

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1535 Douglas Avenue

January 15, 2020

Application: New Construction—Addition; Partial Demolition
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Base Zoning: R6
Map and Parcel Number: 07214022800
Applicant: Cheyenne Smith
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is for an addition that extends wider than the historic house. The applicant also proposes to demolish a rear former enclosed porch.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions, and materials of all windows and doors prior to purchase and installation;
2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

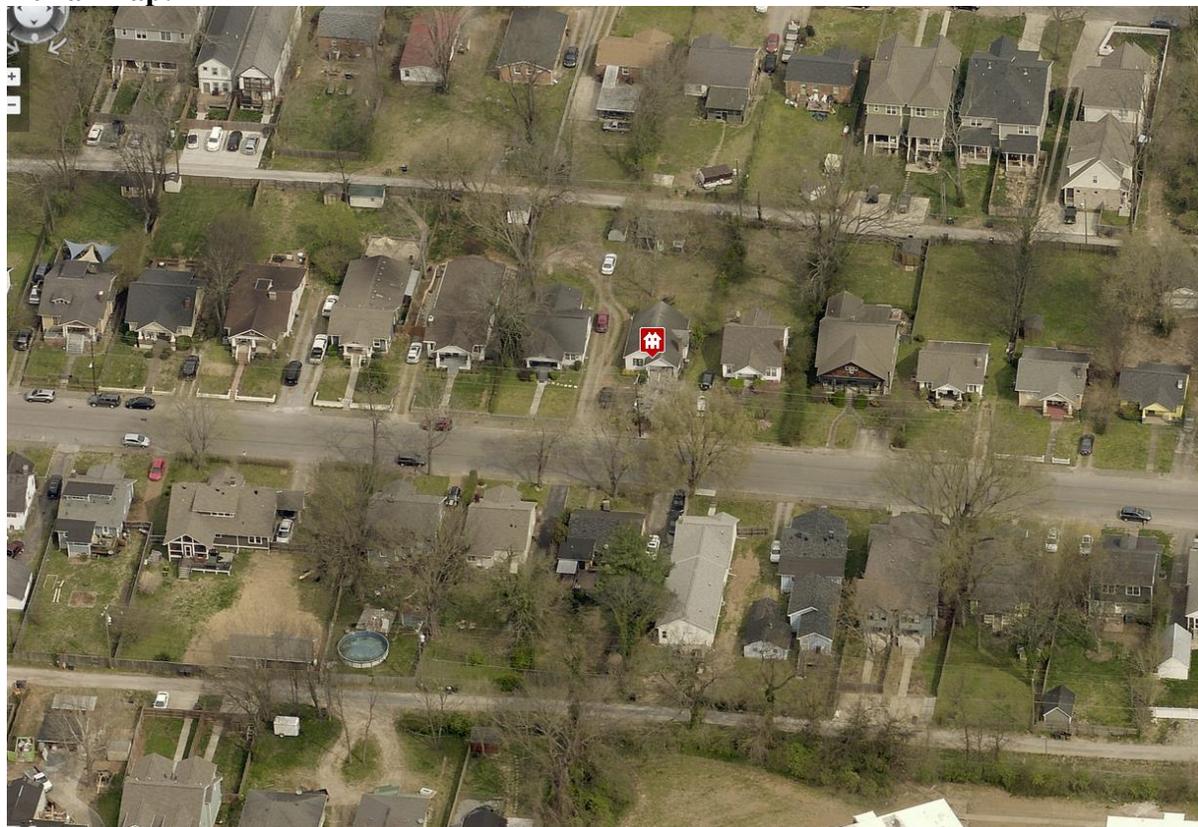
With these conditions, staff finds that the proposed addition meets Section II.B. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

1. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall..

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie-into the existing roof must be at least 6" below the existing ridge line.

In order to assure than an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*

- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be taller and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep

(12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

b. The creation of an addition through enclosure of a front porch is not appropriate.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: 1535 Douglas is a c. 1940 front-facing gabled historic house that contributes to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay (Figure 1). The house is narrow at just twenty-six feet (26') wide.



