



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

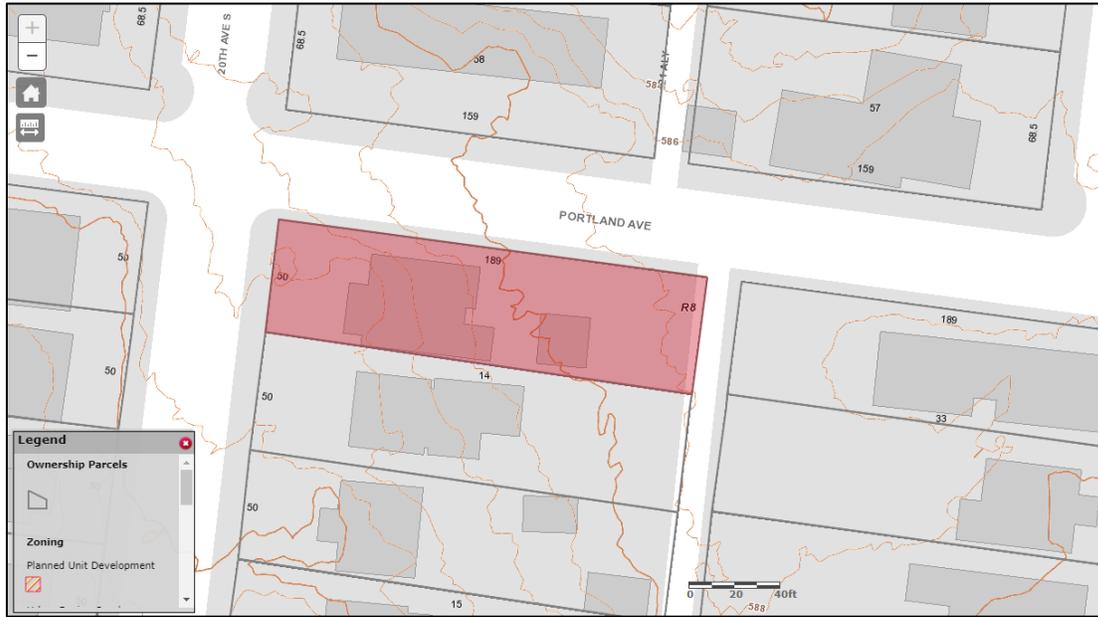
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**2000 20<sup>th</sup> Avenue South**  
**February 19, 2020**

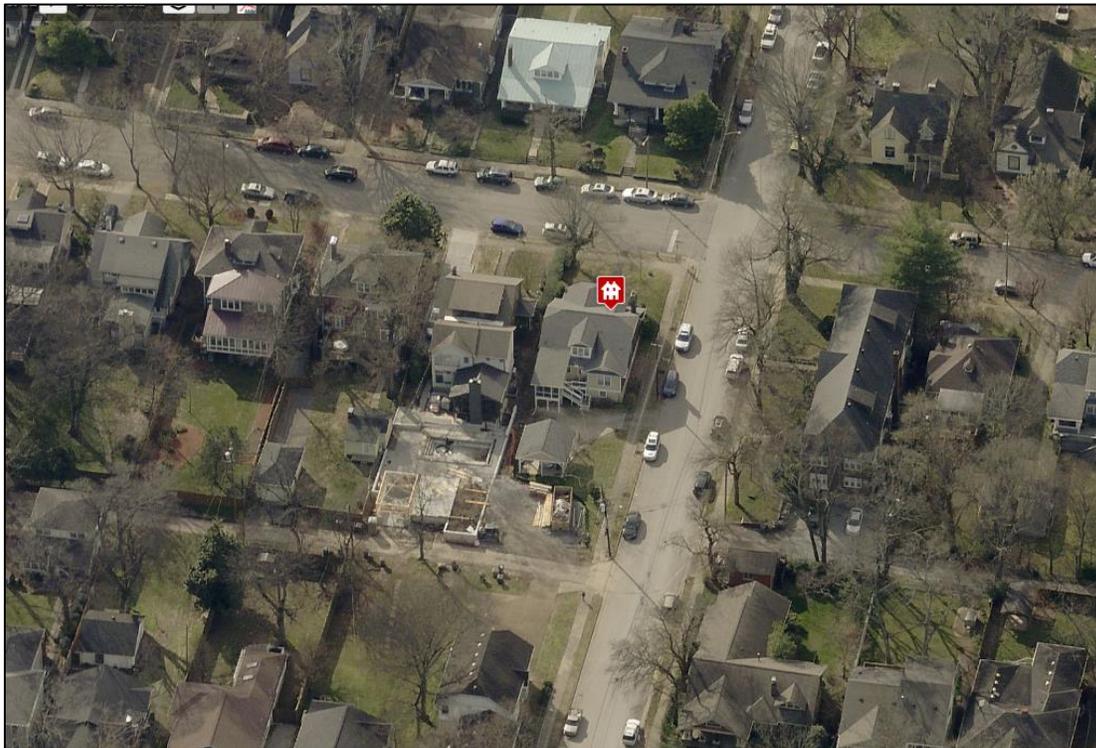
**Application:** New Construction-Addition; Setback determination  
**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Base Zoning:** R8  
**Map and Parcel Number:** 10412014100  
**Applicant:** Matt McCrary, Allard Ward Architects  
**Project Lead:** paul.hoffman@nashville.gov

