

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

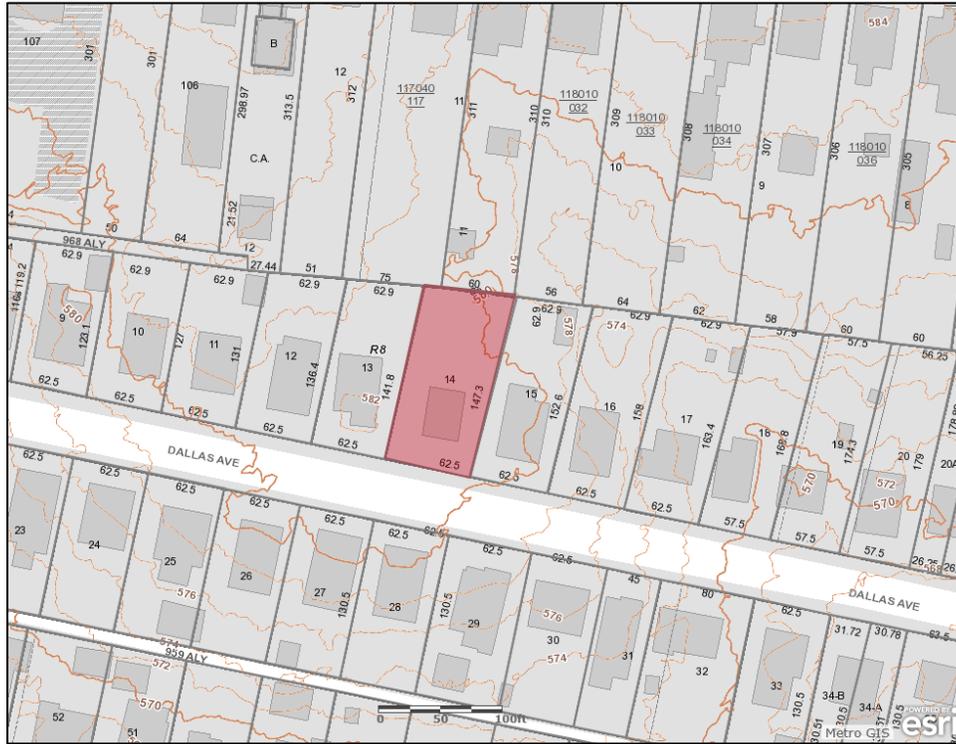
STAFF RECOMMENDATION
1500 Dallas Avenue
January 15, 2020

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

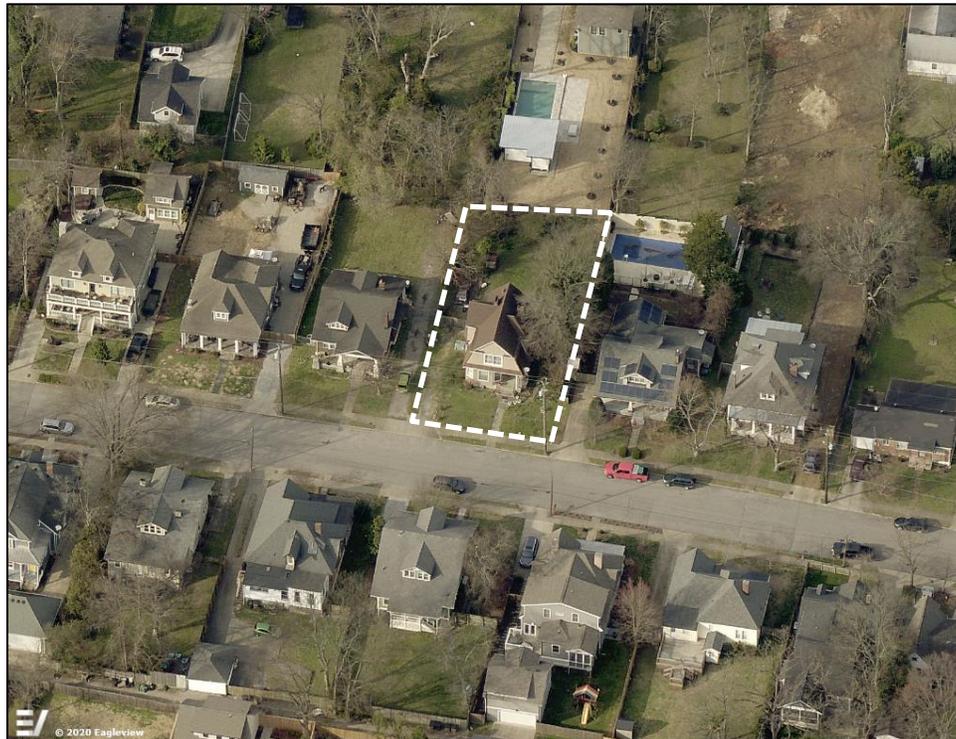
Application: New Construction—Addition
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11801005500
Applicant: Hunter Conley, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to enlarge an historic house with a rear addition that will be wider.</p> <p>Recommendation Summary: Staff recommends approval of the proposed addition with the following conditions:</p> <ol style="list-style-type: none">1. Staff shall approve the roof color and window and door selections; and2. The HVAC units shall be behind the midpoint of the primary building or on the rear. <p>With these conditions, staff finds that the addition meets Section II.B of the <i>Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments</p> <ul style="list-style-type: none">A: PhotographsB: Site PlanC: FloorplansD: Elevations
--	---

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B GUIDELINES

1. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front*

of it in a manner that meets the rhythm of the street and the established setbacks..

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions should be a minimum of 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions. Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Rear & Side Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

Background: The structure at 1500 Dallas Avenue is a two-story house, constructed circa 1905. The house has elements of the Dutch Colonial Revival style with a distinctive gambrel roof.