Figure 1. 1535 Douglas Avenue

Analysis and Findings: Application is for an addition that extends wider than the historic house.

Partial Demolition: The applicant intends to demolish an existing rear portion which may be the same porch seen on the 1957 Sanborn Map (Figures 2 & 3). The porch is now enclosed. Although possibly an old part of the house, small, enclosed rear porches like these with separate roof forms are not an historically significant part of the house. These enclosed porches were often poorly constructed and enclosed and were not meant to last for nearly one hundred years. This one in particular cannot be seen from the street. Staff

finds that its removal will not affect the architectural or historic integrity of the historic house.

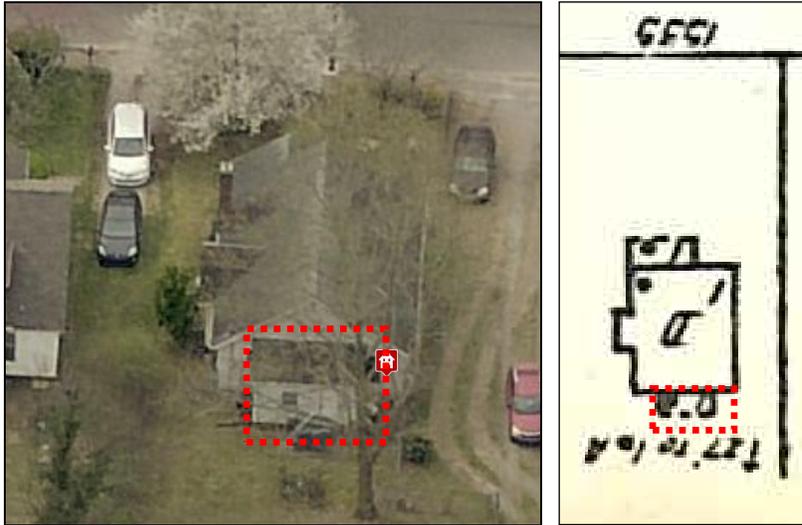


Figure 2 (left) shows the rear porch to be removed. Figure 3 (right) is the 1957 Sanborn map showing the porch.

Staff finds that the removal of the rear enclosed porch meets Section III.B.2. of the design guidelines.

Height & Scale: The historic house is just twenty-six feet (26') wide and is shifted to the right side of the lot. When a house is narrower than thirty feet (30') and when it is shifted to the side of the lot, the design guidelines allow for additions, after appropriate insets at the back corners, to extend wider than the historic house. In this case, the addition is inset one foot (1') from the back corners of the house for a depth of seven feet, four inches (7'4"). After the inset, on the right side, the addition will step back out to line up with a bay. This part of the addition will be a screened porch; it will be one foot (1') taller than the height of the bay, but over four feet (4') shorter than the height of the house, so staff finds this right side of the addition to be appropriate.

On the left side, after the one foot by seven foot, four inch (1'X 7'4") inset, the addition extends out to be eight feet (8') wider than the historic house. This part of the addition is just one story in height, is over four feet (4') shorter than the historic house, and has a side gabled roof form. This left side of the addition therefore meets the design guidelines.

Overall, the addition will not be any taller than the historic house. It will add approximately eight hundred and forty square feet (840 sq. ft.) of footprint to the house, which is approximately one thousand square feet (1,000 sq. ft.) in footprint currently.

Staff finds that the addition's height and scale meet Sections II.B.1.a, II.B.1.b., and II.B.2. of the design guidelines.

Location & Removability: The location of the addition at the rear of the existing building is in accordance with the design guidelines. The addition does not extend wider than the historic house, but only after appropriate insets. The insets and separate roof forms that tie into the historic house below its roof form enable the addition to be removed in the future without negatively affecting the historic house's integrity.

Staff finds that the addition's location and removability meet Sections II.B.2.a and II.B.2.d. of the design guidelines.

Design: The addition's change in materials, inset, separate roof form, and lower height help to distinguish it from the historic house and read as an addition to the house. At the same time, its scale, materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact.

