

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 521 Fatherland Street December 18, 2019

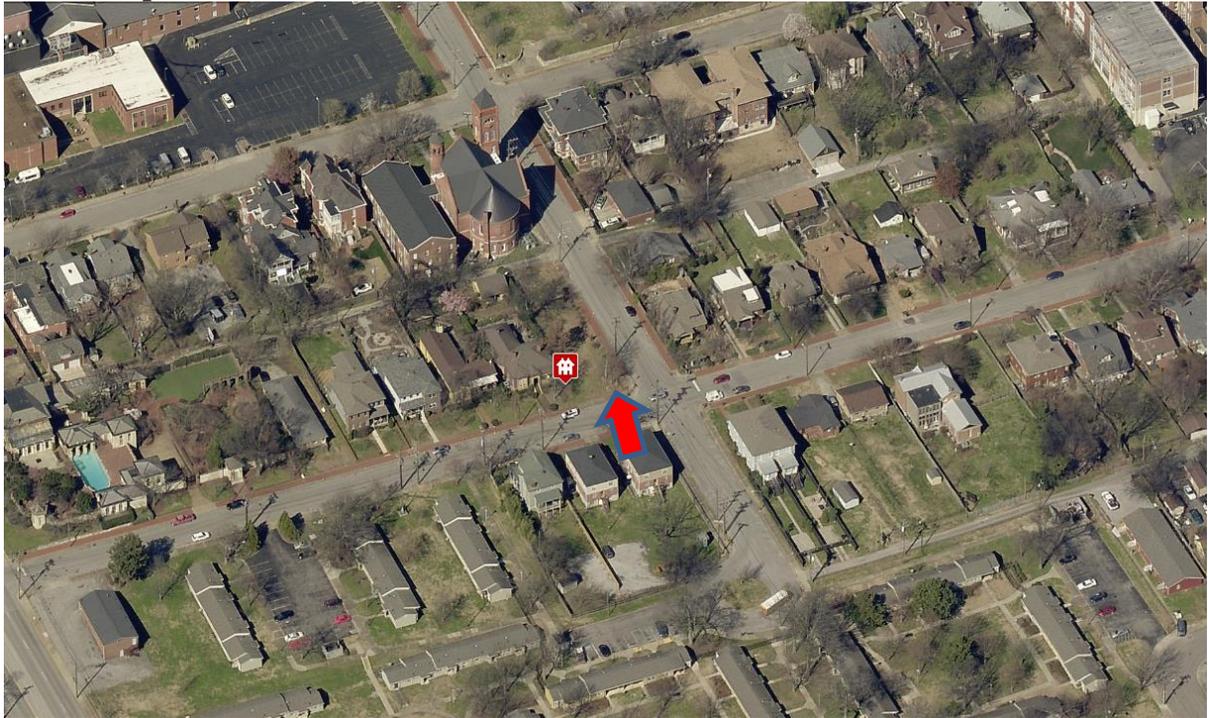
Application: Fence; Setback determination
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216021600
Applicant: Ke Qin
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: The applicant proposes a six foot (6') tall solid wood fence in between the back of the infill house and the garage, on the South 6th Street side of the property. The fence will be as little as eight feet (8') from the South 6th Street property line, which does not meet Metro Codes ten foot (10') setback requirement.</p> <p>Recommendation Summary: Staff recommends approval of the fence and setback with the following conditions:</p> <ol style="list-style-type: none">1. The fence, including posts, be no taller than six feet (6') from grade to top of fence;2. The fence planks be no wider than six inches (6"); and3. Structural members of fencing face away from public view. <p>With these conditions, staff finds that the proposed infill, outbuilding, and setback determination meet Section IV.1. of the Edgefield Historic Preservation Zoning Overlay design guidelines.</p>	<p>Attachments A: Metro Codes Fence policy for corner lots. B: Site Plan</p>
---	---

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS

1. FENCES

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards (see illustrations). Privacy fences can be up to 6' in height.

A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.

- c. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be appropriate along rear property lines if the fence is camouflaged with plantings, or painted black or dark green.
- d. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

Background: 521 Fatherland is an infill and outbuilding development approved by MHZC in 2018 (Figure 1).