<p><b>Description of Project:</b> The current application is for a rear addition with attached garage. The façade of the addition facing the side street with garage doors is proposed at six feet, ten inches (6' 10") from the side property line, requiring a setback determination.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
<p><b>Recommendation Summary:</b> Staff recommends approval of the setback determination. Staff recommends approval of the addition and attached garage with the conditions:</p>	
<ol style="list-style-type: none"><li>1. The left side of the addition or at minimum the portion housing the garage doors be moved at least ten feet (10') from the left side property line;</li><li>2. Staff approve samples of brick and stone prior to purchase and installation;</li><li>3. Staff approve the color of roofing material, and final details, dimensions and materials of windows, doors and garage doors prior to purchase and installation; and,</li><li>4. If they are moved, HVAC and other utilities shall be located on the rear façade, or on the non-street-facing side of the house.</li></ol>	
<p>With these conditions, Staff finds the proposed addition meets Section II.B.1 and II.B.2 of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay design guidelines.</p>	

## Vicinity Map:



## Aerial Map:



## **Applicable Design Guidelines:**

### **II. B. GUIDELINES**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks..*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may*

*be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### **Duplexes**

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### **Multi-unit Developments**

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

#### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **h. Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

#### **i. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

#### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
  - *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
  - *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
  - *Stud wall lumber and embossed wood grain are prohibited.*
  - *Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location*

*of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

## **2. ADDITIONS**

- a. *Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.*

*Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally, one-story rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

*Additions should be a minimum of 6" below the existing ridge.*

*In order to assure that an addition has achieved proper scale, the addition should:*

*No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*

- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.
- Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:
  - An extreme grade change
  - Atypical lot parcel shape or size
 In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

*When an addition needs to be taller:*

*Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*

*When an addition needs to be wider:*

*Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep. In addition, a rear addition that is wider should not wrap the rear corner.*

*Ridge raises*

*Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.*

*Sunrooms*

*Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.*

*Foundation*

*Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.*

*Foundation height should match or be lower than the existing structure.*

*Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.*

*Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure.*

*Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint*

*of the building).*

#### *Rear & Side Dormers*

*Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.*

*The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.*

*Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.*

*Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:*

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

#### *Side Additions*

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

*Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*

*To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

*Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.*

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

*Side porch additions may be appropriate for corner building lots or lots more than 60' wide.*

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by

not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

f. Additions should follow the guidelines for new construction.

## V. DEMOLITION

### 1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### 2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** 2000 20<sup>th</sup> Avenue South was built c. 1915 and is a contributing building in the Belmont-Hillsboro Conservation Zoning Overlay.



Figure 1. 2000 Twentieth Avenue South.

**Analysis and Findings:** The applicant proposes a rear addition with attached garage.

**Partial Demolition:** The application proposes removal of most the existing rear wall, a rear dormer, and a non-original rear addition and a carport (Figure 2). The carport and addition were approved and constructed in 2016.

Although the dormer and rear of the house elements are part of the original historic structure, the Commission has regularly approved the removal of them to accommodate a new addition. Therefore staff finds that the proposed partial demolition is not detrimental to the integrity of the historic house or the district, and meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.



Figure 2: Existing carport and rear addition to be removed.

