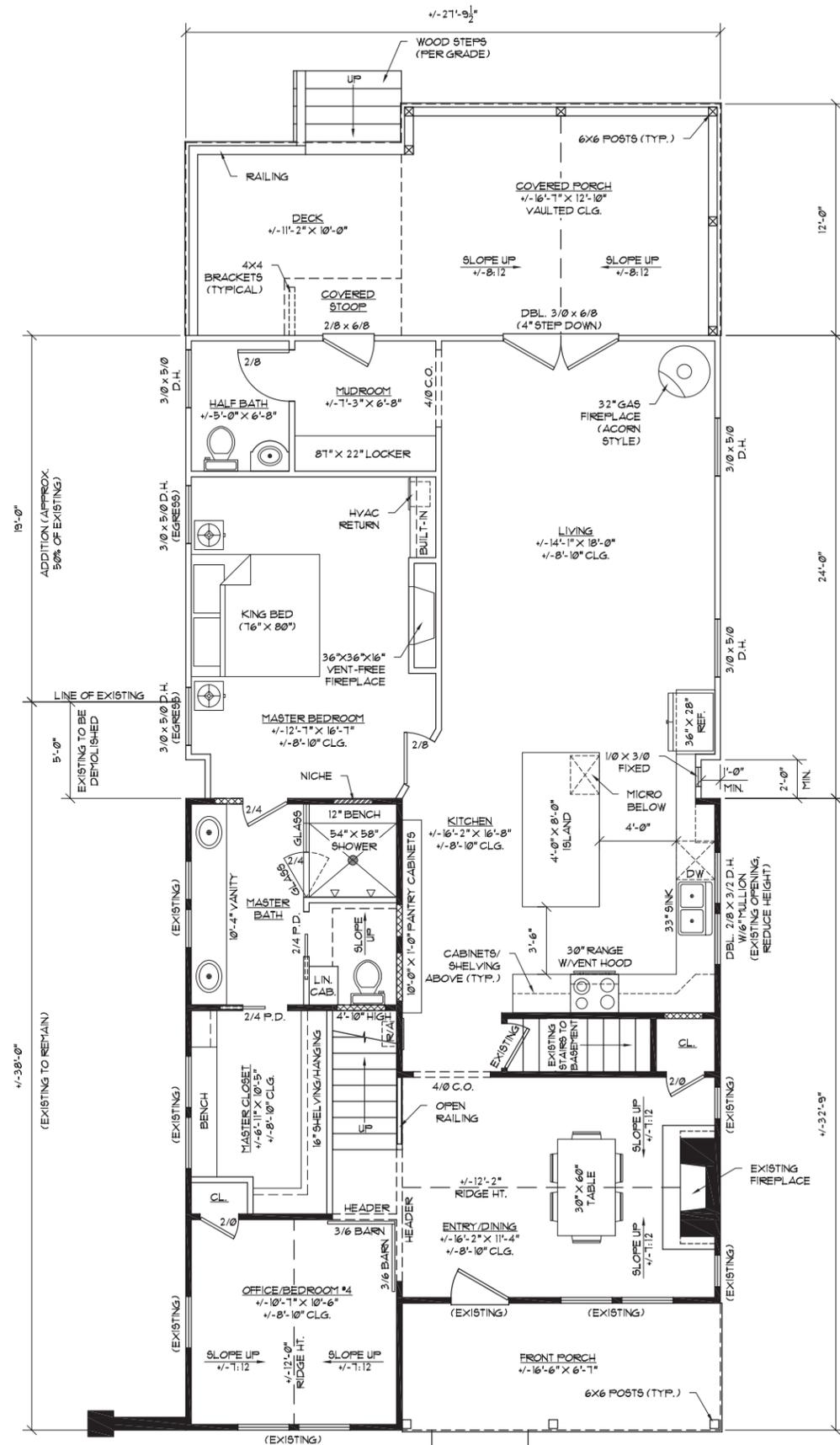
PLOT TO HALF SCALE  
ON 11" X 17" PAPER

SCALE: 1/4" = 1'-0"