Figure 1. The infill

Analysis and Findings: The applicant proposes a six foot (6') tall solid wood fence with a dog ear top in the rear yard (Figure 2). The fence is proposed to run between the back of the infill house and the garage, on the South 6th Street side of the property (Figures 3 & 4). Most of the fence will be eight feet, eight inches (8'8") from the South 6th Street property line, although a portion of it could be a little as eight feet (8') from the side property line. This does not meet Code's ten foot (10') setback requirement.



Figure 2 (left) is an image of the proposed fence. Figure 3 (right) shows the back of the house/porch and the garage which will be connected with a six foot tall, solid wood fence.

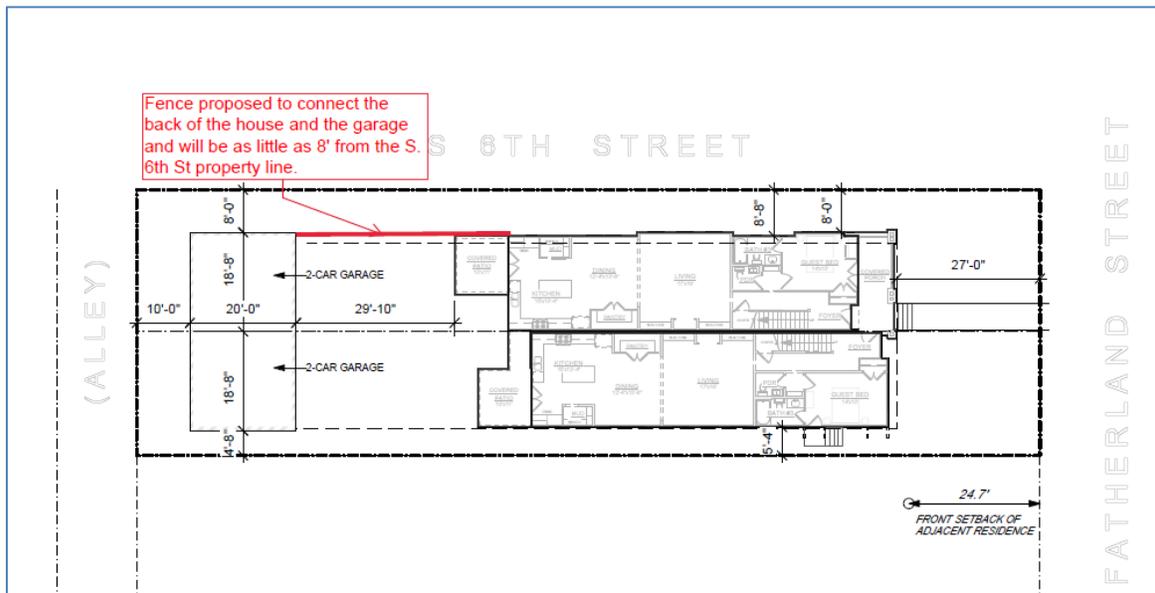


Figure 4. The site plan showing the proposed location of the privacy fence.

Metro Code's base zoning in this area requires a ten foot (10') side street setback for both infill and outbuildings, as well as for fencing. In November 2018 the Commission approved an eight foot (8') side setback along South 6th Street for the infill, finding that the reduced side setback met the historic context. In February 2019, the MHZC approved an eight foot (8') side setback for the outbuilding as well.

The reason for the ten foot (10') setback requirement for fencing is to ensure that the visibility for vehicles coming down the alley or streets can adequately see upcoming intersections and traffic. Because the infill and the garage are eight feet (8') from the South 6th Street side property line, connecting the two areas with a six foot (6') tall solid fence will not affect the visibility and safety for vehicles. No fence is proposed in between the back of the garage and the alley, so sight lines from the alley for vehicles will not be greatly impacted by this proposed fence.

Staff recommends that the fence planks be no wider than six inches (6") and that the structural membranes be installed on the interior of the fence (i.e. the non-street facing side of the fence).