Staff finds that the addition's design meets Sections II.B.2.a and II.B.2.e. of the design guidelines.

Setback & Rhythm of Spacing: The addition meets all base zoning setbacks. It will be approximately eight feet (8') from the right-side property line and six feet (6') from the left side property line. It will be over sixty feet (60') from the rear property line, and there will be at least thirty feet (30') of space between the back of the addition and the garage. The wider portion of the addition will not affect the rhythm of spacing of houses along the street since it will be over sixty-five feet (65') back from the front of the lot.

Staff finds that the addition meets Sections II.B.1.c. and II.B.2. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	No
Cladding	5" cement fiberboard lap siding	Smooth	Yes	No
Roofing	Architectural Shingles	Match existing	Yes	No
Trim	Cement Fiberboard	Smooth faced	Yes	X

Side Porch Floor/steps	Concrete	Typical	Yes	No
Side Porch Posts	Wood	Typical	Yes	No
Windows	Not indicated	Needs final approval	Unknown	Yes
Side/rear doors	Not indicated	Needs final approval	Unknown	Yes

With staff’s final approval of all material choices, including all windows and doors, staff finds that the known materials meet Section II.B.1.d. and II.B.2. of the design guidelines.

Roof form: The historic house has a front-facing gable with a pitch of approximately 9/12. The proposed addition will tie into the historic house with a front-facing gable at a point approximately nine inches (9”) below the historic house’s roof. The addition contains several gabled roof forms, all with slopes of approximately 9/12 to match the slope of the historic house’s gable.

Staff finds that the addition’s roof forms meet Sections II.B.1.e. and II.B.2. of the design guidelines.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There is one horizontal window opening on the left façade at the back. Because the wall where this window is located is inset eight feet (8’) from the wider portion of the addition, this window will not be visible from the street and is therefore appropriate. There are no large expanses of wall space without a window or door opening.

Staff finds the project’s proportion and rhythm of openings to meet Sections II.B.1.g. and II.B.2. of the design guidelines.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. The location of the HVAC and other utilities was not noted. Staff recommends that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions, and materials of all windows and doors prior to purchase and installation;

2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed addition meets Section II.B. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

SITE PLAN NOTES

THIS SITE PLAN WAS SCALED AND CREATED FROM THE NASHVILLE PLANNING DEPARTMENT ONLINE PARCEL VIEWER. THE PROPERTY LINES AND EXISTING HOME LOCATION ARE ONLY APPROXIMATE.

THE SOLE PURPOSE OF THIS SITE PLAN IS TO SHOW THE APPROXIMATE LOCATION OF THE PROPOSED STRUCTURE AS IT RELATES TO THE BUILDING SETBACK AND PROPERTY LINES AND SHOULD NOT BE USED FOR CALCULATING IMPERVIOUS AREAS.

A BOUNDARY AND TOPOGRAPHICAL SURVEY WAS NOT PERFORMED AND IF REQUIRED FOR PERMITTING PURPOSES IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO HIRE A LICENSED LAND SURVEYOR TO PERFORM THESE DUTIES.

