

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION
1627-1629 Shelby Avenue
January 15, 2020

Application: Demolition—Outbuilding; New Construction—Outbuilding
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Base Zoning: R6, Neighborhood Landmark Overlay
Map and Parcel Number: 08314030000
Applicant: Lynn Taylor, Taylor Made Plans
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: The application is to demolish a non-contributing outbuilding and construct new outbuilding. The outbuilding will not be used as a dwelling unit.</p> <p>Recommendation Summary: Staff recommends approval of the project with the condition that MHZC staff approve all final material choices, including windows, doors, and roof shingle color. With this condition, staff finds that the demolition and new construction meet Sections II.B.8. and III.B.2. of the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.</p> <p>MHZC does not have the authority to review the use of the new construction or of the existing structures.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

· *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

III.B. Demolition

1. Demolition is not appropriate

a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or

- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

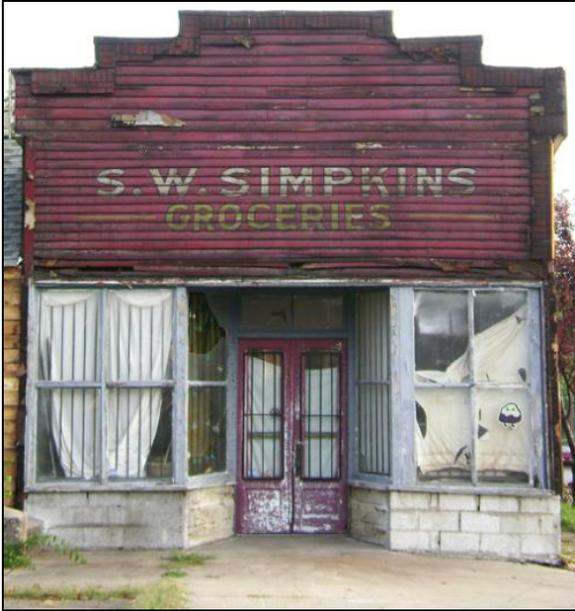
2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: 1627 Shelby Avenue is a residence with an attached store (Figure 1). The structure was built c. 1923 by Sallie Simpkins (later Sallie Robinson). Sallie purchased the property in March 1922, a few months after her first husband passed away. She built and operated a grocery store as a way to support herself and her two daughters after being widowed. The Simpkins grocery store operated for over fifty years at this location under Sallie’s leadership, until closing in 1974 (Figures 2,3).



Figure 1. 1627-1629 Shelby today.



Figures 2 & 3 show the S.W. Simpkins store after its closure.

In 2014, Metro Planning and Metro Council applied a Neighborhood Landmark zoning overlay to this property, allowing for a limited commercial use in the otherwise residentially-zoned neighborhood. Because of the neighborhood landmark overlay, the proposed garage may also need to be reviewed and approved by the Metro Planning Commission and possibly Metro Council.

The structure contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Analysis and Findings: The application is to demolish a non-contributing outbuilding and construct new outbuilding. The outbuilding will not be used as a dwelling unit.

Demolition: The date of construction for the existing outbuilding is unknown, but it does not seem to be the same structure that appears on the 1957 Sanborn map (Figures 4,5,6). Staff finds that the outbuilding's date of construction, materials, roof form, and overall design do not contribute to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