**Height & Scale:** The proposed addition is one and a half stories with an exposed basement level due to a drop in grade. The proposed additional footprint is one thousand, one hundred and ninety-four square feet (1,194 sq. ft.), compared to the existing footprint of the house which is one thousand, five hundred and three square feet (1,503 sq. ft.). The addition is less than the footprint of the existing house, and the new construction is at the rear of the historic house, in accordance with the design guidelines. The addition adds approximately thirty-four feet (34') to the depth of the house, which is less than that of the house itself, at fifty-one feet (51'). The addition has a maximum ridge height that is approximately six inches (6") lower than the ridge of the historic house. The eave height on the addition matches that of the existing house. Staff finds that project is appropriate with regard to height and scale and meets Sections II.B.1.a and b as well as II.B.2.f of the guidelines.

**Design, Location & Removability:** The addition is located at the rear of the historic house, in accordance with the design guidelines. It is inset two feet (2') on each side before returning to match the width of the historic home. If the addition were removed in the future, the historic and architectural character of the house would remain. The design is differentiated from the house with insets, materials and fenestration, but does not affect

the character-defining features of the home. Staff finds that the proposed addition meets Section II.B.2.a and II.B.2.e of the design guidelines.

Setback: The addition will have setbacks of approximately seven feet (7') on both left and right sides. The rear wall of the addition will be approximately sixty-one feet (61') from the rear property line. The setbacks meet the base zoning requirements of five feet (5') at the sides and twenty feet (20') for the rear. However the bulk regulations of the Zoning Code (Section 17.12.030) require a structure to have twenty feet (20') street setback for local streets, which is how Portland Avenue is categorized. Section 17.20.060.D for Parking Area Design Standards also requires that garage doors opening toward a public street be a minimum of twenty feet (20') from the property line. Section 17.12.030.C.2 (Street Setbacks) allows for the street setback to be reduced by fifty percent when the rear setback of a corner lot is oriented towards the rear setback of a neighboring lot, which is the case with this lot. To comply with the Zoning Code, staff recommends the portion of the addition with garage doors facing Portland Avenue be moved approximately three feet (3') to be at least ten feet (10') away from the right-side property line. Staff recommends approval of the setback determination from twenty feet (20') to ten feet (10'). With this condition, the project will meet Section II.B.1.c for setbacks.

Materials:

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Stone	Natural	Yes	Yes
<b>Cladding</b>	Brick	Match existing	Yes	Yes
<b>Secondary Cladding</b>	Stucco	Not indicated	Yes	No
<b>Roofing</b>	Architectural Shingles	Not indicated	Yes	Yes
<b>Trim</b>	Wood	Smooth faced	Yes	No
<b>Chimney</b>	Stucco	Not indicated	Yes	No
<b>Rear porch framing</b>	Wood columns		Yes	No
<b>Rear porch deck and stairs</b>	Wood	Not indicated	Yes	No
<b>Windows</b>	Aluminum- clad wood windows	Needs final approval	Yes	Yes
<b>Driveway</b>	Concrete	Needs final approval	Yes	No
<b>Doors</b>	Not specified	Needs final	n/a	Yes

		approval		
<b>Garage doors</b>	Not specified	Needs final approval	n/a	Yes
<b>Walkway</b>	Concrete	Needs final approval	Yes	No

The addition will have a stone foundation, and brick cladding matching the house, with stucco in the gable fields. Staff recommends having final review of brick and stone, windows, doors, garage doors and roofing color.

Roof form: The primary portion of the roof is a clipped cross-gable with 7/12 and 9/12 pitch. The screened porch roof is a rear-facing hipped roof. The roof form and pitches do not contrast greatly with the roof shape, orientation or pitch of surrounding historic buildings. Staff finds the roof form of the new construction is compatible with the house. The project meets section II.B.1.e.

Proportion and Rhythm of Openings: The windows on the proposed addition are generally twice as tall as they are wide, meeting the historic proportion of openings. The largest expanse of wall space without a window or door opening is eight feet (8'). Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