WALL TYPE LEGEND

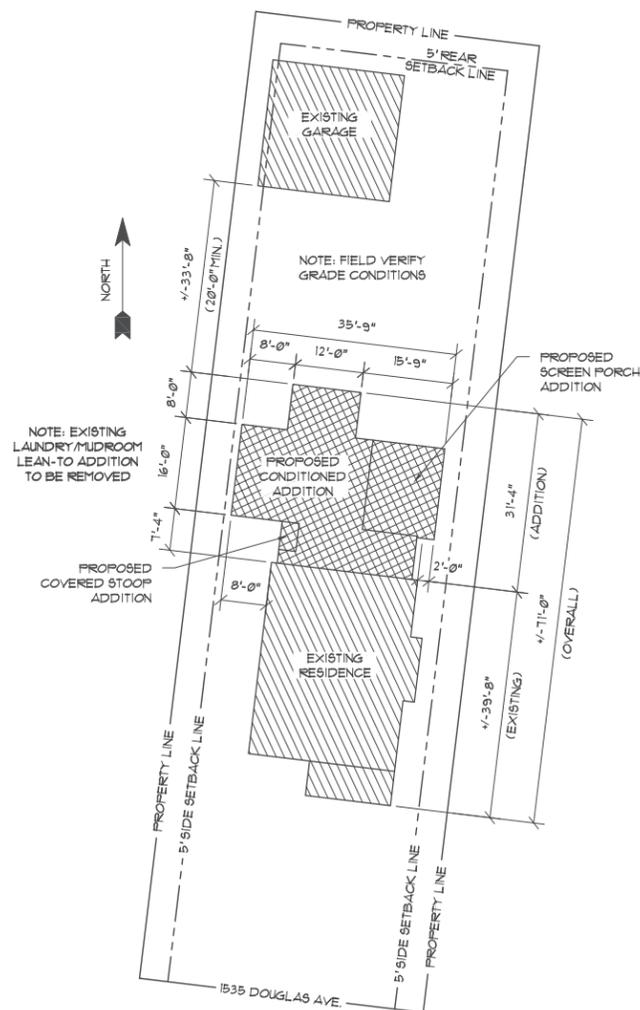
	EXISTING WALLS TO REMAIN
	WALLS TO DEMOLISH
	FILL EXISTING OPENINGS
	NEW WALLS

AREA CALCULATIONS

CONDITIONED AREA	
FIRST FLOOR EXISTING:	+/- 884 SF
FIRST FLOOR ADDITION:	+/- 620 SF
TOTAL HEATED:	+/- 1504 SF
NON-CONDITIONED AREA	
EXISTING FRONT PORCH:	+/- 90 SF
COVERED STOOP ADDITION:	+/- 22 SF
SCREEN PORCH ADDITION:	+/- 200 SF
TOTAL UNHEATED:	+/- 312 SF
TOTAL UNDER ROOF:	+/- 1816 SF

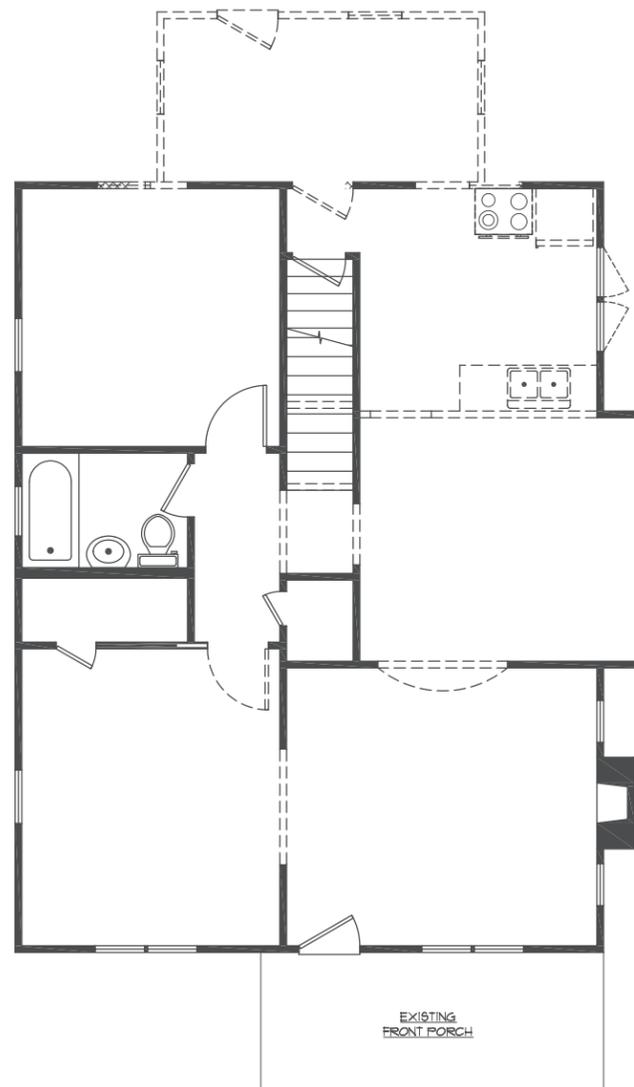
*NOTE - NEW CONSTRUCTION AREA CALCULATIONS TAKEN FROM OUTSIDE OF FRAMING. EXISTING CALCULATIONS TAKEN FROM TAX ASSESSMENT RECORDS.

