

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
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STAFF RECOMMENDATION
1521 Woodland Street
December 18, 2019

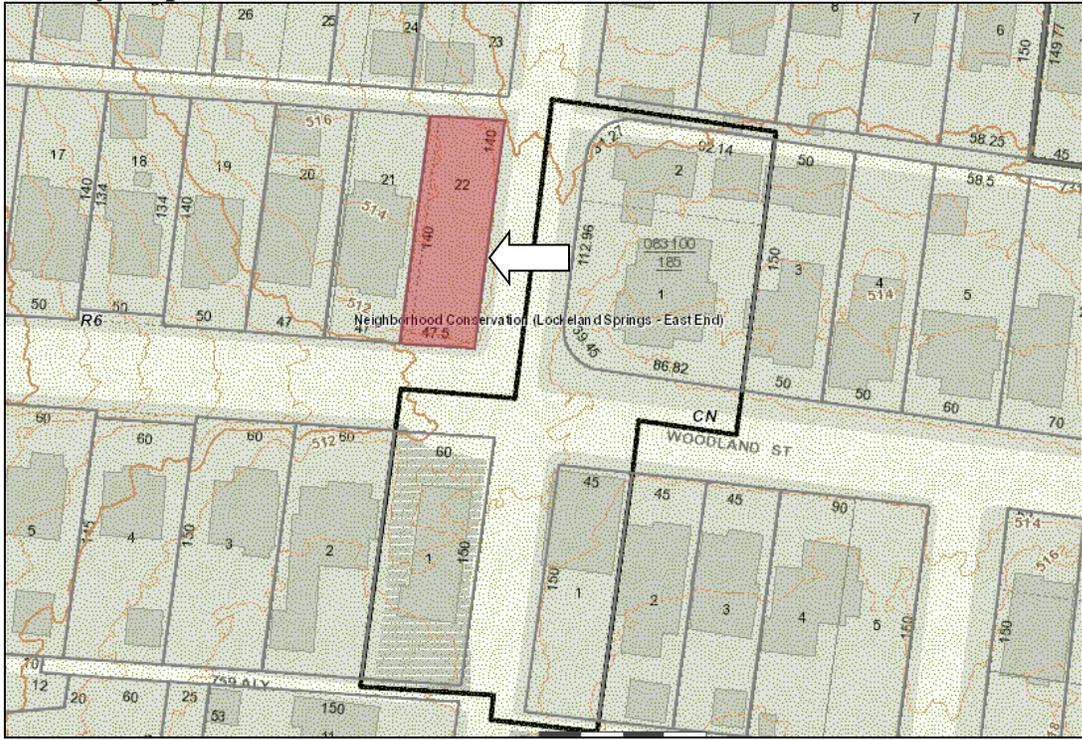
Application: New construction—Infill; Setback determination
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Base Zoning: R6
Map and Parcel Number: 08309039500
Applicant: David Baird
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: Application is to construct two-story infill on a vacant lot. The infill requires a side setback determination from twenty feet (20') to ten feet (10') on the North 16th Street property line.

Recommendation Summary: Staff recommends disapproval of the project, finding that the proposed infill does not meet Sections II.B.1. (Height), II.B.2. (Scale), II.B.3. (Setback & Rhythm of Spacing), II.B.6. (Orientation), and II.B.7. (Proportion and Rhythm of Openings) of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay design guidelines.

Attachments
A: Photographs
B: Site Plan
C: Elevations
D: Public comment as of 12/9/2019

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.

For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the

historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.

6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines. Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate. Texture and tooling of mortar on new construction should be similar to historic examples. Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof. Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate. Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic buildings*.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: The property located at 1521 Woodland Street is a vacant lot located at the northwest corner of North 16th Street and Woodland (Figure 1). At forty-seven feet, six inches (47'-7") wide, the lot is one of the narrower lots on this block of Woodland Street. The application includes a request for a setback determination to reduce the right-side setback from twenty feet (20') to ten feet (10').



Figure 1. Vacant lot at 1521 Woodland St.

Analysis and Findings: Application is to construct a two-story infill on a vacant lot. The infill requires a side setback determination from twenty feet (20') to ten feet (10') on the North 16th Street property line.

Height & Scale: The proposed infill has a two-story form. Staff finds that a two-story form does not meet the immediate historic context. While there are examples of two-story houses on the 1400 and 1600 blocks of Woodland Street, the 1500 block of Woodland, where this site is located, is predominately one and one-and-a-half stories in height. The house next door and those directly across Woodland are all either one or one-and-a-half stories in height (Figures 2 & 3). Urban Cowboy, the large historic building located directly across North 16th Street, is predominantly one-and-a-half stories (Figure 4). In addition, the lot is on the narrower end of the context; therefore, a massing larger than neighboring buildings on wider lots will not provide for a cohesive look.



Figure 2 (left) is the house next door to 1521 Woodland Street and Figure 3 (right) are the buildings directly across the street.



Figure 4. 1603 Woodland Street, located across N. 16th Street from subject property.

The proposed height is thirty-two feet, two inches (32'2") tall from grade, which matches the height of Urban Cowboy at 1603 Woodland Street (Figure 5). The lot width of 1603 Woodland is approximately eight six feet (86') wide while the subject property is approximately forty-seven feet, six inches (47'-6") wide. Heights of historic homes on the 1500 block of Woodland range from twenty-one feet (21') to approximately thirty feet (30'), the taller homes having a pyramidal roof form. Staff finds that the overall height as well as the two-story form with a twenty-two-foot, two inch (22'2") tall eave height do not meet the historic context and the design guidelines for this narrow lot.



Figure 5. Streetscape submitted by the applicant.

The width of the house is approximately thirty-two feet, four inches (32'-4"). The width of historic houses on this block of Woodland Street range from approximately thirty to thirty-four feet (30' – 34') wide. Given that the lot is one of the narrower lots on the block and a corner lot which requires a greater side setback along the side street, staff finds that the proposed width could be appropriate if the form and height were appropriate for the historic context.

Staff finds that the infill's height and scale do not meet Sections II.B.1. and II.B.2. of the design guidelines.

Setback & Rhythm of Spacing: The infill will have a front setback similar to the historic house next door at 1519 Woodland Street and will also meet the left-side and rear setbacks. The minimum side setback along the North 16th Street side is twenty feet (20') per the bulk regulations since the street is classified as a collector. The applicant has requested a setback determination to reduce the right-side setback from twenty feet (20') to ten feet (10'). Staff finds that a ten foot (10') right-side setback could be appropriate in this location as it is consistent with other primary structures on nearby corner lots and also allows for a building width that is appropriate for the historic context. However, since the overall massing and two-story form are not appropriate for the historic context, staff cannot recommend approval of the setback determination for the project as proposed. For these reasons, staff finds that the proposed Setback and Rhythm of Spacing do not meet Section II.B.3. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick		Yes	Yes
Cladding	Brick		Yes	Yes
Roofing	Asphalt Shingles	Unknown	Yes	Yes
Front Porch floor/steps	Concrete	Natural	Yes	No
Front Porch Posts	Fiber cement	Smooth	Yes	No
Rear Porch floor/steps	Concrete	Natural	Yes	No
Rear Porch Posts	Fiber cement	Smooth	Yes	No
Windows	Pella Lifestyle	SDL with shadow bar	Yes	No
Principle Entrance	Not indicated	Unknown	Unknown	Yes
Driveway	Gravel	Natural	Yes	No
Walkway	Not indicated	Unknown	Unknown	Yes

The infill is proposed to be brick to grade with a soldier course delineating the foundation line. The Commission has typically required a change in material at the foundation level in order to meet Section II.B.2 of the design guidelines. The italicized section that was added to clarify states that “foundation lines should be visibly distinct from the predominant exterior wall material. This is typically accomplished with a change in material.” In order for the materials to meet the design guidelines, there should be a change in material at the foundation line, and staff recommends final approval of a brick sample, the roof color, and all doors.