A101

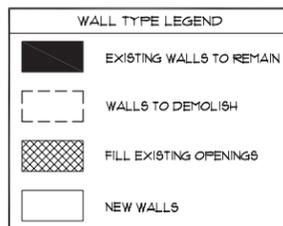
FLOOR PLANS

See Notes on  
Other Drawings



01 FIRST LEVEL FLOOR PLAN

Scale: 1/4"=1'-0"

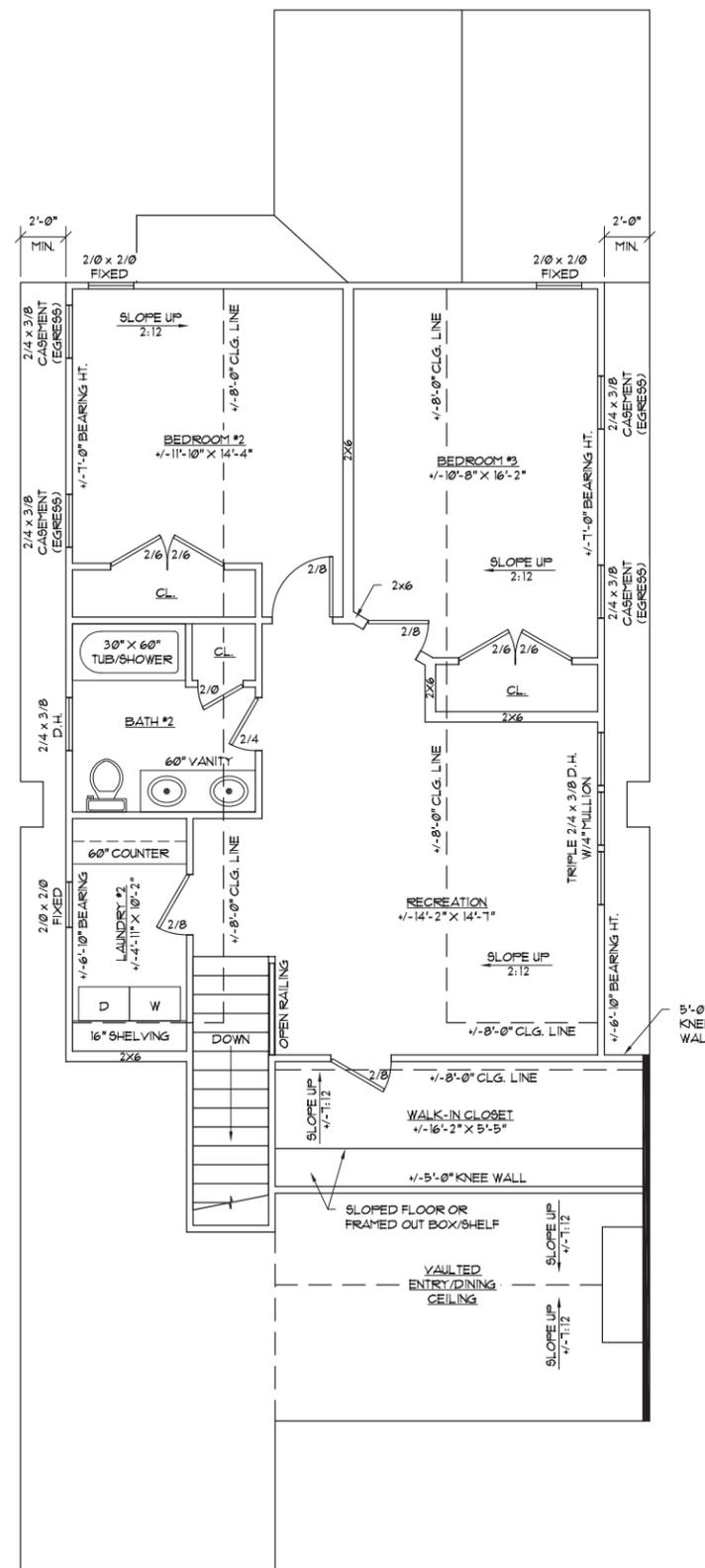


AREA CALCULATIONS

CONDITIONED AREA	
FIRST FLOOR EXISTING:	4,907 SF
(FIRST FLOOR EXISTING TO BE DEMOLISHED):	4,40 SF
FIRST FLOOR ADDITION:	4,663 SF
SECOND FLOOR ADDITION:	4,900 SF
TOTAL CONDITIONED:	4,243 SF