- CONSTRUCTION NOTES**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
 - DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
 - ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
 - ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
 - TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
 - INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
 - CABINETS, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.



01 SITE PLAN

Scale: 1/16"=1'-0"



02 DEMOLITION PLAN

Scale: 1/4"=1'-0"

ISSUE DATE: 12.30.19

REV	DATE	DESCRIPTION
△		
△		

MHC REVIEW SET
 NOT FOR CONSTRUCTION

PLOT TO FULL SCALE
 ON 22" X 34" PAPER

PLOT TO HALF SCALE
 ON 11" X 17" PAPER

SCALE: AS NOTED

A100

SITE PLAN AND
 DEMOLITION PLAN

PROPOSED RENOVATION AND ADDITION
1535 DOUGLAS AVE.
NASHVILLE, TN 37206

ISSUE DATE: 12.30.19

REV	DATE	DESCRIPTION
△		
△		

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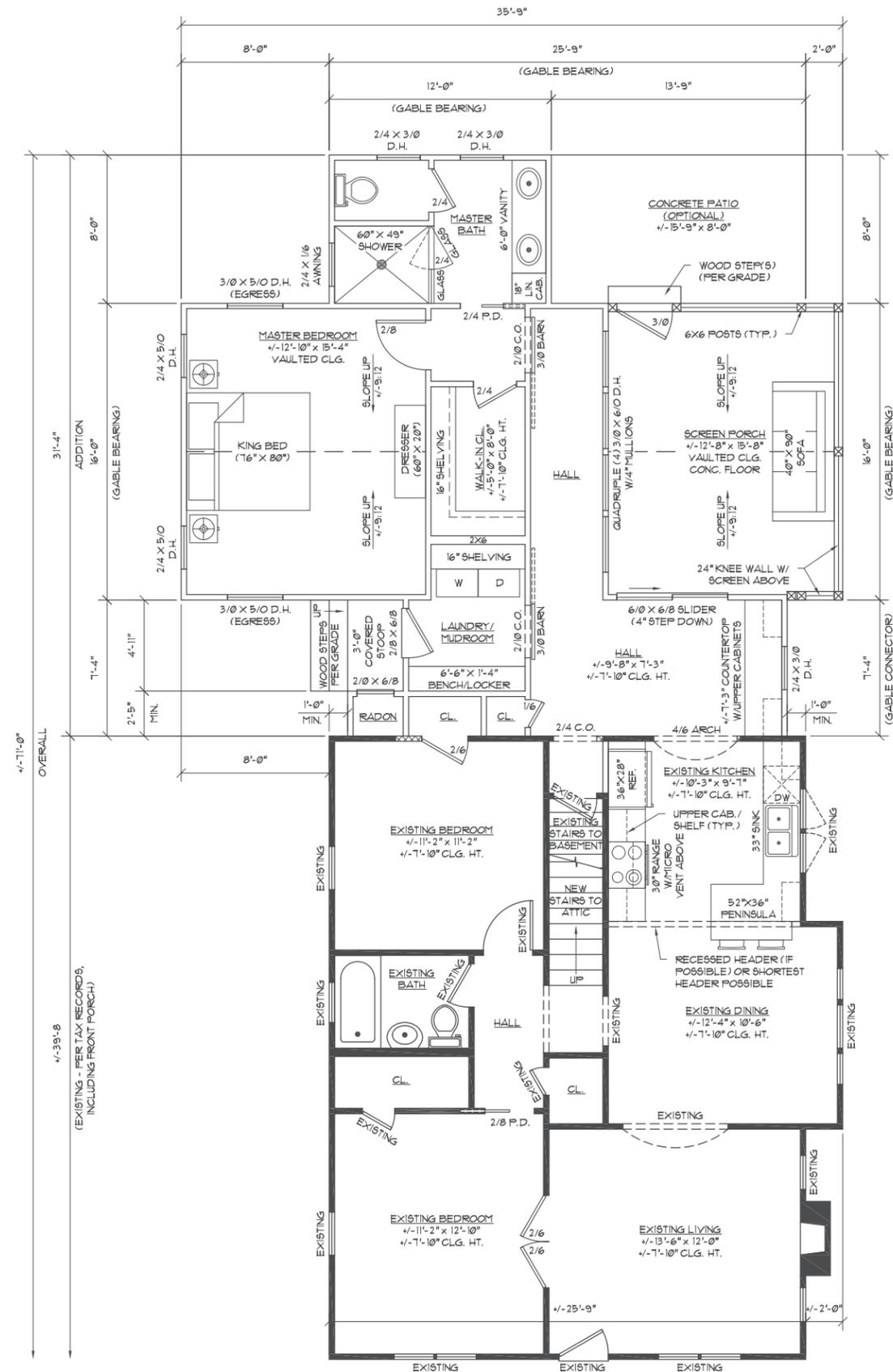
PLOT TO FULL SCALE
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PLOT TO HALF SCALE
ON 11" X 17" PAPER