Roof Form: The infill’s primary roof form is a hip with a 6/12 pitch, which meets the design guidelines. Both the front and rear porches will have shed roofs with a 4/12 slope. Staff finds that the proposed roof slopes meet Section II.B.5. of the design guidelines.

Orientation: The infill is oriented to Woodland Street and includes a partial-width front porch that is approximately five feet, ten inches (5’10”) deep. The design guidelines require that porches be a minimum of six feet (6’) deep. Vehicular access will be from the alley at the rear. Since the front porch is less than six feet (6’) deep, staff finds that the proposed infill does meet Section II.B.6. of the design guidelines.

Proportion and Rhythm of Openings: While there are no large expanses of wall space without a window or door opening, there are six small, square windows on the left side façade that do not meet the historic proportion of windows (Figure 6). Since this is not the side façade facing North 16th Street, it may be appropriate to incorporate some small, square windows near the rear. Staff would, however, recommend that the upper level window nearest to the front be twice as tall as it is wide.



Figure 6. Left-side elevation. Staff recommends that the window outlined in red be twice as tall as it is wide.

Staff finds that the proposed proportion and rhythm of openings do not meet Section II.B.7. of the design guidelines.

Infill Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. An appropriate location for the HVAC is on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation Summary: Staff recommends disapproval of the project, finding that the proposed infill does not meet Sections II.B.1. (Height), II.B.2. (Scale), II.B.3. (Setback & Rhythm of Spacing), II.B.6. (Orientation), and II.B.7. (Proportion and Rhythm of Openings) of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay design guidelines.

Attachment A (Context Photos):



1519 Woodland Street - contributing (left) and subject property (right)



Left to right: 1513 Woodland Street, 1515 Woodland Street, and 1513 Woodland Street, all contributing.



1511 Woodland Street – contributing



1514 Woodland Street (left) and 1510 Woodland Street (right), both contributing



1518 Woodland Street (left) and 1516 Woodland Street (right), both contributing



② FRONT-WOODLAND STREET ELEVATION



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① RIGHT SIDE-N. 16TH STREET ELEVATION

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Designed For:
MARCIA & CADE TRUITT

**1521 WOODLAND STREET
 NASHVILLE, TN 37206**
 PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**
 Date: **11.27.2019**

COVER PAGE, SHEET INDEX



STREET VIEW OF EXISTING CORNER LOT FOR PROPOSED NEW HOUSE

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STREET VIEW OF EXISTING CORNER LOT

D-1



AERIAL VIEW

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AERIAL VIEW

D-2



SITE PLAN

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SITE PLAN
D-3



WOODLAND STREET ELEVATION

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PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
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WOODLAND STREET ELEVATION

D-4



3D VIEW 1

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3D VIEW 1
D-5



3D VIEW 2

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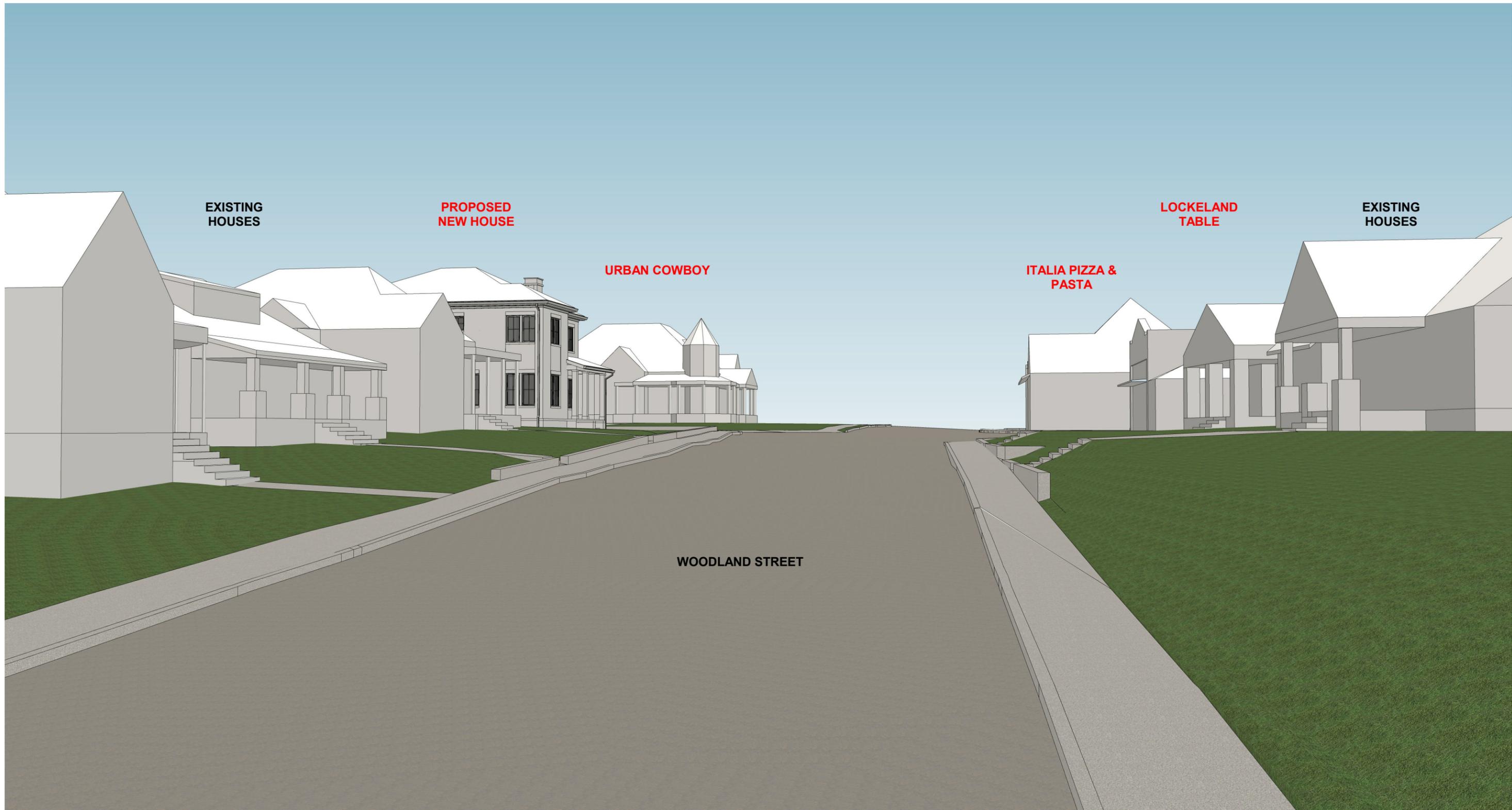
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3D VIEW 2