NON-CONDITIONED AREA	
FRONT STOOP EXISTING:	4,119 SF
REAR PORCH/STOOP ADDITION:	4,211 SF
TOTAL NON-CONDITIONED:	4,336 SF
TOTAL UNDER ROOF:	4,276 SF

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02 SECOND LEVEL FLOOR PLAN

Scale: 1/4"=1'-0"

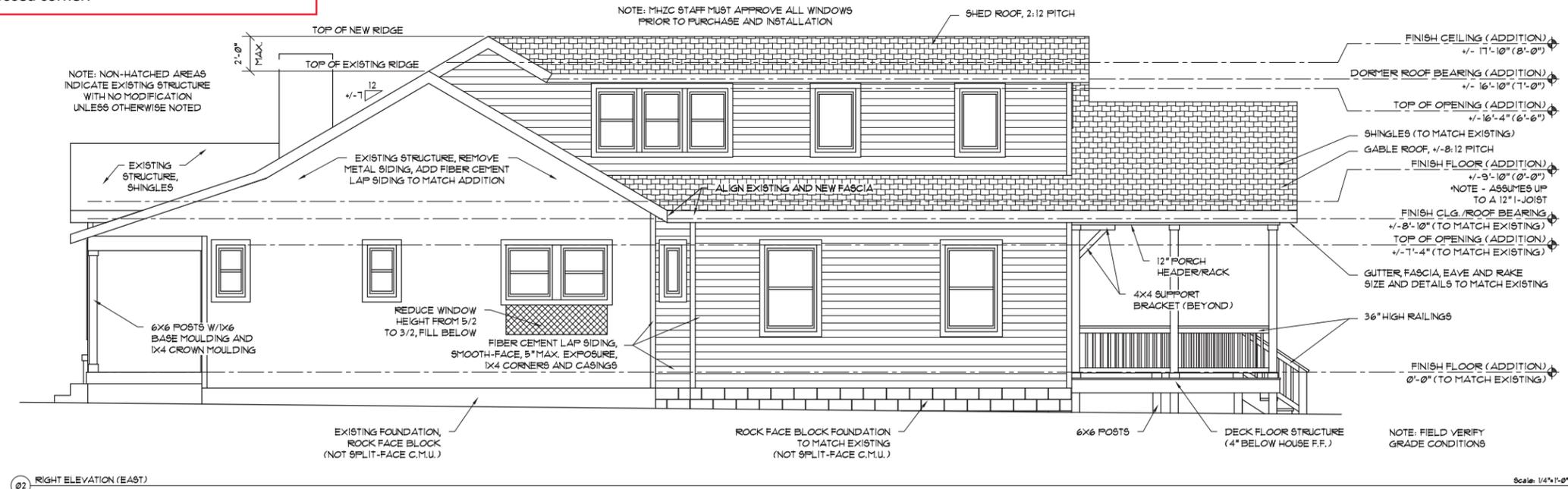
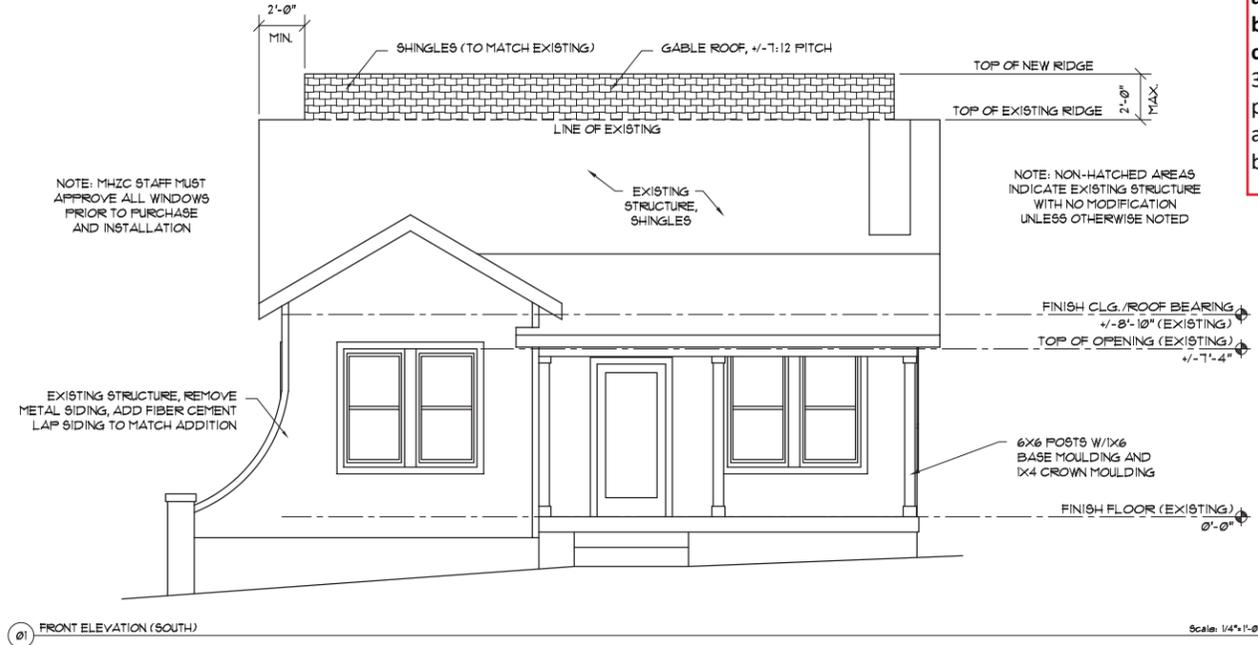
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PROJECT #: 19010