Figure 1: 1500 Dallas Avenue

The house is contributing to the historic character of the neighborhood because of its age and architectural character.

Analysis and Findings: The applicant proposes to enlarge the house with a rear addition.

Demolition: The project involves demolishing a portion of the existing rear wall of the house as well as a small previous rear addition to accommodate the new addition. The portions affected are not visible from the street and are not character defining features.

Staff finds that the partial demolition at the rear meets Section V.B.2 of the design guidelines for appropriate demolition.

Location & Removability: The addition will attach to the existing house at the rear with the new walls stepped in two feet (2') from the primary side walls. The roof of the addition will tie into the rear wall more than four feet (4') below the existing roof.

Staff finds that the location and attachment of the addition; at the rear, stepping in from the sides and below the roof, will leave the historic form of the house intact and meet Section II.B.2.e of the design guidelines.

Design: The design of the addition is compatible with the historic house in its detailing, with a similar roof form and exterior materials. The massing of the addition will be distinguished from the original building by stepping in from both sides and below the roof before continuing to the back. At the same time, the addition's materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. The addition is designed so that if the addition were to be removed in the future,

Staff finds that the character of the addition does not contrast with the historic house, therefore it will meet sections II.B.2.a and II.B.2.f of the design guidelines.

Height & Scale: After attaching to the existing house with a shorter and narrower hyphen, the addition will widen and increase in height. The eaves of the addition will match the eave height of the historic house and the roof ridge, at its peak, be six inches (6") shorter than that of the historic house. Where the addition widens, on the left side it will align with the outside wall of a projecting bay and on the right side it will extend out twelve feet (12') wider than the side of the historic house.

It is generally not appropriate for additions to be wider than an historic house. However, the house at 1500 Dallas Avenue is narrower than other houses on the block by as much as fifteen feet (15'). For this reason, and because the addition is shorter than the historic house, staff finds that the wider addition will be appropriate.

The addition will add thirty-eight feet (38') of depth to the house, which is currently forty-six feet (46') deep, including the existing addition that is being removed. The massing of the addition will be broken up by articulating wall planes, and by having a form with majority of the addition stepped in as it extends to the rear.

Staff finds that the height and scale of the proposed addition meets sections II.B.1.a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: The historic context in this section of the Belmont-Hillsboro neighborhood is composed of one-story and two-story houses. The addition will meet the standard setback requirements with a six foot (6') setback on the right side and a fifteen foot (15') setback on the left. While the addition is wider than the historic house to the right, the house is slightly rotated from the axis of the lot so that the rear yard is also wider to the right. Along with the narrowness of the historic house and the location of the addition well behind the original massing, this allows the wider addition to maintain the established rhythm of spacing between houses on the block face.

Staff finds that the addition will meet section II.B.1.c of the design guidelines.

Materials: The exterior materials of the proposed addition are described in the table below:

	Proposed	Color/Texture/Make/Manufacturer	Approved or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Parged	Yes	
1st Story Cladding	Cement-Fiber Clapboard	Smooth Faced, 5" Reveal	Yes	
2nd Story Cladding	Cedar Shingle Siding	Stained or Painted	Yes	
Accent Cladding	Cement-Fiber Half-Timbering	Smooth	Yes	
Trim	Paulownia (Wood)	Smooth Faced	Yes	
Primary Roofing	Asphalt Shingle	Color Needs Approval		X
Windows	Double-Hung, Casement	Selection Needs Approval		X
Pedestrian Doors	Full Light	Selection Needs Approval		X

With the condition that roof color and the window and door selections are approved administratively, Staff finds that the proposal meets section II.B.1.d of the guidelines.

Roof form: The roof of the addition will consist of intersecting gambrel forms. This matches the form of the existing roof, and the 4/12 pitch on the upper slopes and 10/12 pitch on the lower slopes also match the existing roof pitches.

Staff finds that the roof forms of the addition are compatible with the historic house and meet section II.B.1.e of the design guidelines.

Proportion and Rhythm of Openings: There will be no large expanses of wall on the addition without a window or door opening. The majority of windows on the addition will all be at least twice as tall as they are wide, as is typical of the proportions of windows on the historic house. The first story of the addition will contain three shorter casement windows on the left side. These windows will be similar in proportion to an existing window on the left side of the house and will not be greatly visible because of their location toward the rear.

Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g of the design guidelines.

Appurtenances & Utilities: The proposal includes a concrete driveway on the left side of the building and a new and parking areas at the rear, reusing an existing curb-cut. Staff

finds this location to be appropriate. The exterior component of the HVAC unit is currently on the left side of the historic house and is not indicated to be relocated.

Staff recommends that if the HVAC units are relocated, that they be behind the midpoint of the building in order to meet Section II.B.1.h of the design guidelines.

Outbuilding: The outline of a DADU is shown on the site plan near the rear of the lot, but elevations for the outbuilding have not been submitted at this time.

Recommendation: Staff recommends approval of the proposed addition with the following conditions:

1. Staff shall approve the roof color and window and door selections; and
2. The HVAC units shall be behind the midpoint of the primary building or on the rear.