D-6



3D VIEW 3

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Designed For:
**MARCIA & CADE
 TRUITT**

PROJECT ADDRESS
**1521 WOODLAND STREET
 NASHVILLE, TN 37206**
 PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MH2C SUBMITTAL

Project Number: **1521**
 Date: **11.27.2019**
3D VIEW 3
D-7



Lockeland Springs Neighborhood

Historic Contributing 2 Story Homes (42)

New Construction 2 Story Homes (80)

1521 Woodland St.

LOCATION MAP OF EXISTING 2 STORY HOUSES



Architecture Interior Design Planning
David Baird, Architect
 NCARB, LEED-AP
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PROJECT ADDRESS

**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS

NUM.	DESCRIPTION	DATE

Project Phase:
MH2C SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

EXISTING HOUSE LOCATION MAP

EX-0



1 1408 WOODLAND STREET-NEW CONSTRUCTION

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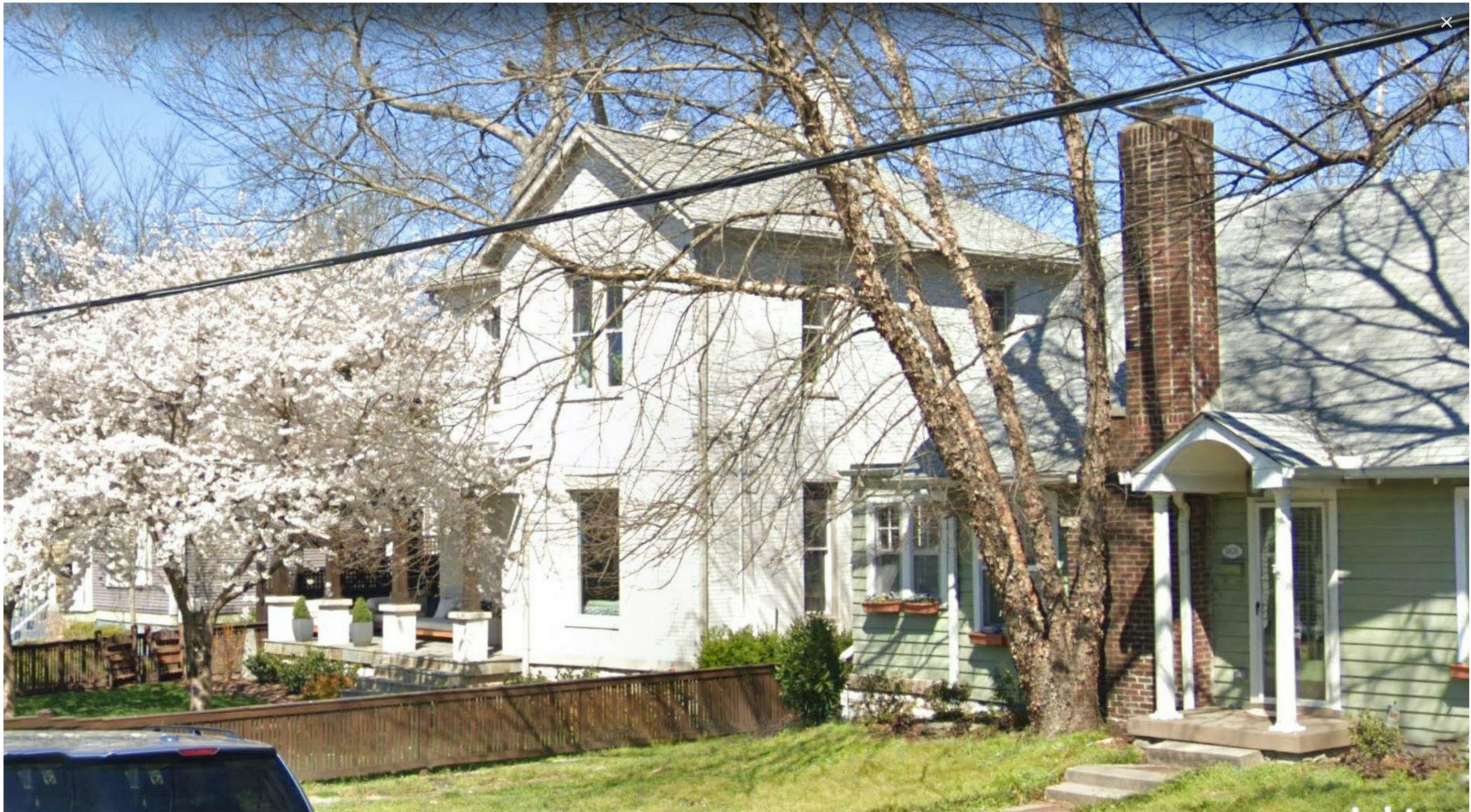
PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**
 Date: **11.27.2019**
EXISTING HOUSE

EX-1



2 1419 WOODLAND STREET-EXISTING HISTORIC CONTRIBUTING

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PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS

NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

EXISTING HOUSE

EX-2



3.1 1705 WOODLAND STREET-NEW CONSTRUCTION

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**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

EXISTING HOUSE

EX-3.1

11/27/2019 11:33:40 AM



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

APPROVAL PRECEDENT
STAFF RECOMMENDATION
1705 Woodland Street
November 20, 2013

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

Application: Demolition; New construction-infill and outbuilding
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08310030100
Applicant: Van Pond, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is proposing to demolish a non-contributing structure and replace it with a new house with a detached accessory building. The house will be two stories tall with an "I" shaped gabled roof. The primary mass of the house will be thirty-two feet (32') tall, forty-feet (40') wide and fifty-six feet (56') deep, with a fairly continuous eave at a height of twenty-feet (20') above grade. The exterior of the structure will be clad with cement-fiber siding with wood trim. The roof will be composition shingles and the foundation will be parged concrete. The garage will be one story tall, with height and massing subordinate to the primary building. The materials of the garage will match those of the house. The proposed location of the garage does not meet the minimum setbacks required by the bulk zoning regulations, but is compatible with the typical location of historic outbuildings.

Recommendation Summary: Staff recommends approval of the application with the conditions that:

- The width of the building and the massing of the upper story be reduced;
- Staff approve the color of the roof and the materials of the windows and doors;
- The HVAC units and utilities be located behind the midpoint of the structure,

Meeting those conditions, staff finds that the proposal meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

**SEE
ATTACHED
PHOTO OF
BUILT HOUSE**

Background: There is a one-story brick house at 1705 Woodland Street that was constructed circa 1980.



Analysis and Findings:

The applicant is proposing to demolish the existing structure and to construct a new two-family dwelling and a detached outbuilding.

Demolition:

Because its date of construction is well after the significant period of development for the neighborhood, it does not contribute to the historic character of the district. The proposal to demolish the non-contributing house meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Height & Scale, Setback & Rhythm of Spacing:

The new building will be a two-storied, two-family dwelling with a height of thirty-two feet (32') from the roof peak to grade and eaves on the front and sides at twenty feet (20') above grade. Although the 1700 block of Woodland Street is composed of one and one-half story houses, there are two-story houses nearby with heights comparable to that of the proposed new structure.