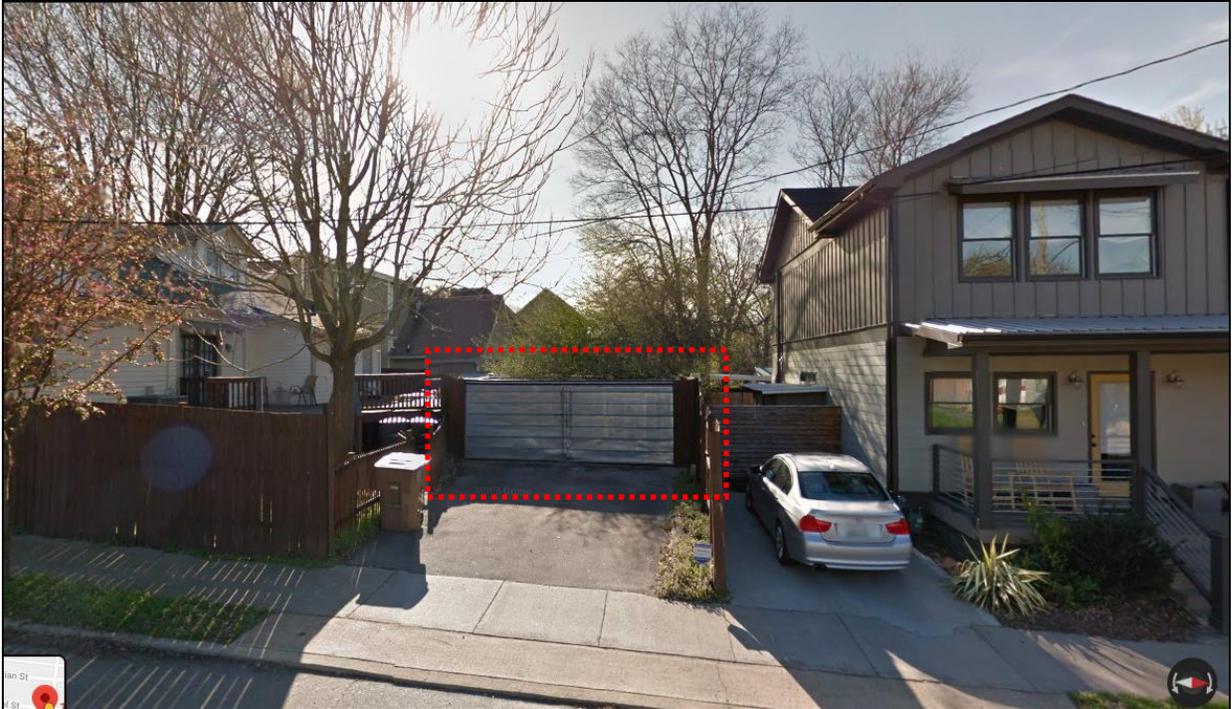


Figure 4. The outbuilding that is proposed to be demolished.

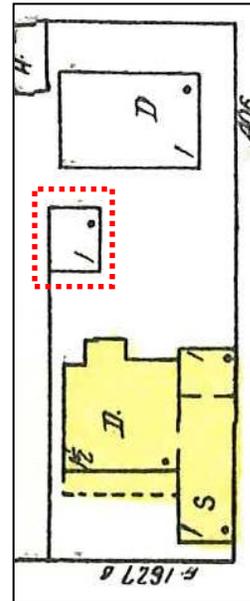
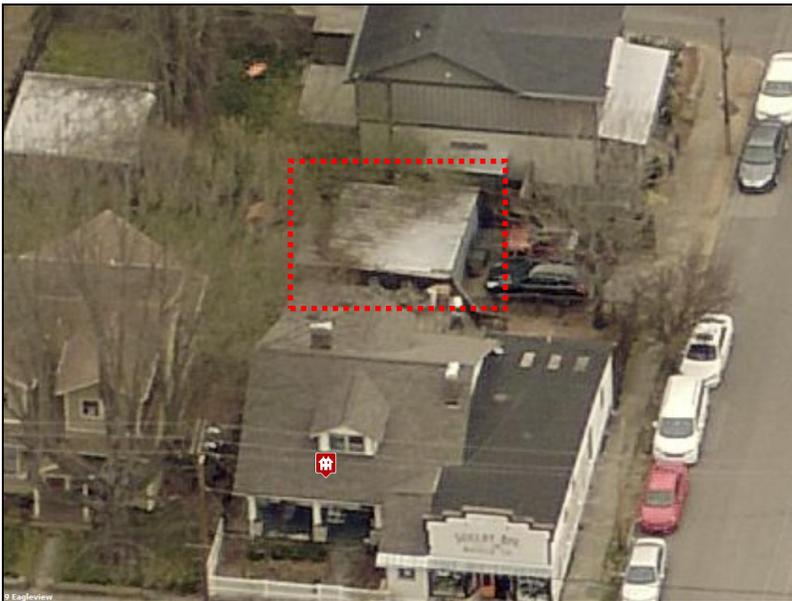


Figure 5 (left) is the aerial view of the outbuilding to be demolished. Figure 6 (right) is the 1957 Sanborn map, which seems to show a different outbuilding on the lot.