With these conditions, staff finds that the addition meets Section II.B of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

ATTACHMENT A: PHOTOGRAPHS



1500 Dallas Avenue, left-oblique.



1500 Dallas Avenue, right-oblique.

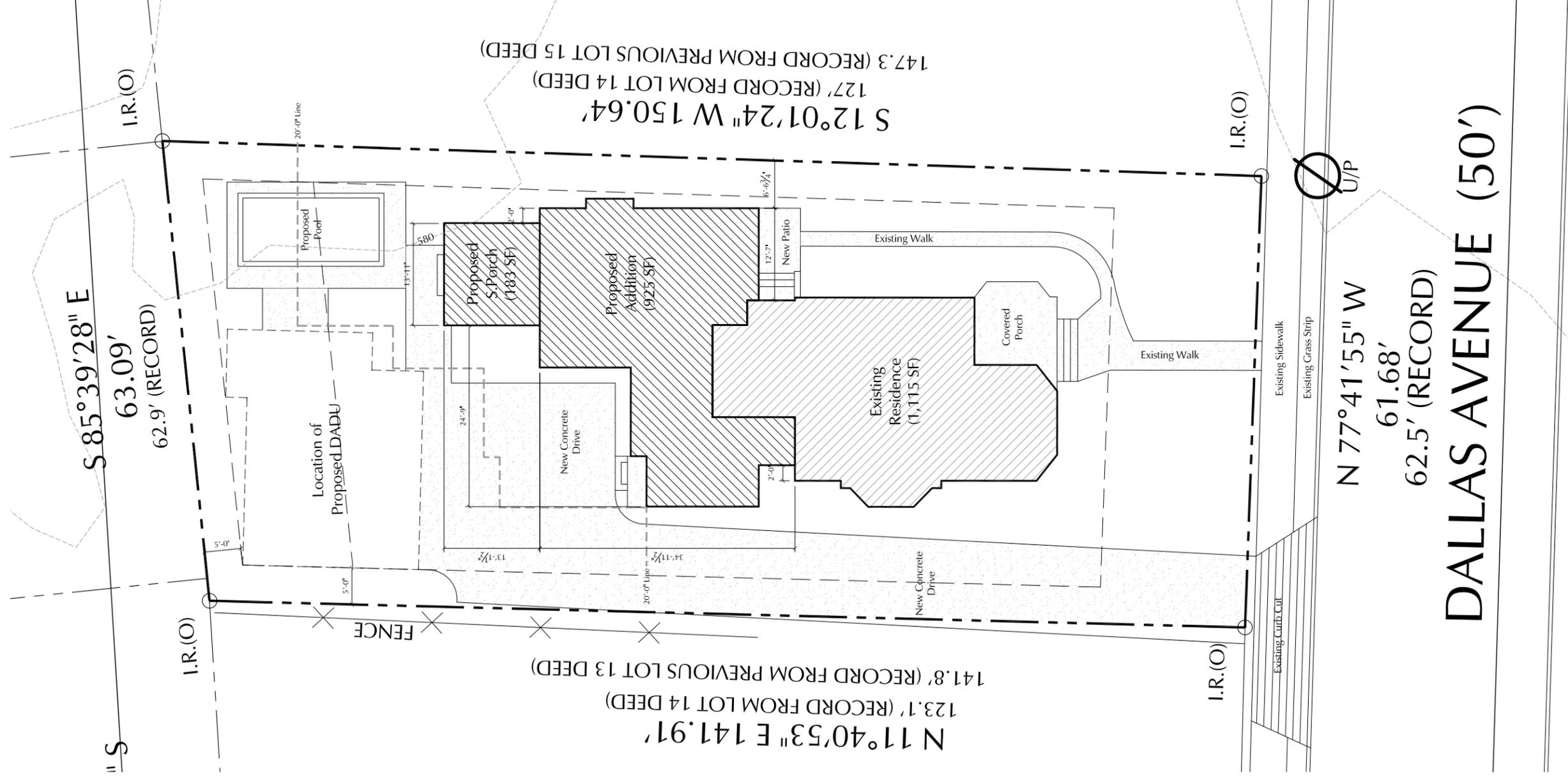


1

Site Layout Plan



Scale: 1/16"=1'-0"