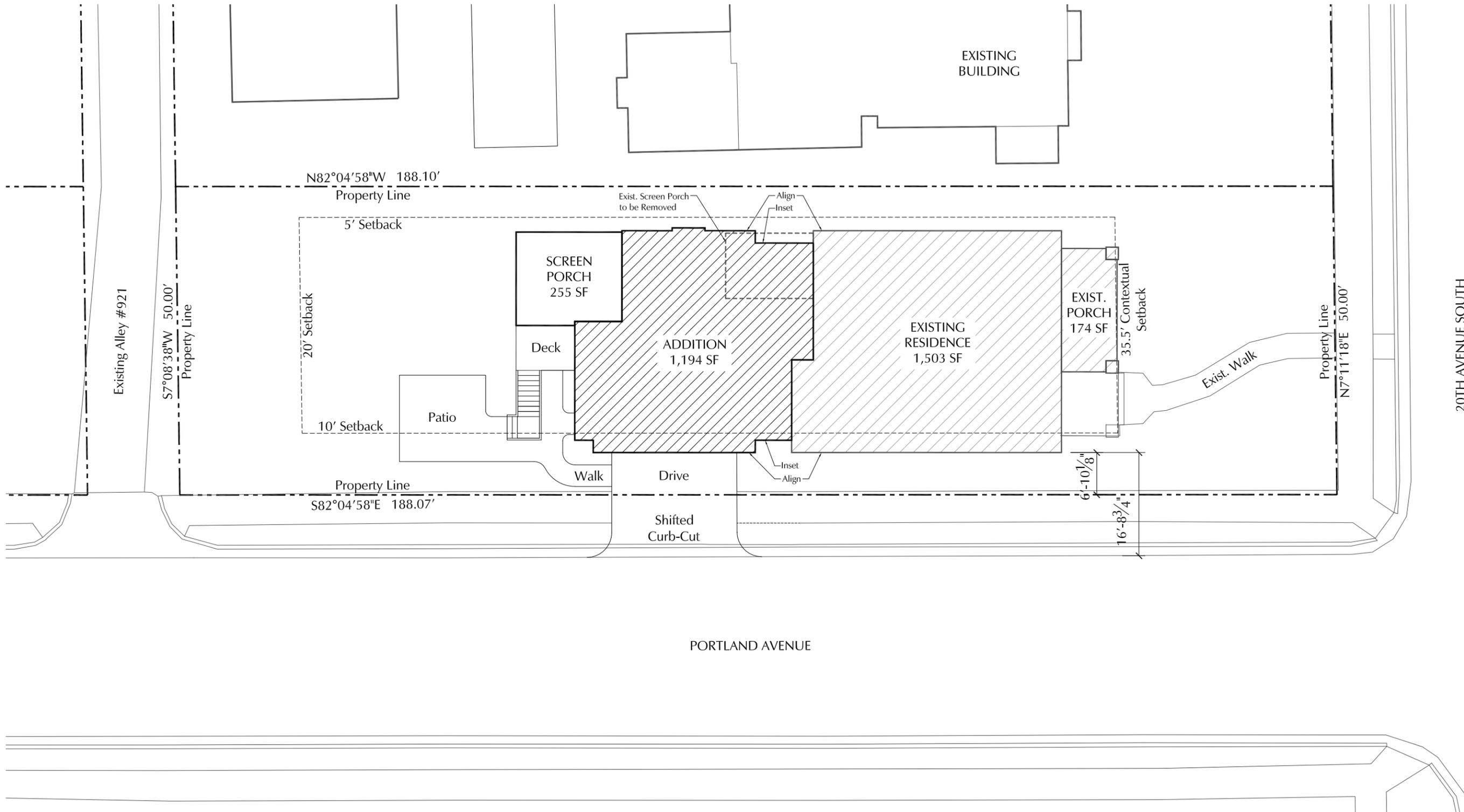
Appurtenances & Utilities: An existing curb cut is proposed to be shifted to the rear for vehicular access into the attached garage. A concrete driveway will be added. The site plan and floor plans do not indicate that utilities are being relocated. If HVAC or other utilities are moved, Staff recommends that they be located on the rear façade, or on the non-street-facing side of the house, to meet the design guidelines for minimal visibility of utilities. With this condition, the project will meet section II.B.1.h.

Outbuildings: A detached outbuilding is most appropriate historically. However, attached garages have been permitted when they are at the basement level, at the rear of the building, and in the general location of an historic outbuilding. This project meets these qualifications. With the condition that the side setback be increased, (see section on Setbacks) Staff finds that the project meets section II.B.1.i and II.B.2 of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the setback determination and the addition with the conditions:

1. The left side of the addition or at a minimum the portion housing the garage doors are moved at least ten feet (10') from the left side property line;
2. Staff approve samples of brick and stone prior to purchase and installation;
3. Staff approve the color of roofing material, and final details, dimensions and materials of windows, doors and garage doors prior to purchase and installation; and,
4. If they are moved, HVAC and other utilities shall be located on the rear façade, or on the non-street-facing side of the house.