Staff finds that the proposed demolition of the outbuilding meets Section III.B.2. of the design guidelines for appropriate demolition.

Outbuildings:

Massing Planning:

The lot is less than 10,000 square feet, at five thousand and eighty-nine square feet (5,089 sq. ft.).

The lesser of these two numbers is the maximum square footage allowed for the footprint:

	50% of first floor area of primary structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	1,117 sq. ft.	750 sq. ft. max	528 sq. ft.

The proposed square footage meets the guidelines for a lot of this size.

	Potential maximums under Ordinance	Existing House	Proposed DADU, as measured from grade
Ridge Height	25' unless existing building is less	~22'	~19'
Eave Height	10'	~10'	~8'

The proposed height and scale of the outbuilding meets Section II.B.8.a. of the design guidelines.

Roof Form:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	10/12	Yes

The primary roof form is gabled with a 10/12 pitch, which is appropriate and meets Section II.B.8 of the design guidelines for roof shape.

Design Standards

The proposed structure has a simple gabled form. Overall, the design of the outbuilding is simple with some craftsman-type detailing like exposed rafter tails. The design is appropriate for an outbuilding in the Lockeland Springs neighborhood and meets Section II.B.8 of the design guidelines.

Materials:

	Proposed	Color/Texture	Needs final approval?
Foundation	Concrete slab	Typical	No
Cladding	Fiber cement lap siding	Smooth, 5" exposure	No
Roofing	Architectural shingle	Unknown	Yes
Secondary roofing	Standing seam metal	Unknown	Yes
Trim	Harditrim	Smooth	No
Windows	Not indicated	Not indicated	Yes
Doors	Not indicated	Not indicated	Yes
Garage door	Not indicated	Not indicated	Yes

With staff's final approval of the roofing color, windows, and all doors, staff finds that the materials meet the design guidelines.

General requirements for Outbuildings/DADUs:

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	~14' *

Rear setback – garage doors do not face alley	3’	3’
Interior side setback	3’	3’
Street side setback	20’	~23’
How is the building accessed?	-	From side street and existing curb cut
Two different doors rather than one large door (if street facing)?	-	Yes

*The proposed garage meets the base zoning setbacks but does not meet the design guidelines requirement that there be at least twenty feet (20’) between the back of the house/primary structure and the outbuilding. The applicant is proposing that there be just fourteen feet (14’) of distance between the back of the house and the new outbuilding.

Staff finds that the reduced space between the two structures is appropriate, in this instance, because the lot is unusually shallow at just one hundred feet (100’) deep. This is fifty feet (50’) shallower than the typical lot on the south side of Shelby Avenue. 1627 Shelby’s lot is particularly shallow because the back fifty feet (50’) of the lot was subdivided off by deed in the 1960s to create another lot facing South 17th Street. Because of the shallowness of the lot, it is difficult to have twenty feet (20’) of space between the two structures, while still meeting the rear setback and while allowing for a two-car garage. The Commission has regularly approved distances as little as ten feet (10’) when lots are particularly shallow like this one.

Staff finds that the proposed location and setbacks of the garage meet Section II.B.8. of the design guidelines.

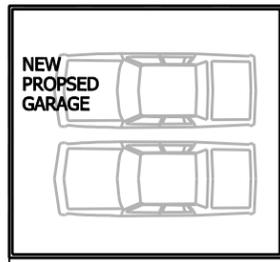
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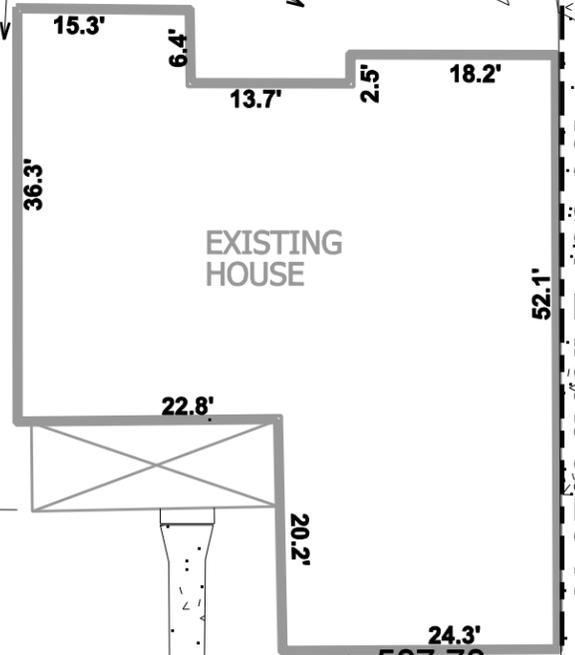
12/30/2019