Drawings:	
Site Layout Plan	
Date:	12.12.19



Additions and Renovations to:
The Kovalick Development

1500 Dallas Avenue
 Nashville, Tennessee 37212

PRELIMINARY - NOT FOR CONSTRUCTION

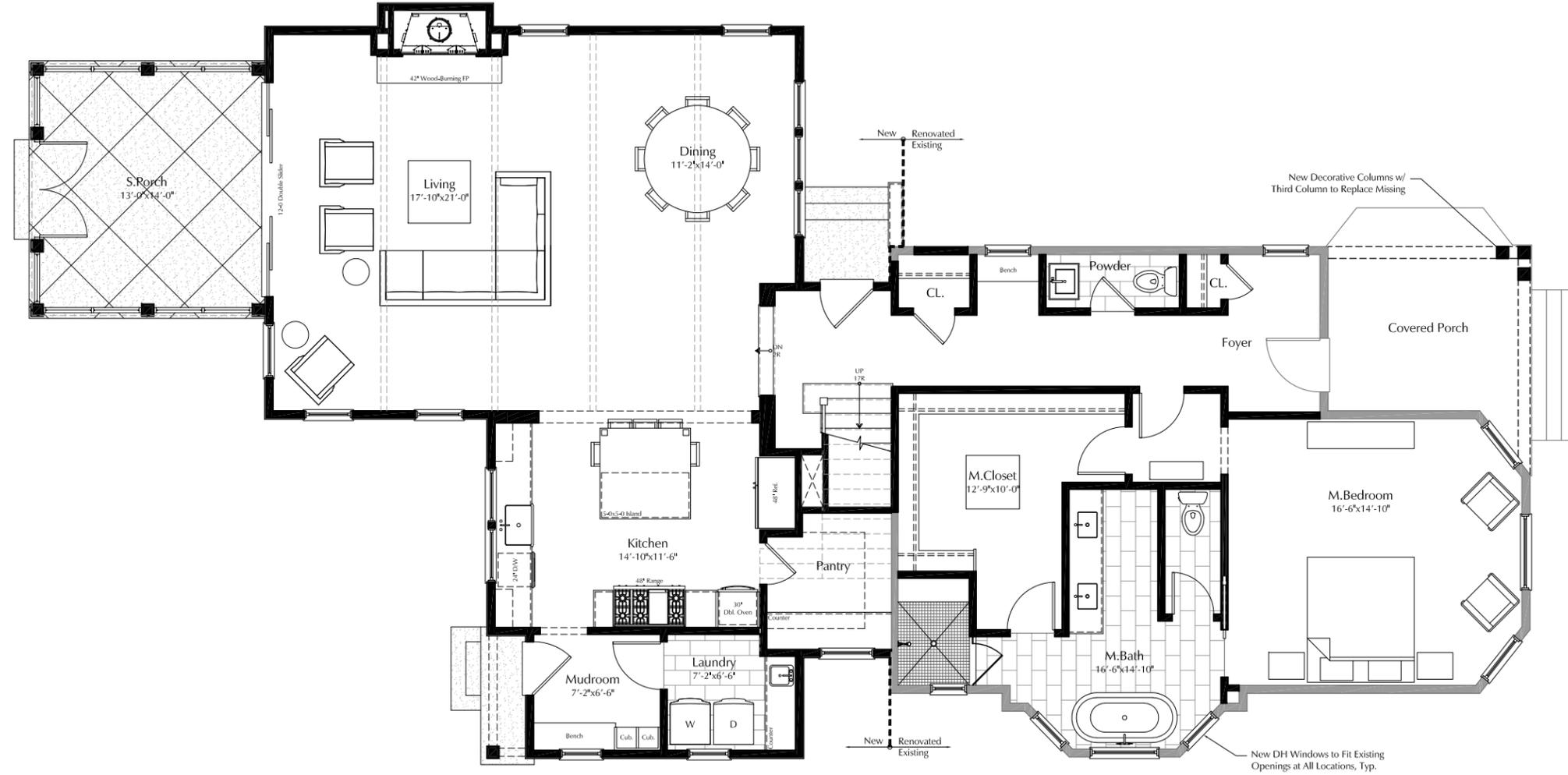


1

First Floor Plan



Scale: 1/8"=1'-0"



Drawings:
First Floor Plan
Date:
12.12.19

A1.1

Additions and Renovations to:
The Kovalick Development

1500 Dallas Avenue
Nashville, Tennessee 37212

PRELIMINARY - NOT FOR CONSTRUCTION

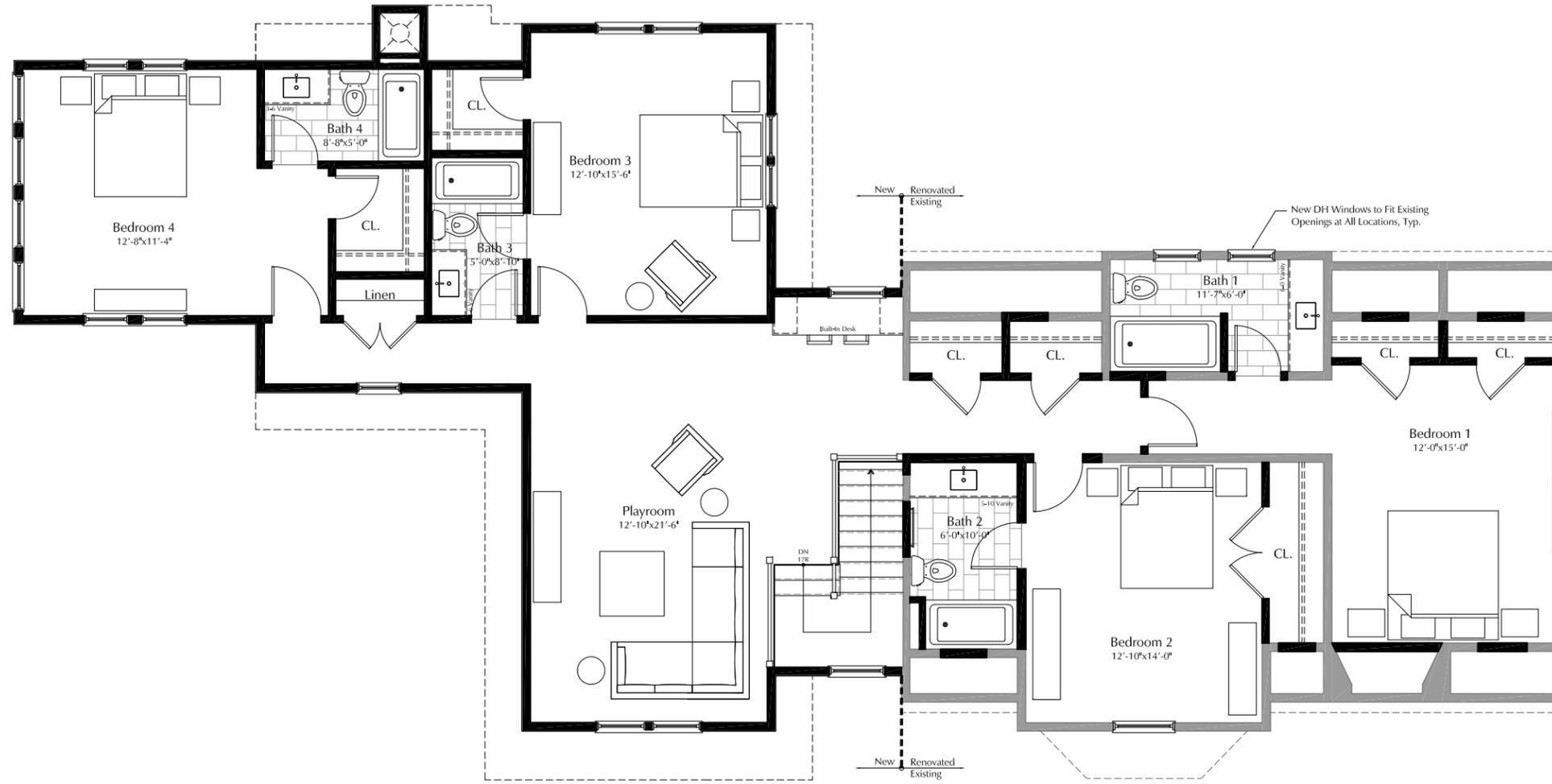


1

Second Floor Plan



Scale: 1/8"=1'-0"