SCALE: 1/4" = 1'-0"

A101

FLOOR PLAN



WALL TYPE LEGEND

	EXISTING WALLS TO REMAIN
	WALLS TO DEMOLISH
	FILL EXISTING OPENINGS
	NEW WALLS

AREA CALCULATIONS

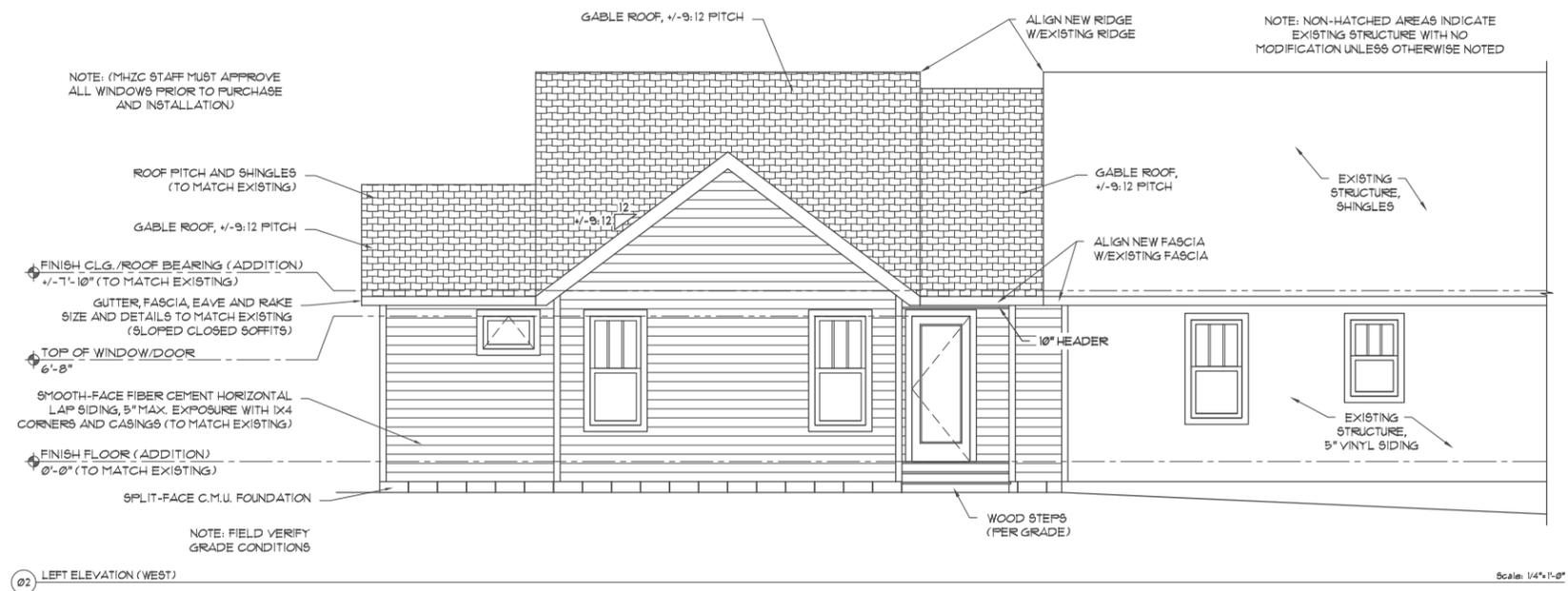
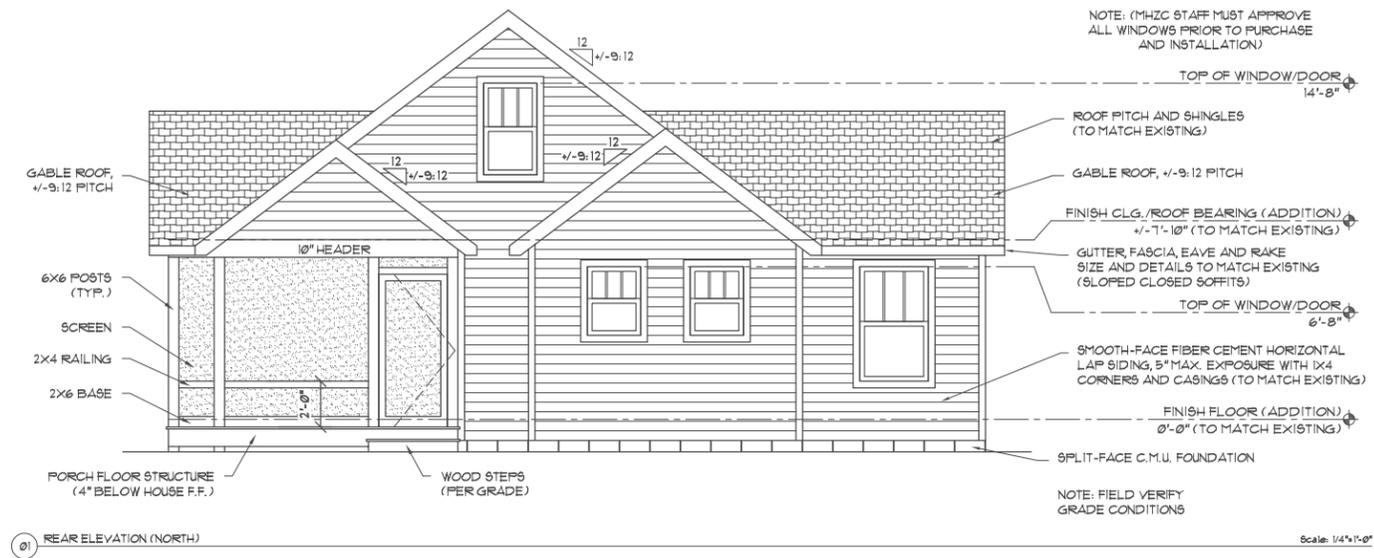
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 - CABINETS, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.

01 FIRST LEVEL FLOOR PLAN

Scale: 1/4"=1'-0"



PROPOSED RENOVATION AND ADDITION
 1535 DOUGLAS AVE.
 NASHVILLE, TN 37206

ISSUE DATE: 12.30.19

REV	DATE	DESCRIPTION
△		
△		

SCHEMATIC DRAWINGS
 MHZC REVIEW SET

PLOT TO FULL SCALE
 ON 22" X 34" PAPER

PLOT TO HALF SCALE
 ON 11" X 17" PAPER

SCALE: 1/4" = 1'-0"

A103

EXTERIOR
 ELEVATIONS