The building will be forty feet (40') wide across the front elevation, with a twenty-six foot (26') wide front porch shared by both units. The primary mass of the building will be fifty-six feet (56') deep, front to back, without any articulation on the side walls. There will be a porch projecting eight feet (8') to the front. Historic houses nearby are generally between twenty-eight feet (28') and thirty-five feet (35') in width, with thirty-two feet (32') being the most common width for both one and two-story houses. Two wider houses in the area, 1715 Forrest Avenue and 1624 Holly Street, are on either a double-lot or have an articulated form (ex. Queen Anne) that helps to reduce the perceived massing.

SEE ATTACHED PHOTOS

Because the width of the proposed new building is wider than is typical of historic houses nearby, Staff posits that it would disrupt the rhythm of setbacks and spacing established by uniform lot width and consistent building widths found in the historic context. Staff finds that the proposal would not meet guideline II.B.3.

Furthermore, because the structure would have a symmetrical two-story front elevation, the massing of the upper story would further disrupt the rhythm of spacing created by the existing Bungalow and Folk Victorian forms which generally have less massing in their upper stories.

Staff finds that the scale of the proposed new two-family dwelling does not meet guidelines II.B.1 and 2. Because the height of the new building is appropriate, reducing the width of the structure and breaking up the massing of the upper story could make the scale of the proposal more compatible with the historic context.



3.3 1624 HOLLY ST-EXISTING HISTORIC CONTRIBUTING

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Designed For:
**MARCIA & CADE
 TRUITT**

PROJECT ADDRESS
**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**
 Date: **11.27.2019**
EXISTING HOUSE

EX-3.3

11/27/2019 11:33:41 AM



3.4 1715 FORREST AVE-EXISTING HISTORIC CONTRIBUTING

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PROJECT ADDRESS
**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

EXISTING HOUSE

EX-3.4



4 1312 FORREST AVENUE-NEW CONSTRUCTION

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PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MH2C SUBMITTAL

Project Number: **1521**
 Date: **11.27.2019**
EXISTING HOUSE

EX-4



5 1420 ORDWAY PLACE-EXISTING HISTORIC CONTRIBUTING

11/27/2019 11:33:43 AM

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**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

EXISTING HOUSE

EX-5



6 209 NORTH 16TH STREET-NEW CONSTRUCTION

11/27/2019 11:33:43 AM

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**1521 WOODLAND STREET
 NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS

NUM.	DESCRIPTION	DATE
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Project Phase:

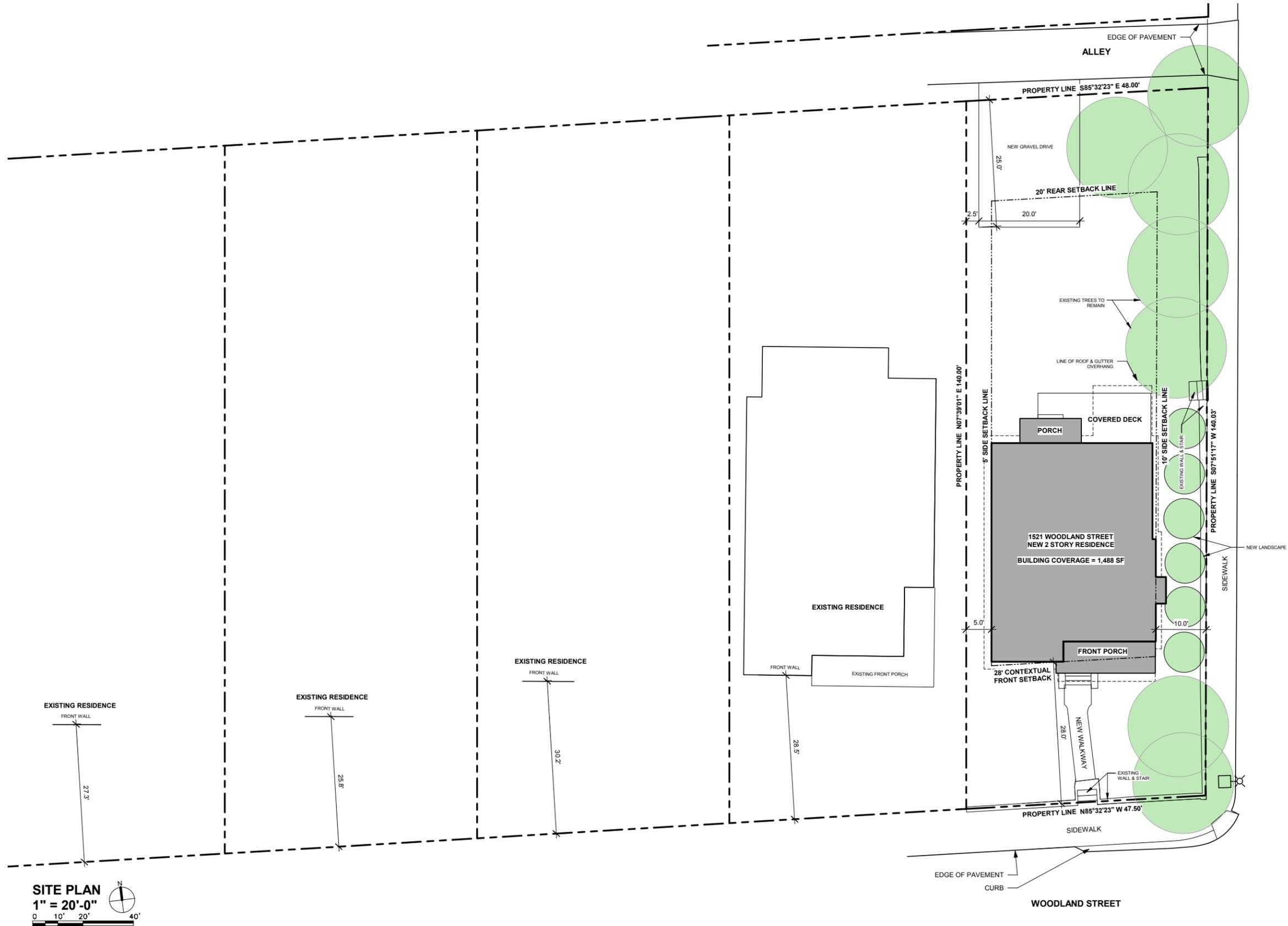
MHZC SUBMITTAL

Project Number: 1521

Date: 11.27.2019

EXISTING HOUSE

EX-6



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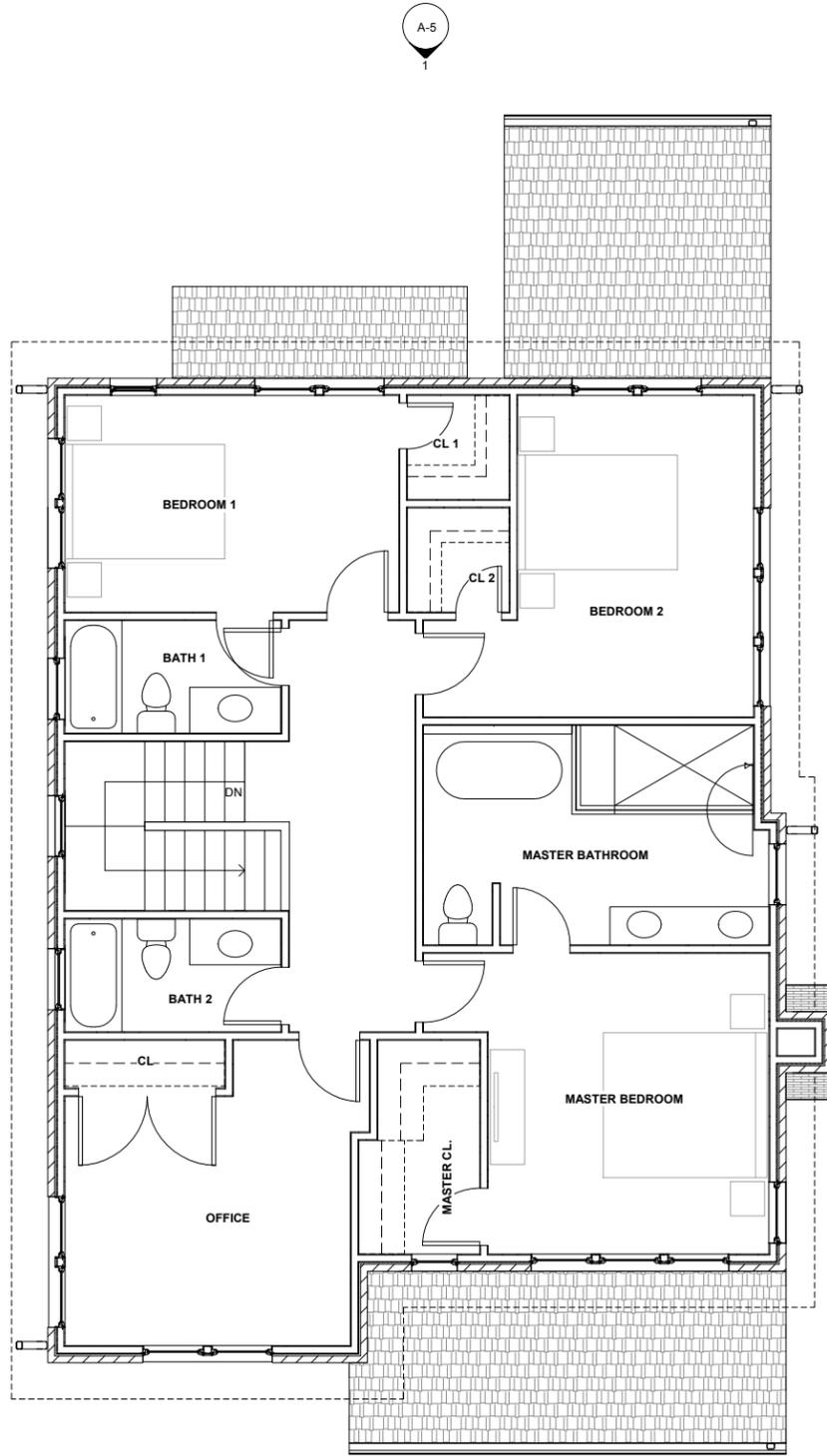
1521 WOODLAND STREET NASHVILLE, TN 37206
 PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MH3C SUBMITTAL

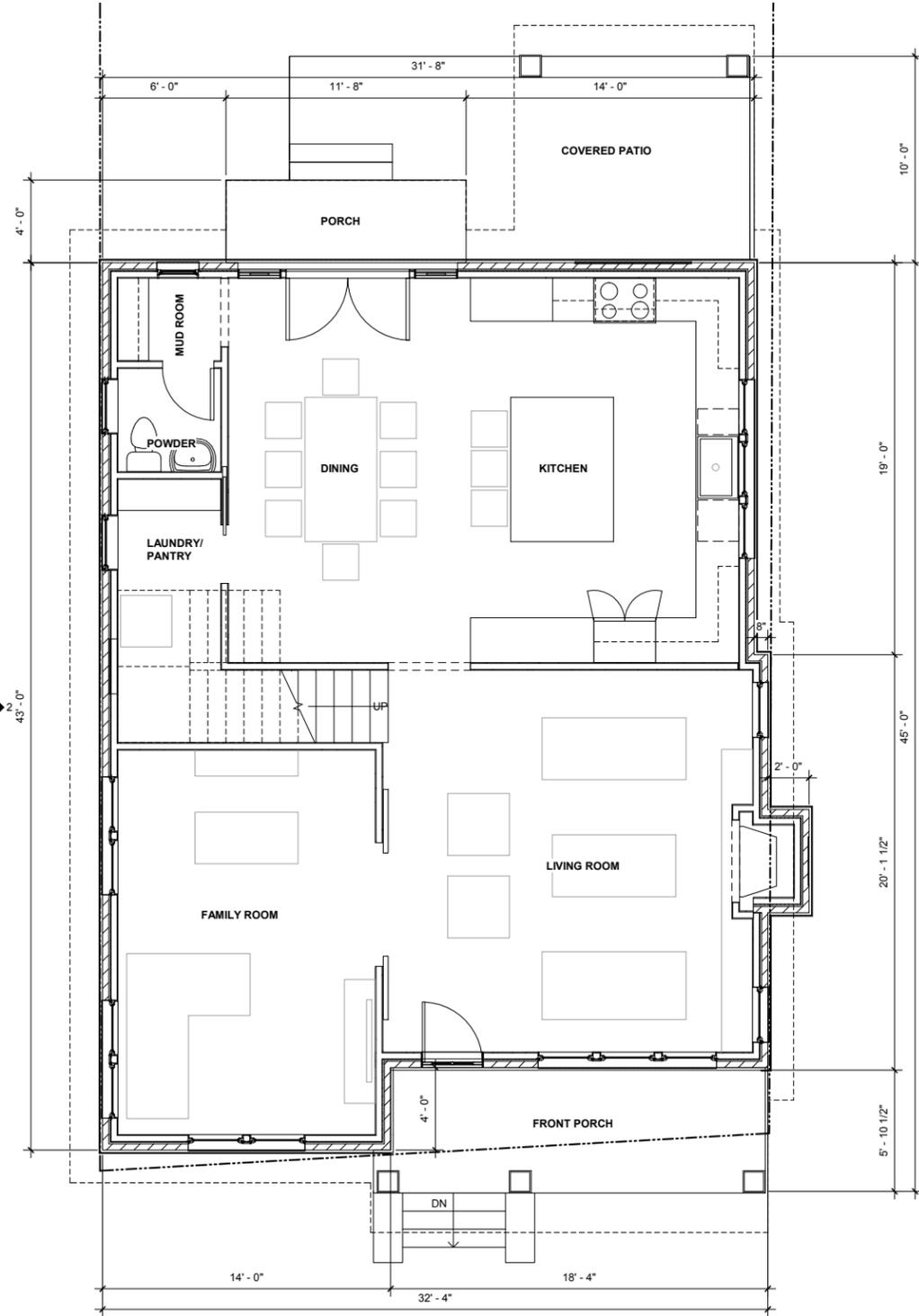
Project Number: **1521**
 Date: **11.27.2019**

② SECOND FLOOR PLAN
0 2' 4' 8'



② A-4

① FIRST FLOOR PLAN
0 2' 4' 8'



① A-4

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PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