Additions and Renovations to:

The Kovalick Development

1500 Dallas Avenue
Nashville, Tennessee 37212



Drawings:	
Second Floor Plan	
Date:	12.12.19

A1.2

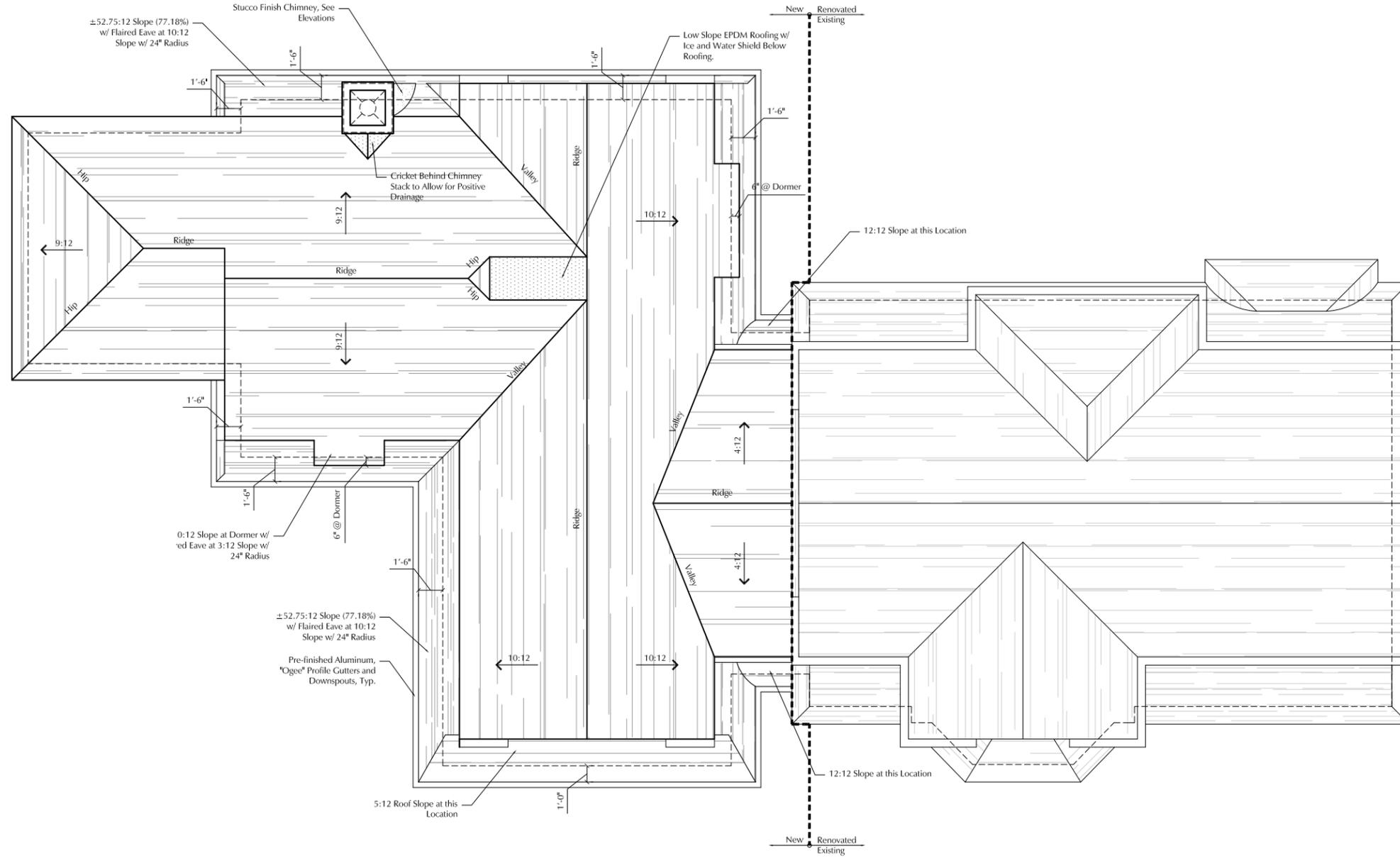


1

Roof Plan



Scale: 1/8"=1'-0"