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 NASHVILLE, TN 37206

ISSUE DATE: 04.01.19

REV	DATE	DESCRIPTION
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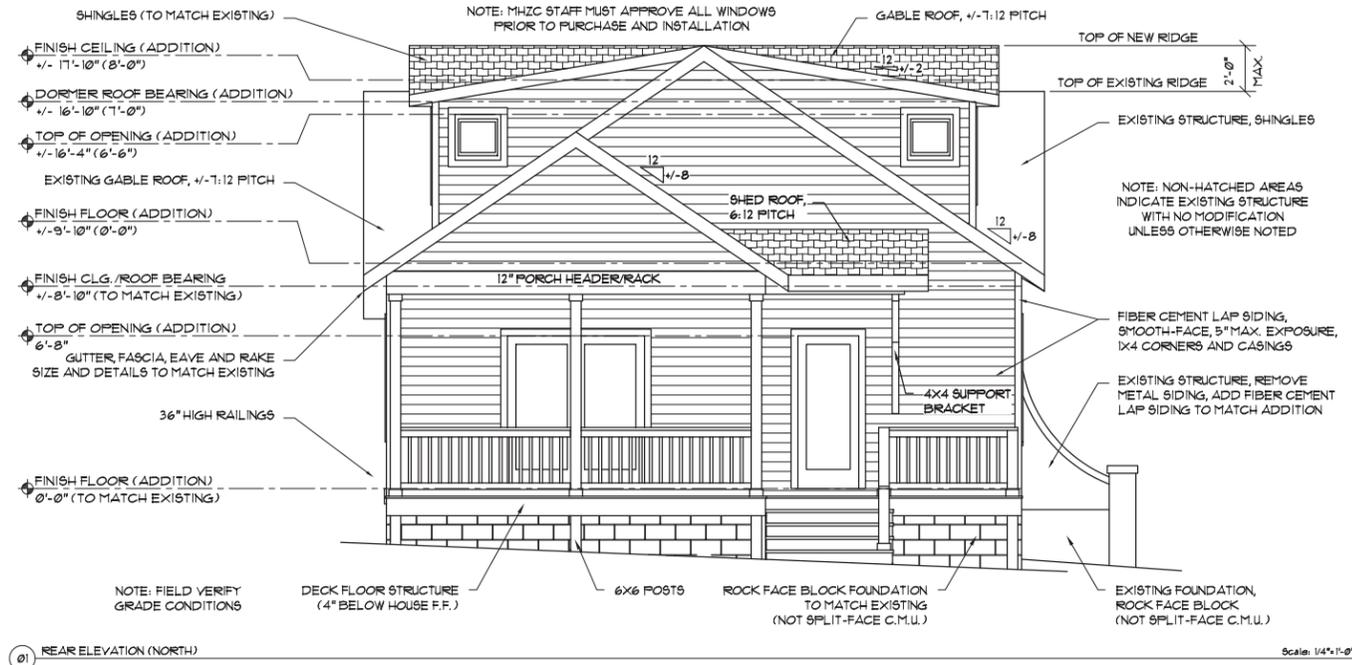
SCALE: 1/4" = 1'-0"