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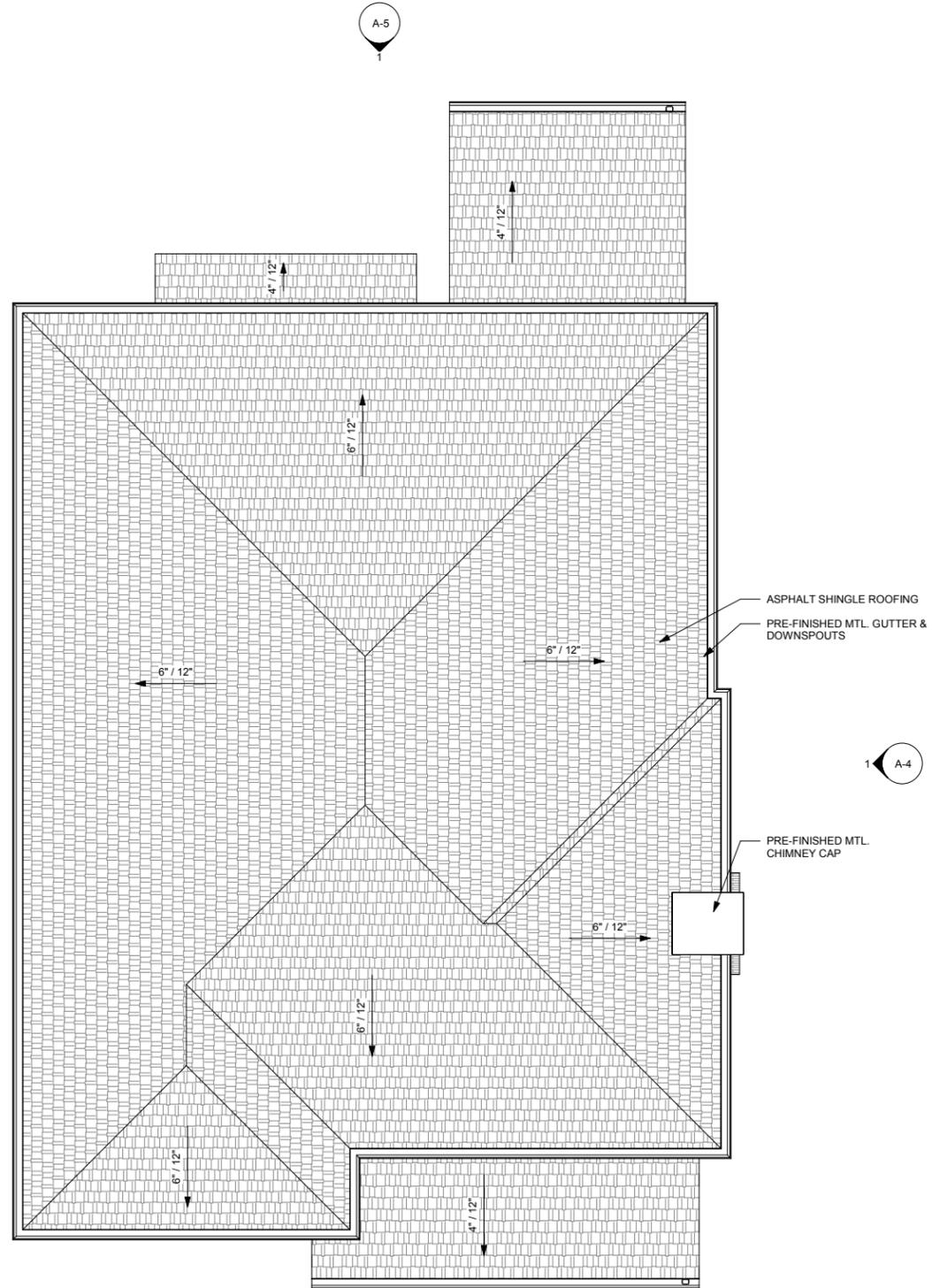
Project Number: **1521**

Date: **11.27.2019**

FLOOR PLANS



A-5 2



**1521 WOODLAND STREET
NASHVILLE, TN 37206**

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MARCIA & CADE TRUITT

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

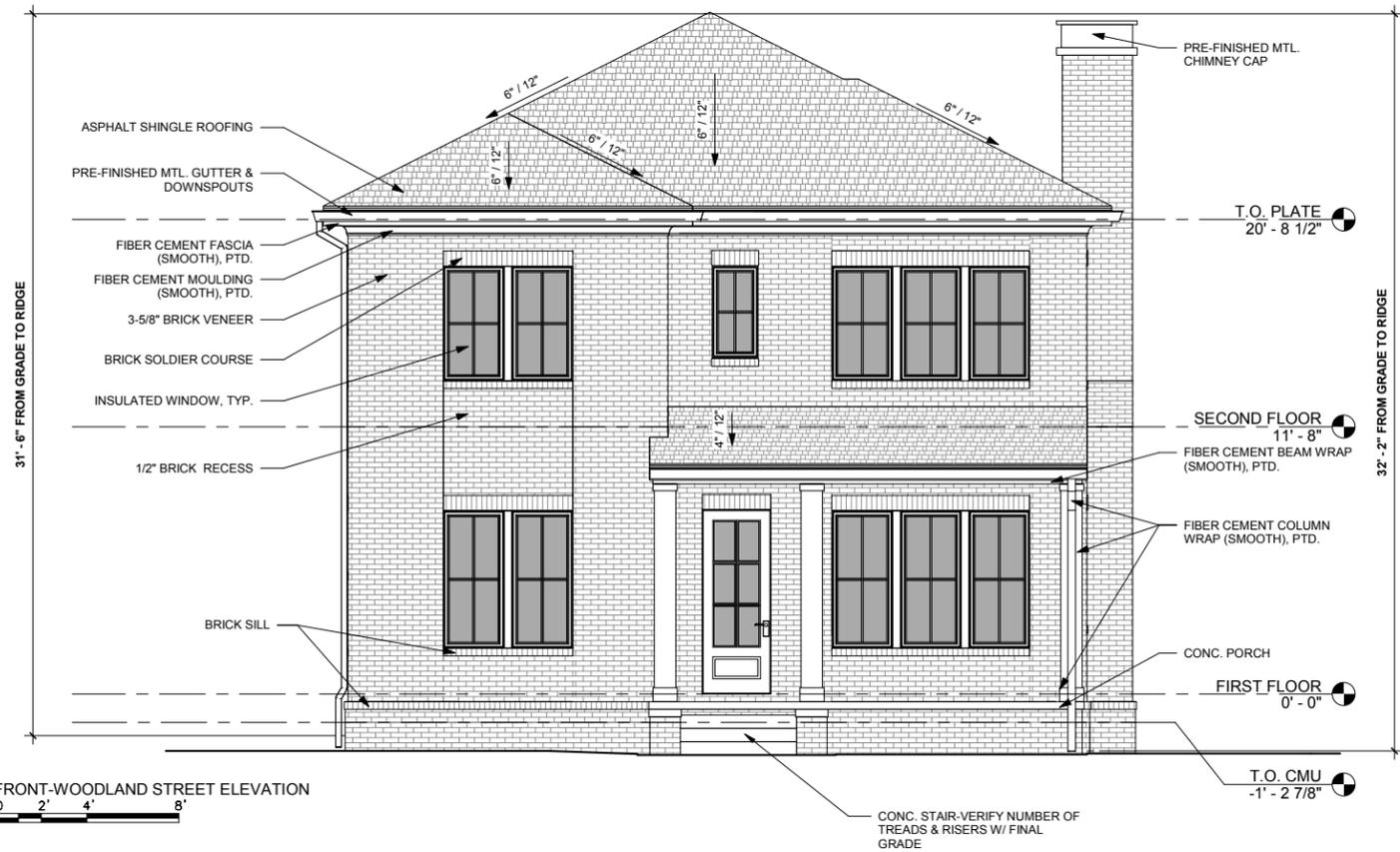
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Date: **11.27.2019**