With these conditions, Staff finds that the proposed addition meets Sections II.B.1 and II.B.2 of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay design guidelines.



1

# Site Layout Plan



Scale: 1/16"=1'-0"

Drawings:  
Site Layout Plan  
Date:  
02.03.20

**ALLARD WARD**  
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Nashville, Tennessee 37212  
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allardward.com

Additions and Renovations to:  
**The Drewry Residence**  
2000 20th Avenue South  
Nashville, Tennessee 37212

**AS1.0**

MHZC PRESERVATION APPLICATION

20TH AVENUE SOUTH

PORTLAND AVENUE

EXISTING BUILDING

SCREEN PORCH  
255 SF

Deck

Patio

Walk

Drive

Shifted  
Curb-Cut

ADDITION  
1,194 SF

EXISTING RESIDENCE  
1,503 SF

EXIST. PORCH  
174 SF

Exist. Walk

N82°04'58"W 188.10'

Property Line

5' Setback

20' Setback

10' Setback

Property Line

S82°04'58"E 188.07'

S7°08'38"W 50.00'

Property Line

N7°11'18"E 50.00'

Property Line

35.5' Contextual  
Setback

6'-10 1/8"

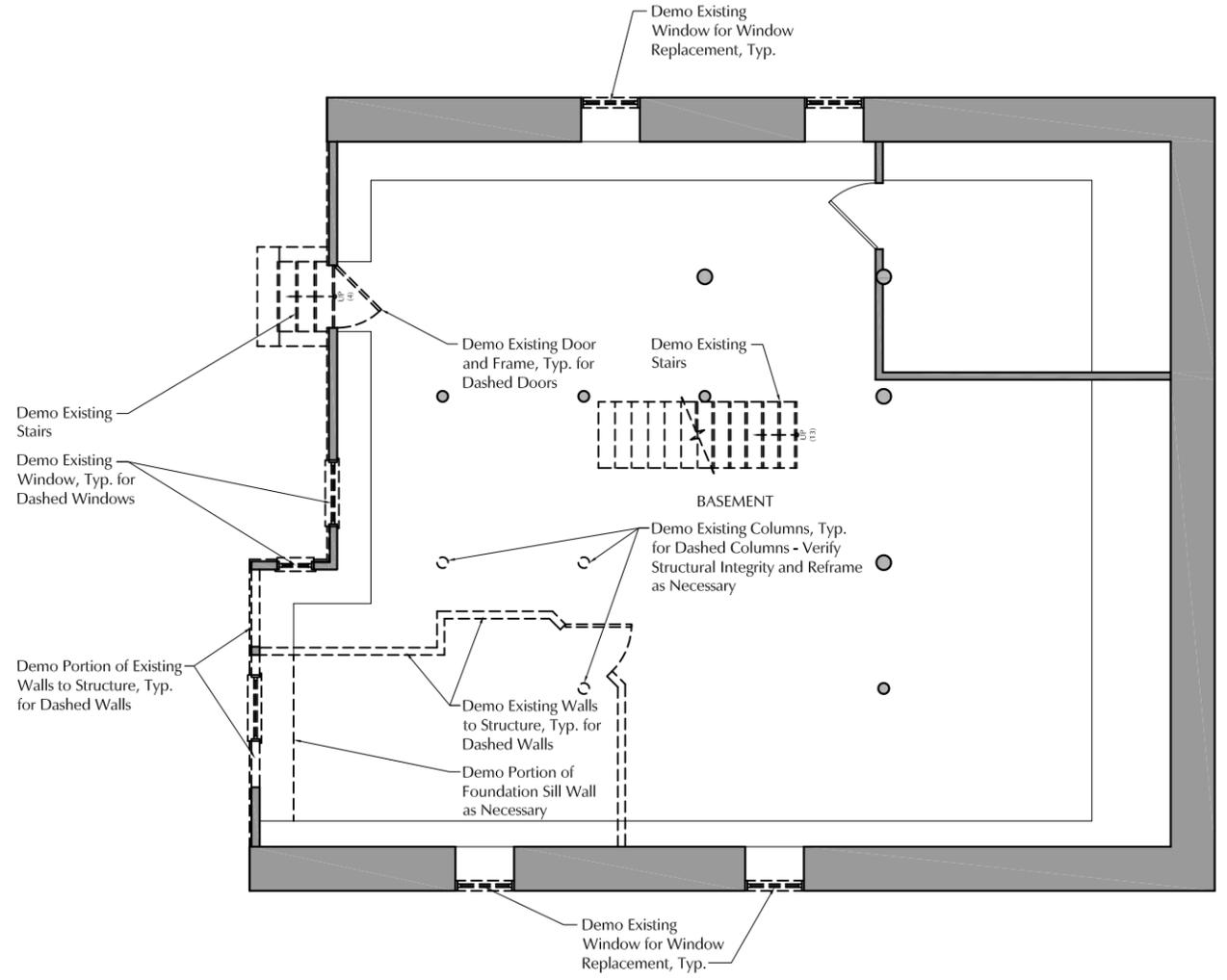
16'-8 3/4"