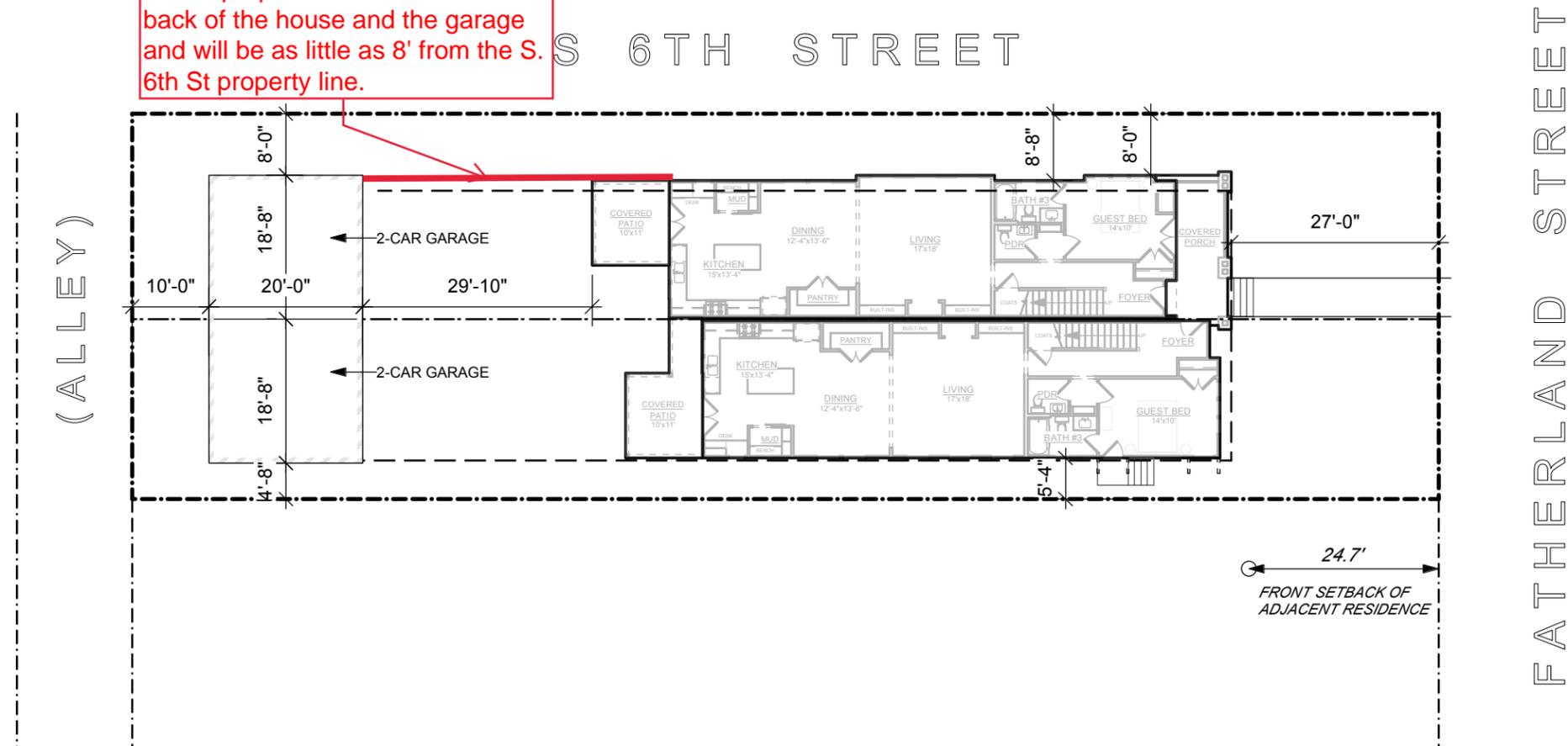
With these conditions staff finds that the proposed fence design and setback meets Section of the Edgefield Historic Preservation Zoning Overlay design guidelines.

Recommendation Summary: Staff recommends approval of the fence and setback with the following conditions:

1. The fence, including posts, be no taller than six feet (6') from grade to top of fence;
2. The fence planks be no wider than six inches (6"); and
3. Structural members of fencing face away from public view.

With these conditions, staff finds that the proposed infill, outbuilding, and setback determination meet Section IV.1. of the Edgefield Historic Preservation Zoning Overlay design guidelines.

Fence proposed to connect the back of the house and the garage and will be as little as 8' from the S. 6th St property line.



521 FATHERLAND AVE
EDGEFIELD HISTPRIC PRESERVATION OVERLAY
SITE PLAN • SCALE: 1"=20'