ROOF PLAN

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① FRONT-WOODLAND STREET ELEVATION
0 2' 4' 8'



② RIGHT SIDE-N. 16TH STREET ELEVATION
0 2' 4' 8'

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1521 WOODLAND STREET NASHVILLE, TN 37206
PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
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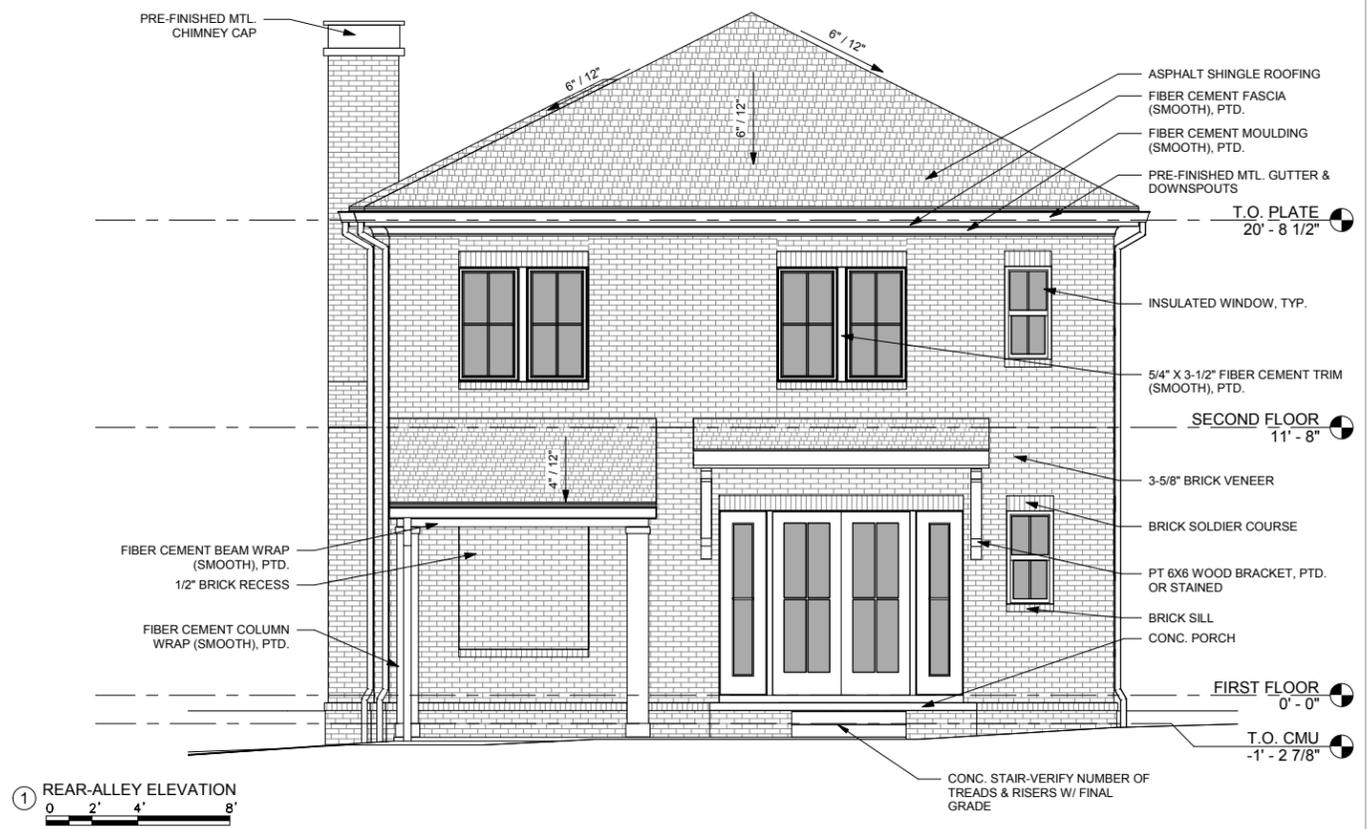
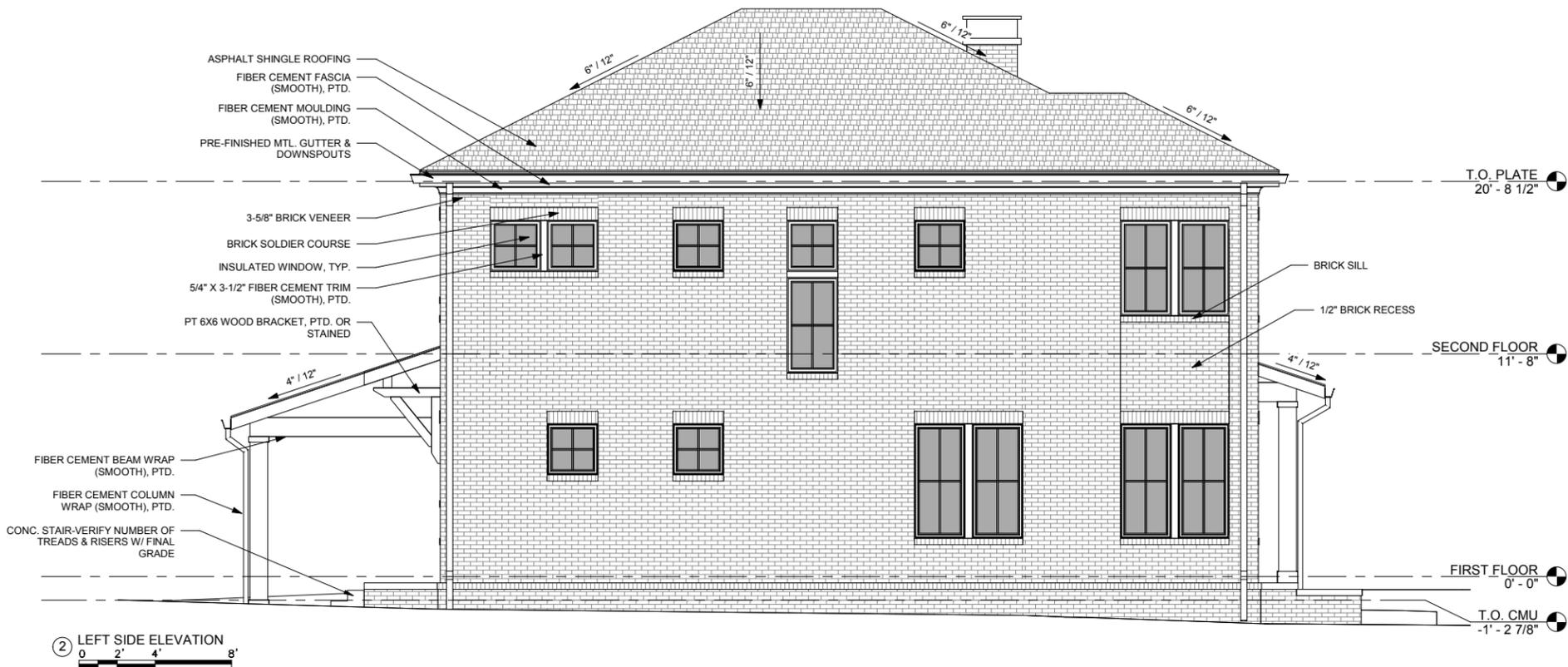
Project Number: **1521**