A102

EXTERIOR  
ELEVATIONS

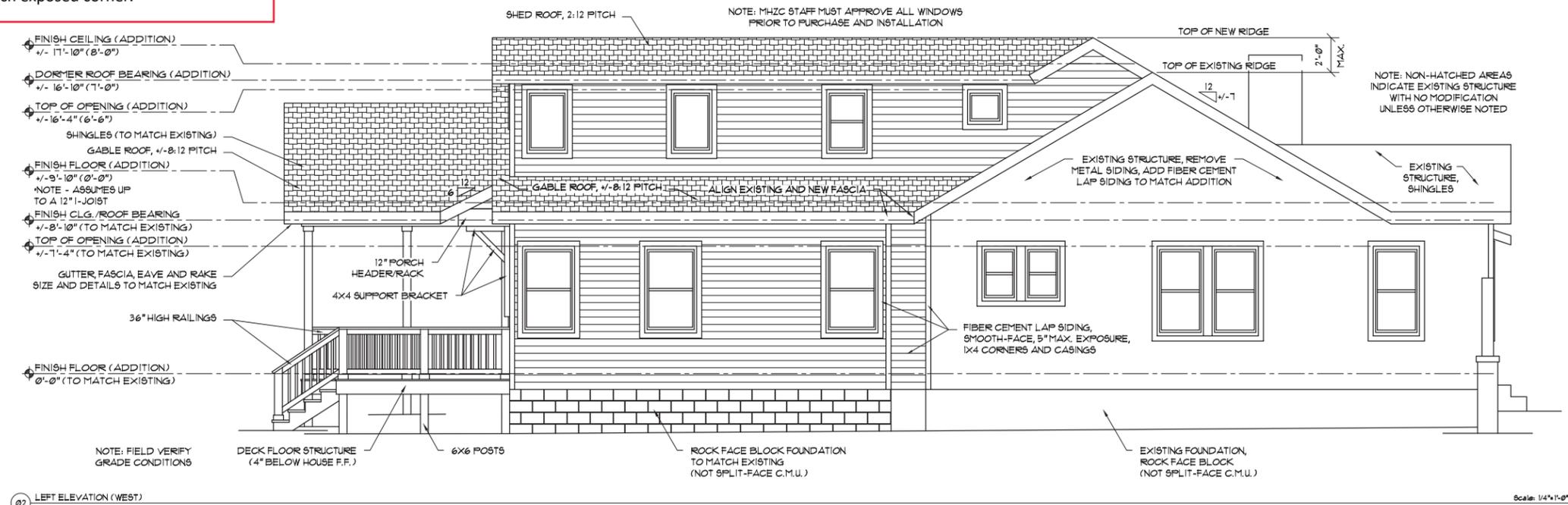
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A103

EXTERIOR  
ELEVATIONS