1629 Shelby Ave.,
Nashville, TN 37206

N 82°55'50" W 50.00'



REMOVE DECK
AND LEFT SIDE DECK



505 S 07°04'10" W 100.00'

N 07°04'10" E 100.00'

S 82°55'50" E 50.00'

MSL
ELEV=509.48

EL=508.42

507.62

507.78
508.28

PP

507

PP

Distance:
48.84 ft

WM

SP

PP

503

504

505

506

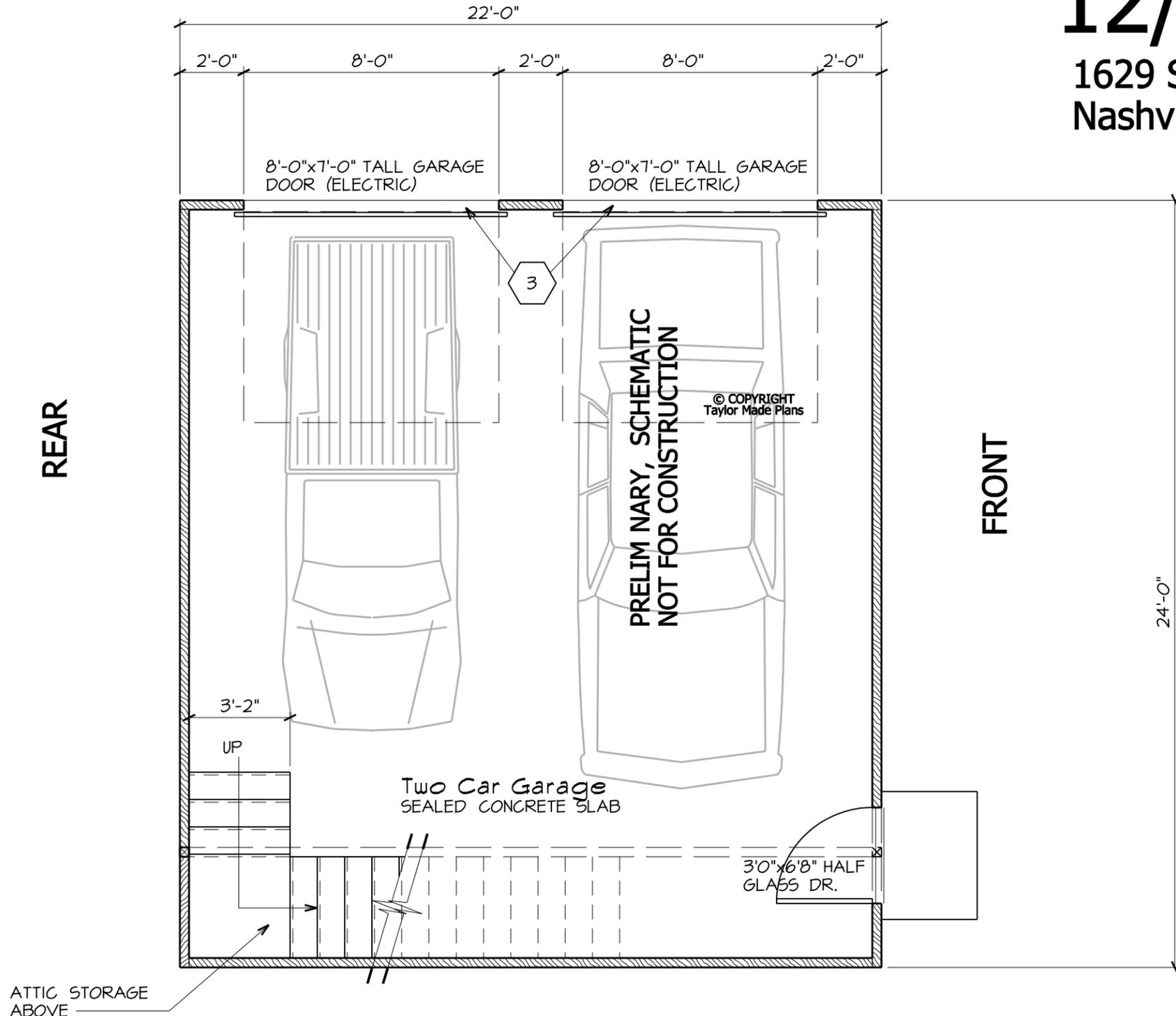
507

PP
508

509

12/30/2019

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Nashville, TN 37206



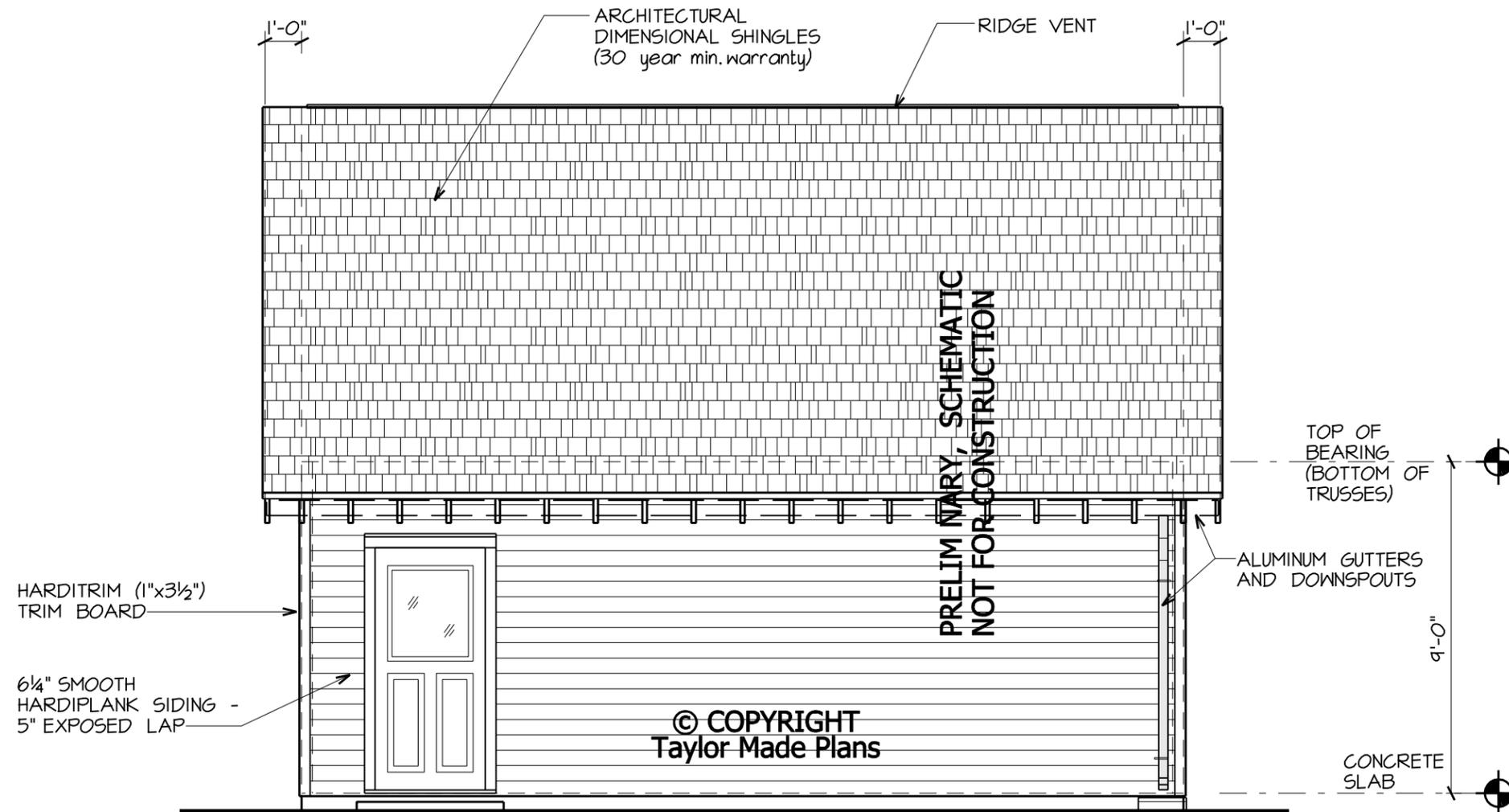
SQUARE FOOTAGE	GROSS
NEW GARAGE FOOTPRINT	528 SQ.FT.