Exist. Screen Porch  
to be Removed

Align  
Inset

Inset  
Align

Existing Alley #921



1

Demo: Basement Plan



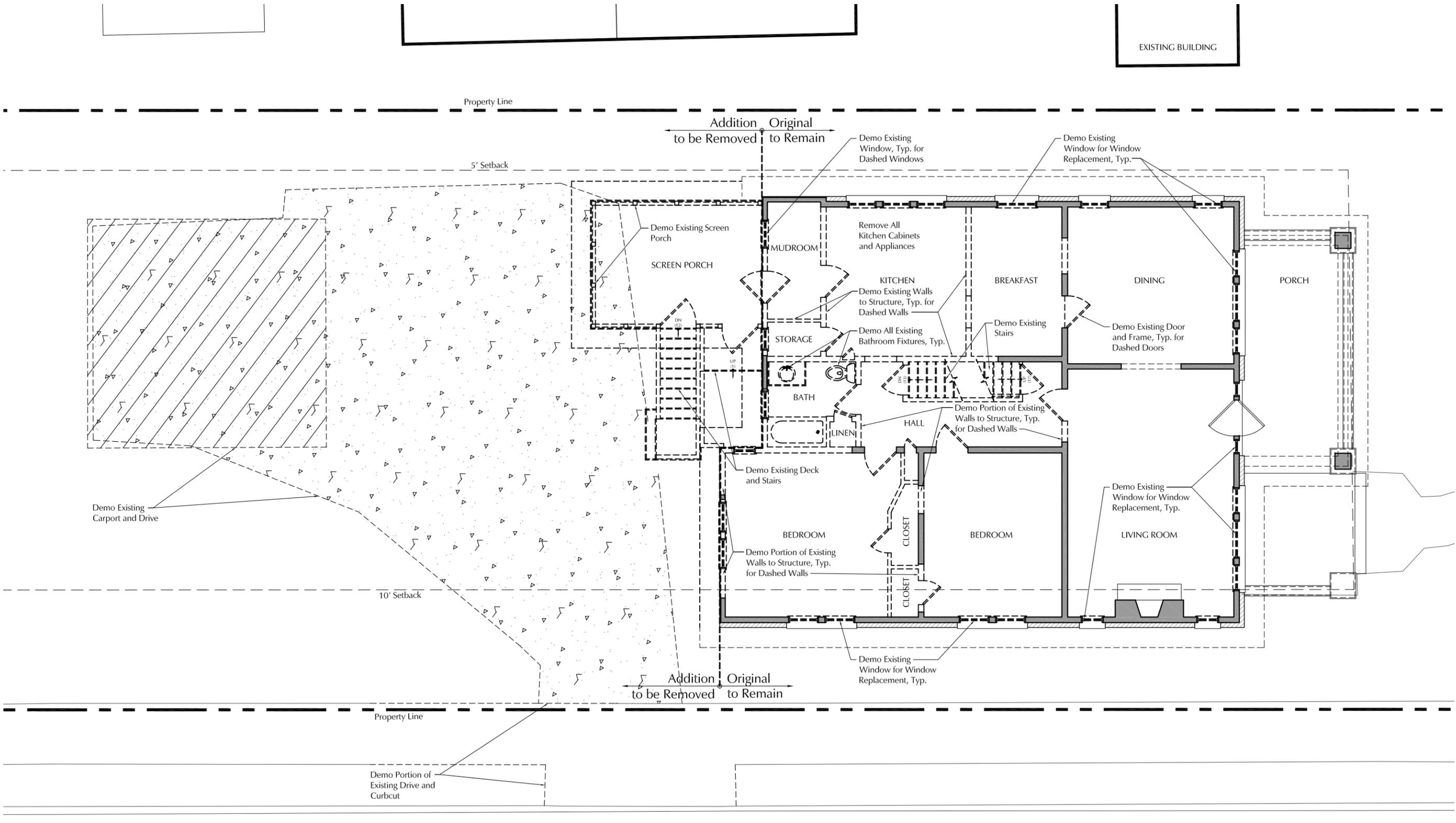
Drawings:  
Demolition Basement Plan  
Date:  
02.03.20