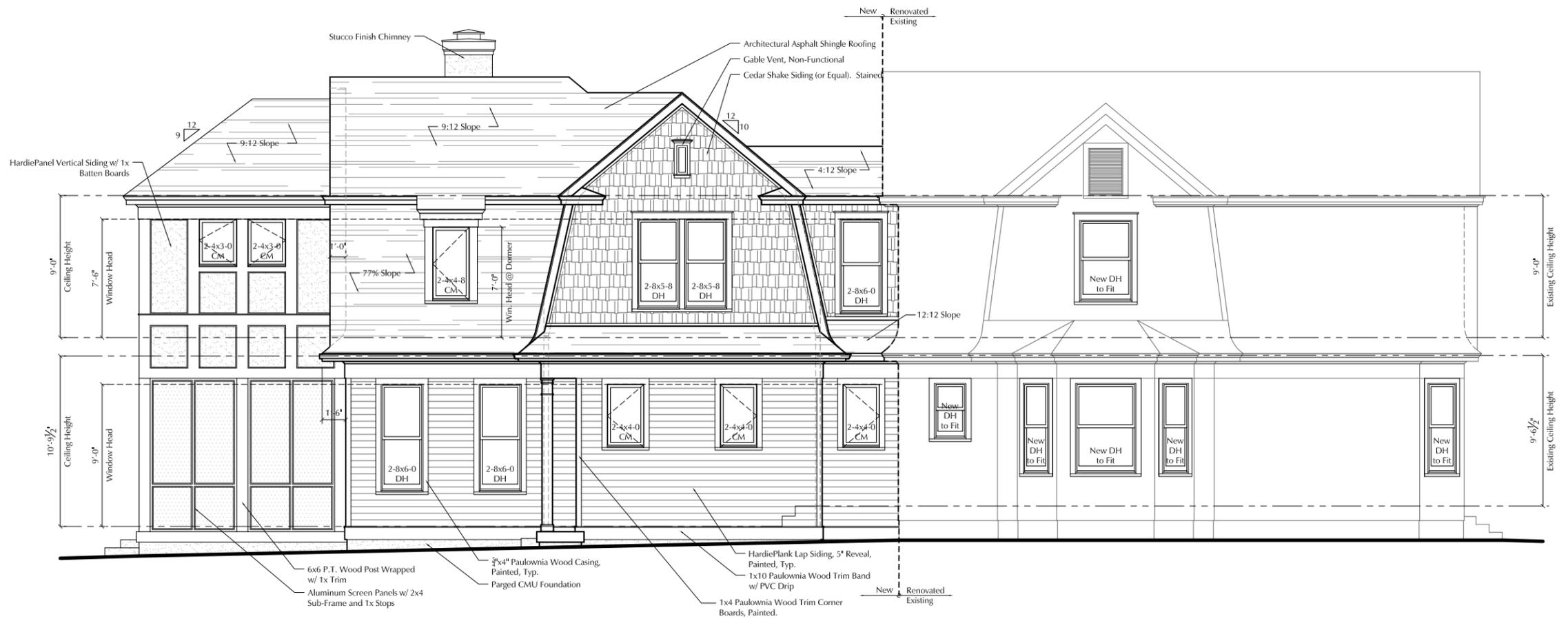


Drawings:	
Roof Plan	
Date:	12.12.19

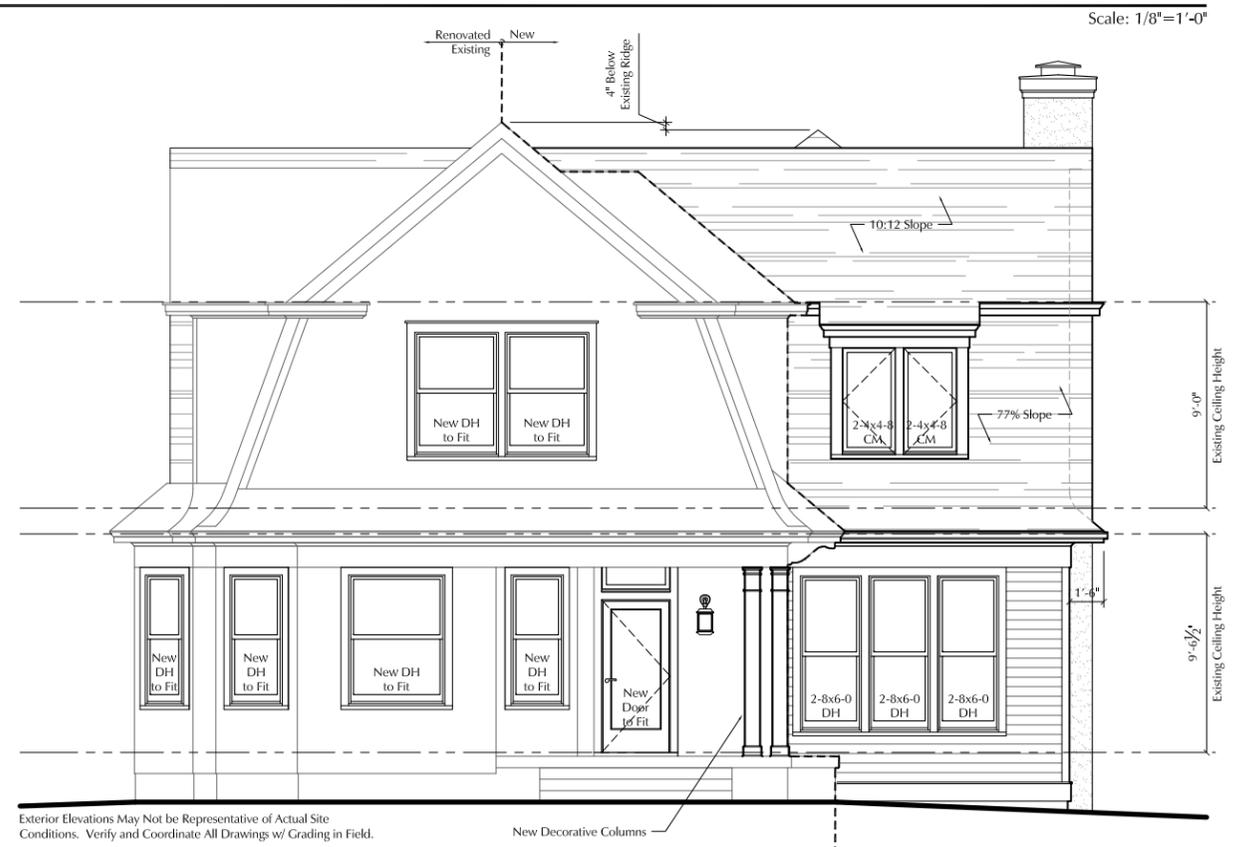
A1.3

Additions and Renovations to:
The Kovalick Development
 1500 Dallas Avenue
 Nashville, Tennessee 37212