FLOOR PLAN

SCALE: 1/4" = 1'-0"

12/30/2019

1629 Shelby Ave.,
Nashville, TN 37206



1

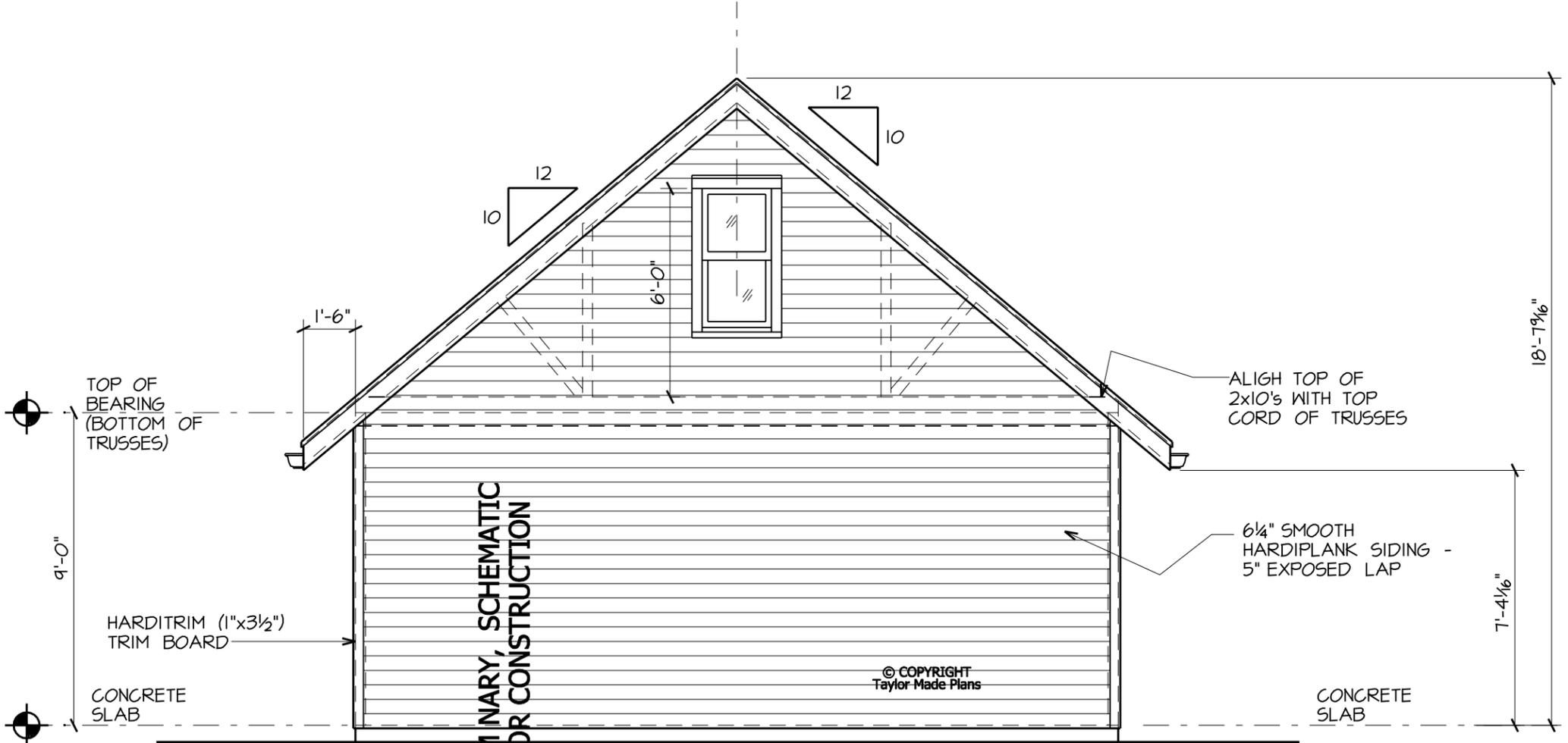
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STOCK# G119b
ELEVATION#1