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**D1.0**



Additions and Renovations to:  
**The Drewry Residence**

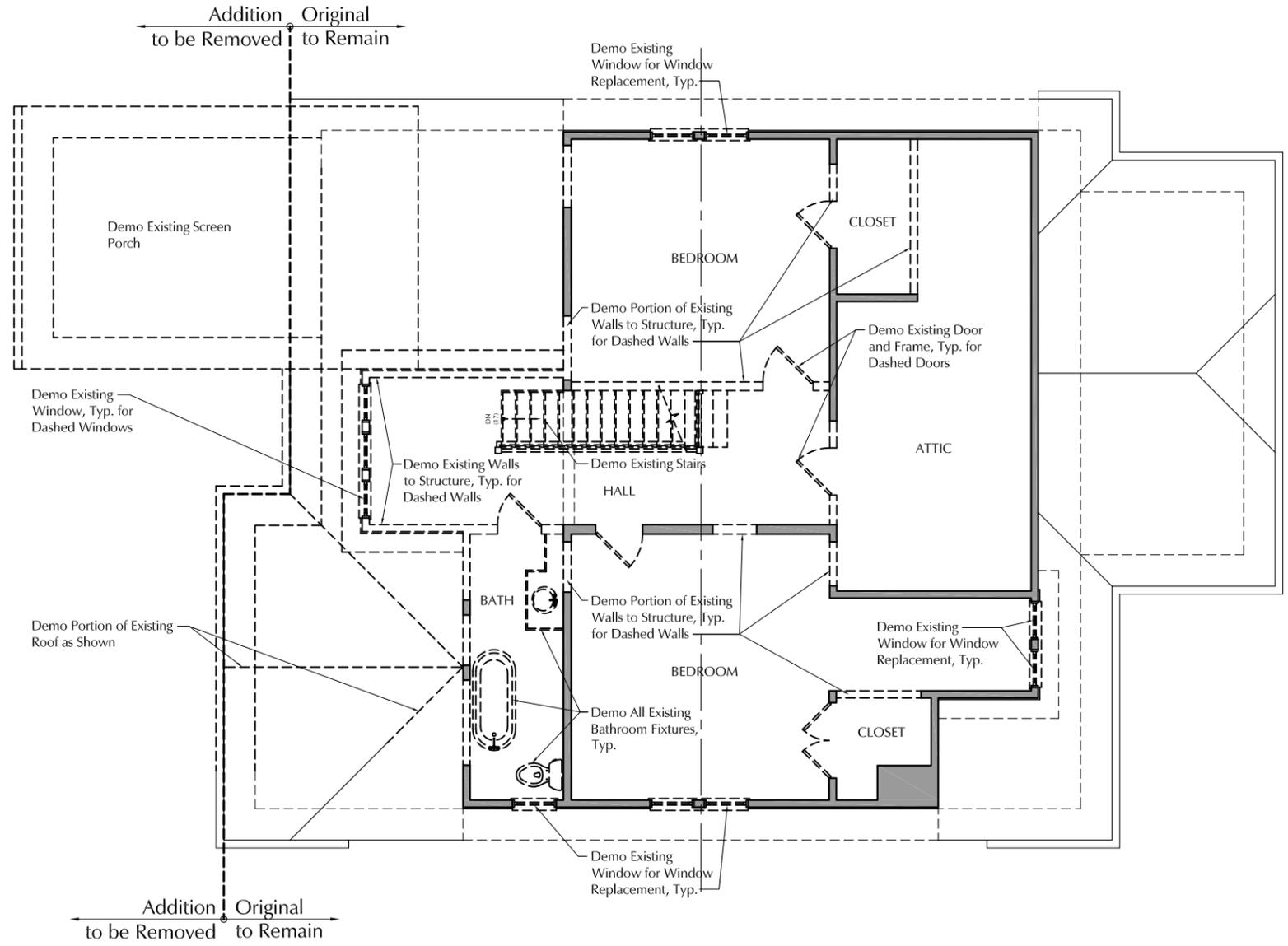
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Drawings:  
 Demolition First Floor Plan  
 Date:  
 02.03.20