PRELIMINARY - NOT FOR CONSTRUCTION



2 West Elevation



1 South Elevation



Addition and Renovations to:
The Kovalick Development
 1500 Dallas Ave.
 Nashville, Tennessee 37212

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011
 allardward.com

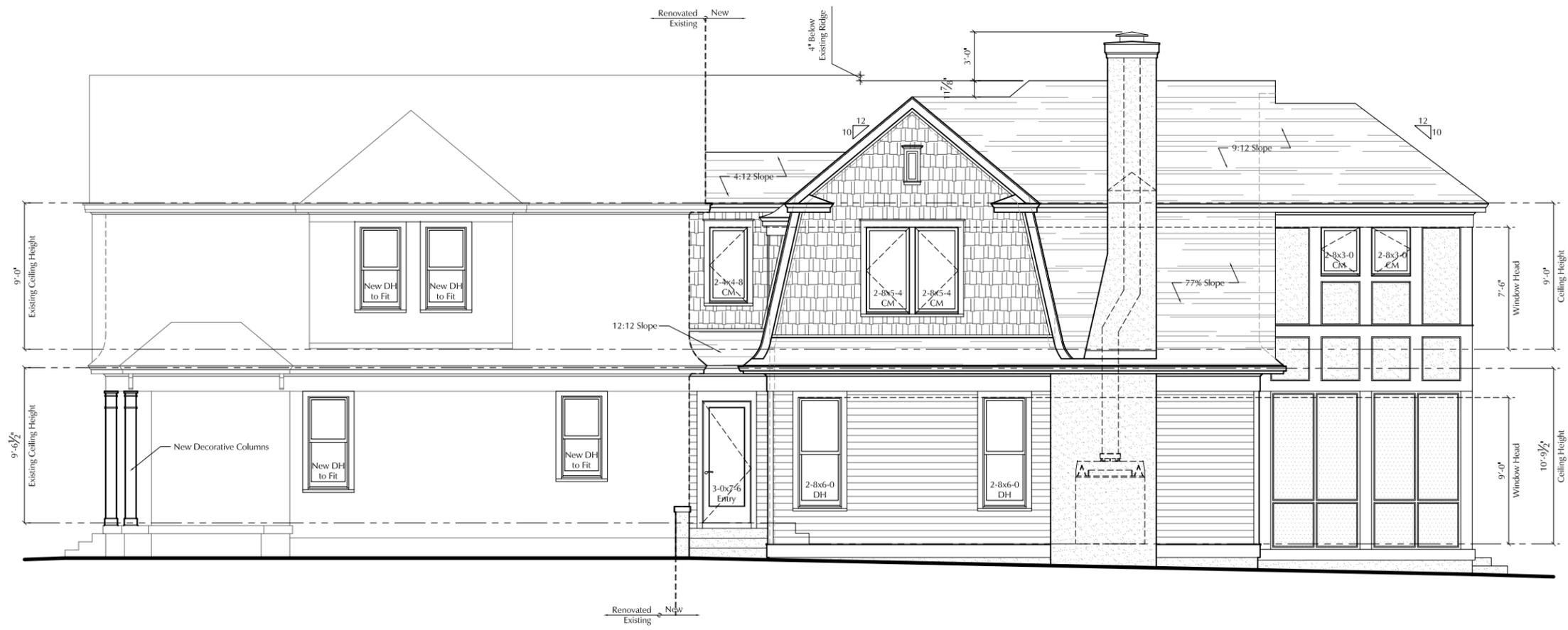
Drawings:

Elevations

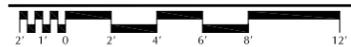
Date:

12.30.19

MHZC PRESERVATION PERMIT APPLICATION



2 East Elevation



Scale: 1/8"=1'-0"



1 North Elevation



Scale: 1/8"=1'-0"

Exterior Elevations May Not be Representative of Actual Site Conditions. Verify and Coordinate All Drawings w/ Grading in Field.

ALLARD WARD
 ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011
 allardward.com