12/30/2019

1629 Shelby Ave.,
Nashville, TN 37206



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NOT FOR CONSTRUCTION

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STOCK# G119b
ELEVATION#1

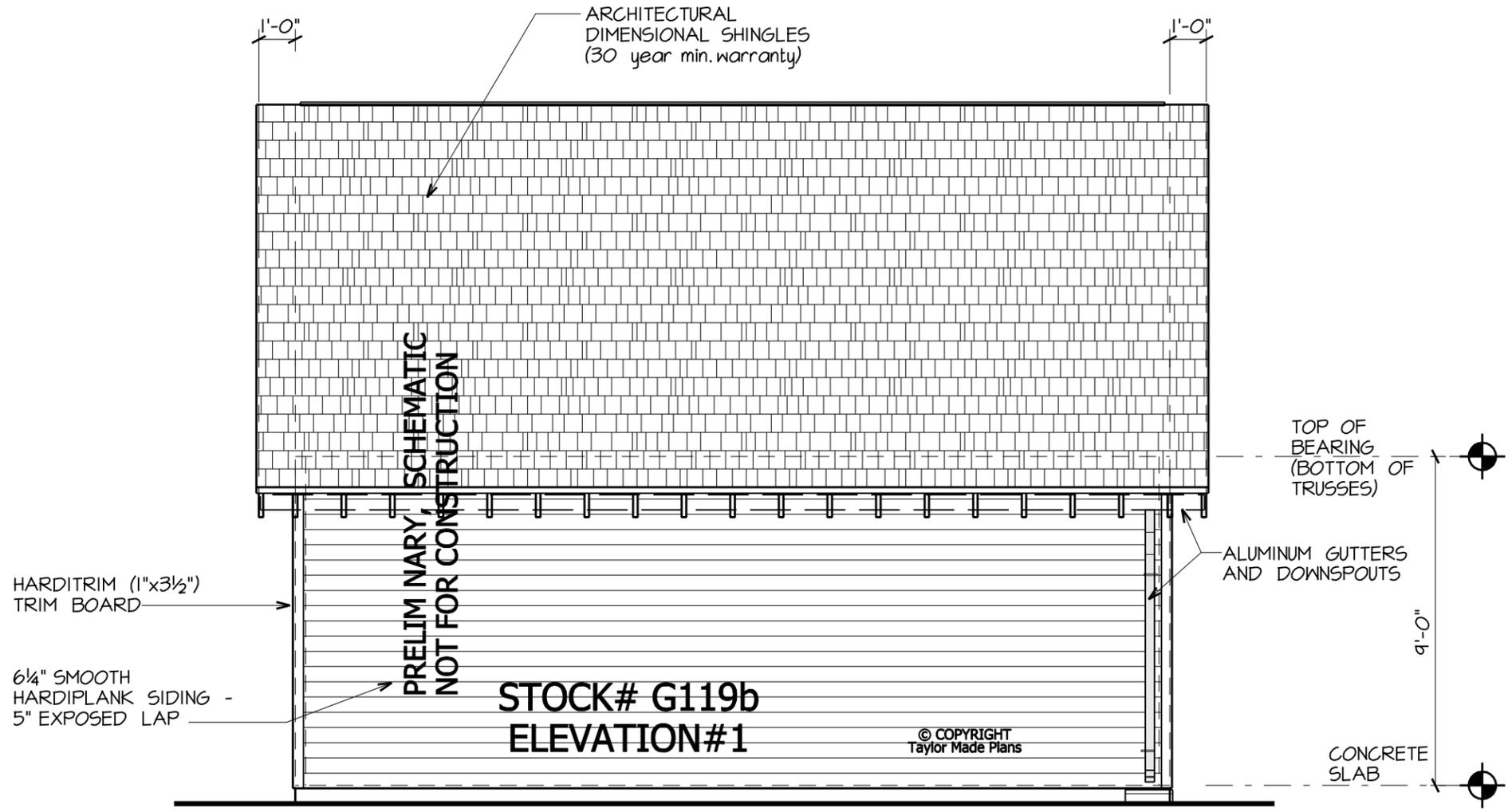
2

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