Date: **11.27.2019**

BUILDING ELEVATIONS

11/27/2019 11:33:08 AM

11/27/2019 11:33:10 AM



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**1521 WOODLAND STREET
NASHVILLE, TN 37206**

PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MH2C SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

BUILDING ELEVATIONS



② 3D VIEW - FRONT LEFT VIEW



① 3D VIEW - FRONT RIGHT VIEW



③ 3D VIEW - REAR LEFT VIEW



④ 3D VIEW - REAR RIGHT VIEW

11/27/2019 11:33:17 AM

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**1521 WOODLAND STREET
 NASHVILLE, TN 37206**
 PROPOSED NEW SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL

Project Number: **1521**

Date: **11.27.2019**

3D VIEWS

Attachment D

From: [Christa Black Gifford](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: 1521 Woodland St. 37206
Date: Friday, December 6, 2019 11:39:04 AM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Hey Melissa!

My name is Christa Black Gifford and I live at 1519 Woodland 37206, next to Marcia and Cade Truitt's lot.

I know they're wanting to build a two story house to save some of the gorgeous magnolia trees that line 16th street, and Marcia shared with me that it might help if we emailed as the immediate neighbors.

She's showed me the plans and I do believe they would fit in nicely with the aesthetic of the neighborhood, keeping our beautiful historic street in the integrity it was created in.

Have a happy holiday!

Christa & Luke Gifford
6155135115

Sent from my iPhone

From: [Mallory Grady](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: 1521 Woodland St
Date: Tuesday, December 3, 2019 6:47:24 AM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Melissa,

My name is Mallory Grady and I live at 207 N 16th St. I am friends with the Truitt family and excited they will be our neighbors just around the corner at 1521 Woodland St.

I have seen the plans and I think the home would be lovely on that empty lot. I approve of the home design and think it will be a nice addition to the neighborhood.

Thank you,

Mallory Grady

Sent from my iPhone

From: [Jason Quiram](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: 1521 woodland street
Date: Wednesday, December 4, 2019 10:25:03 PM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Dear Melissa-

I have lived at 1619 Holly street for a long time and I am very familiar with this corner. I am writing in support of the design of this new construction home. There are other 2 story precedents on Woodland and the design of this home send to blend in to its surroundings. This is a commercial corner and the ultimate height of the house matches the inn on other side of the street. It does not seem out of scale. There is also the church building on the next block so there are other significant and larger buildings near by. Overall, I support the variance requested for 1521 woodland street.

Thanks
Jason Quiram

Sent from my iPhone

From: [Drew Holcomb](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: 1521 Woodland
Date: Tuesday, December 3, 2019 3:00:09 PM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Hello Melissa.

I am reaching out on behalf of my friends Cade and Marcia Truitt in support of their plans for the modest 2 story plans on their lot at 1521.

I live at 1408 Woodland just down the street.

Thank you.

Drew Holcomb

www.drewholcomb.com

www.moonriverfestival.com

From: [Ashley Pinson King](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: marciatruitt@gmail.com
Date: Monday, December 9, 2019 1:22:19 PM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Melissa -

I wanted to submit our neighborly support of the plans submitted by the Truitt family for their beautiful and thoughtful new build at 1521 Woodland Street. It is clear that Cade and Marcia's footprint of the house will be such a great addition to that block of our gorgeous neighborhood!

It is refreshing to see neighbors who are focused on building a home that is both mindful of preservation and complimentary to the surrounding area. We fully support their modest 2 story build!

Thanks for your consideration, Ashley King
1618 Holly Street

--

ashley pinson king

From: [Eric Quiram](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: recommendation for 1521 Woodland street
Date: Monday, December 9, 2019 9:49:36 AM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Hello Melissa,

First Let me thank you for your work with Historic.....it's the standards that Historic sets out, that protect the beauty of the Architecture of east Nashville (and elsewhere) and provide for the future preservation of it's unique character. I'm sure you get lots of complaining and whining so let me start with that!

I would recommend the design of the home that Marcia and Cade Truitt are proposing for 1521 Woodland street.

The home itself is very much like 1419 woodland street, so it seems the precedent has been met. In addition, the design (at least in my opinion) is very much in line with the historic character of 1419 woodland and other 2 story homes. I live at 1616 Holly (a half-block away) and our street contains only one 2 story (1622 Holly Street - former Nashville Mayor's residence) home on the length of the block but it does not feel out of place but rather anchors the street in both it's character and beauty.

I have always been puzzled why more modern designs get approved, that in my opinion fit the historic character (window sizes, materials, general design) of our neighborhood far less than the home that the Truitt's are proposing. One case in point would be 1408 woodland, which fails to stick to historic norms and incidentally is also a 2 story. While 1408 Woodland may meet massing and proportions standards, any non-architect person who happened to be walking down the street would be able to say.....that house is far different than any other. My position would be that that same individual would not make those comments about the house that Truitt's are proposing.

Finally the Truitt's roofline is not that much taller than the house next door and I believe according to drawings that is not bigger than Urban Cowboy across the street.

My brother and I build and renovate houses in east Nashville and so we do have great respect and care for it's preservation.

Again, thanks for dealing with hundreds and hundreds of opinions, I'm sure it's exhausting.

Eric and Amanda Quiram
1616 Holly street
Nashville TN 37206

feel free to call me 615-305-9901

From: [Aron Armstrong](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: Support for 1521 Woodland Street
Date: Wednesday, December 4, 2019 9:34:24 PM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Hello Melissa,

I live at 1303 Forrest Avenue in Lockeland Springs. I've reviewed the proposal coming before the historic commission later this month for 1521 Woodland Street. I wanted to send this email in support of the proposed plans. I think the home will be a great addition to this popular corner of the neighborhood. While the adjacent house is 1.5 stories I think the footprint, material palette and massing of the subject property are very appropriate when compared to other homes on this block and homes around the neighborhood. I've always been a fan of David's work and I feel like this will be a wonderful infill home.

As a neighbor and an active member of the community I wanted to share my support.

Thanks for all you do to protect the fabric of our neighborhood. Have a great rest of the week.

Aaron

From: [Ellie Holcomb](#)
To: [Sajid, Melissa \(Historical Commission\)](#)
Subject: Supporting the new home design at 1521 Woodland St.
Date: Tuesday, December 3, 2019 11:07:25 AM

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Dear Melissa ,

My name is Ellie Holcomb, resident and home owner of 1408 Woodland Street. I am writing on behalf of Cade and Marcia Truitt and their new home proposal. They are hoping to build a modest two story home at 1521 Woodland Street, and I am in full support of this beautiful design. I have seen the plans and love that they are wanting to preserve the magnolia trees along the side of the property. I think this new home will add and not take away from the historic charm that characterizes our wonderful street .

Thank you for your consideration , and please know that I am just one of many neighbors who are excited about this home and it's beautiful design gracing our neighborhood .

Sincerely,
Ellie Holcomb

Sent from my iPhone