Drawings:
 Elevations
 Date:
 12.30.19

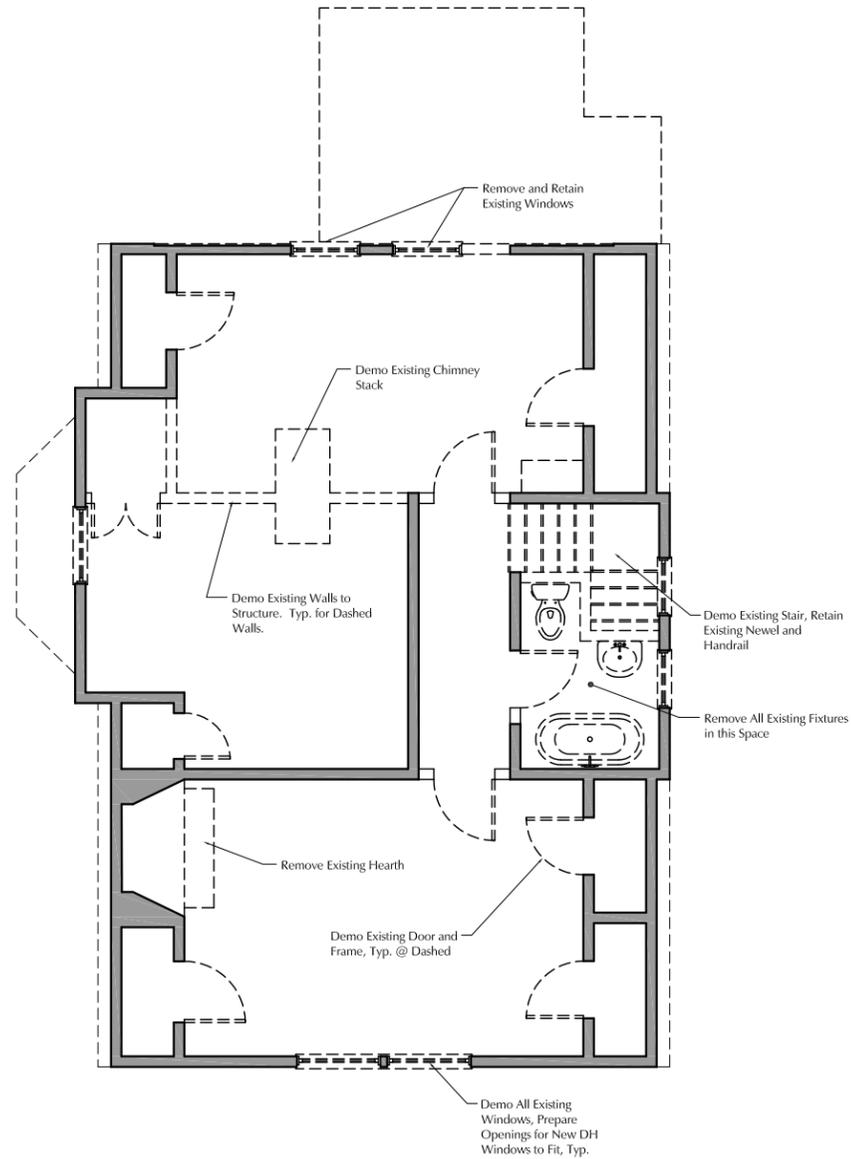


1

Second Floor Demo Plan



Scale: 1/8"=1'-0"

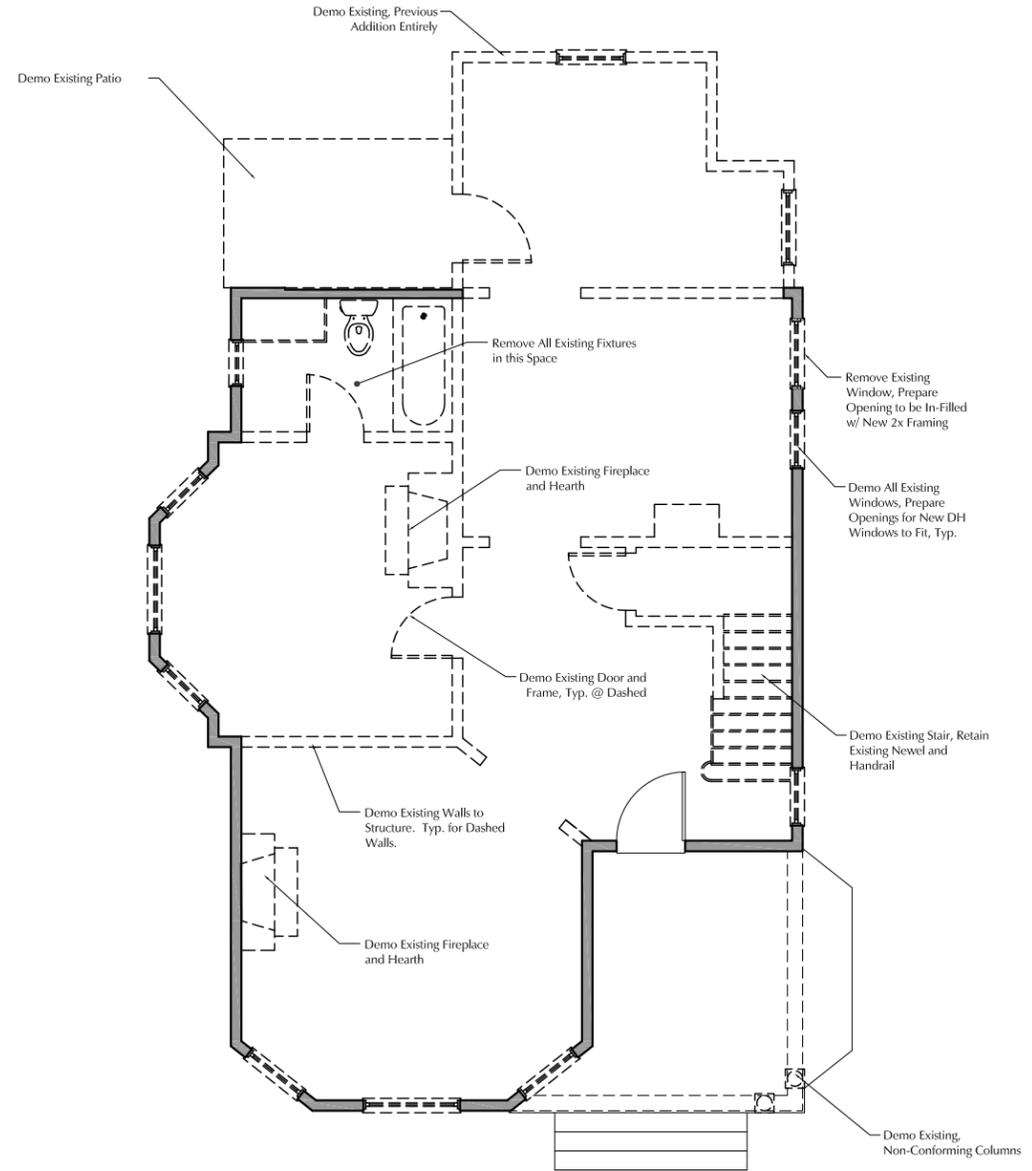


1

First Floor Demo. Plan



Scale: 1/8"=1'-0"



Drawings:
Demolition Plans

Date:
12.30.19

ALLARD WARD
ARCHITECTS
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Addition and Renovations to:
The Kovalick Development

1500 Dallas Ave.
Nashville, Tennessee 37212