12/30/2019

1629 Shelby Ave.,
Nashville, TN 37206



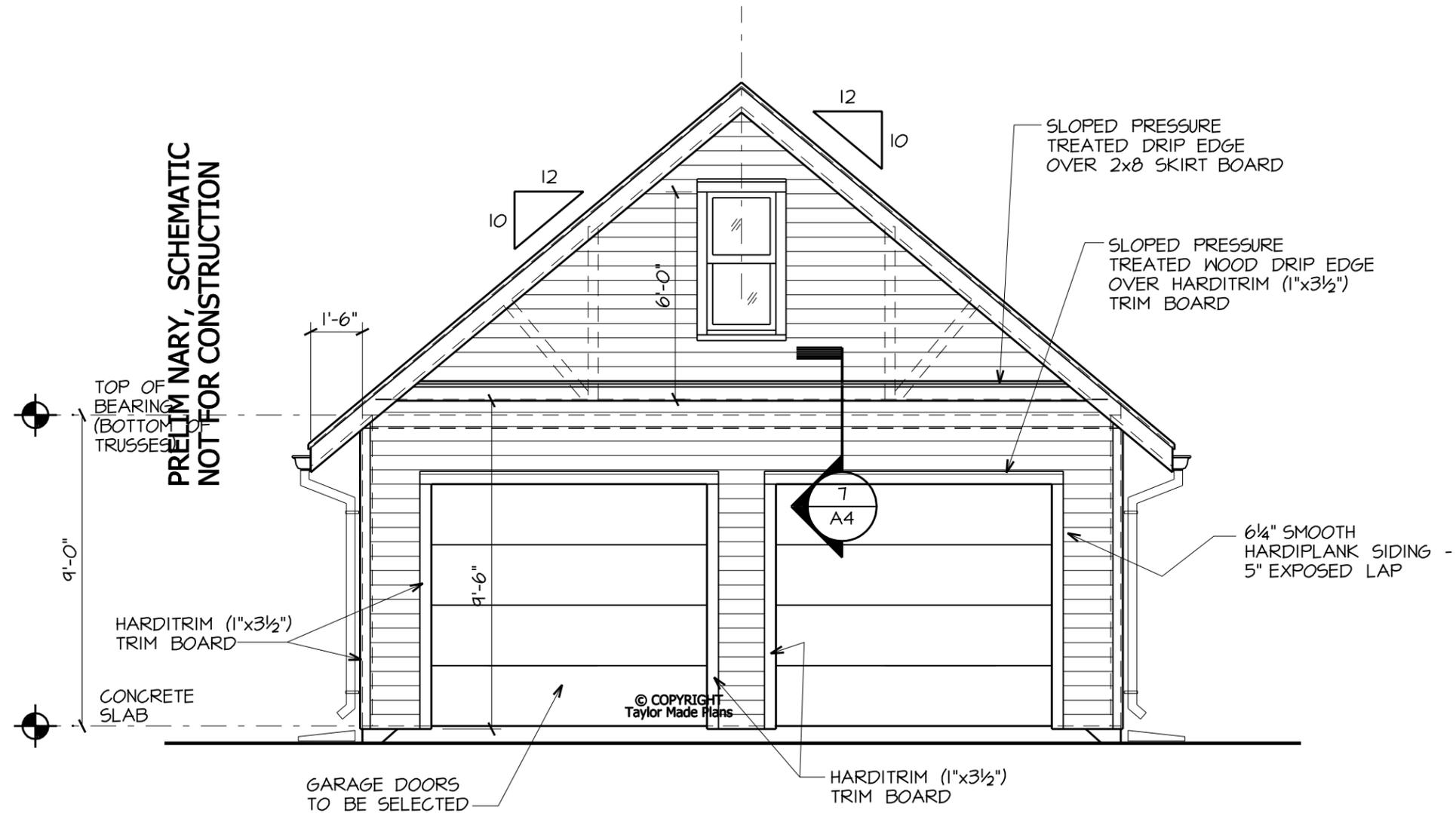
4

REAR ELEVATION

SCALE: 1/4" = 1'-0"

12/30/2019

1629 Shelby Ave.,
Nashville, TN 37206



STOCK# G119b
ELEVATION#1

3

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"