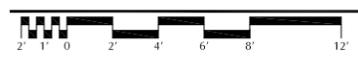
1 Demo: First Floor Plan  
 Scale: 1/8"=1'-0"

**D1.1**



1

### Demo: Second Floor Plan



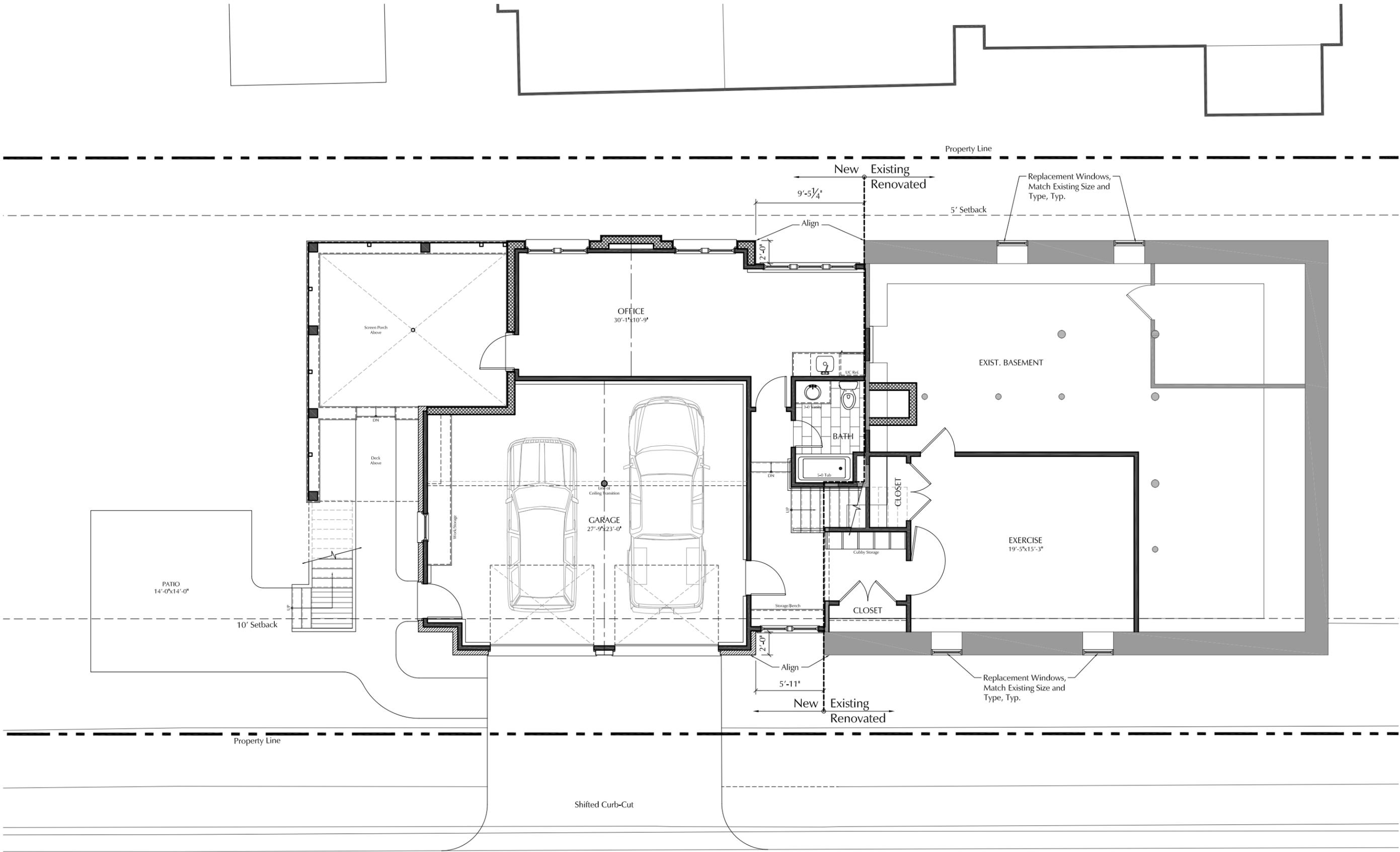
Scale: 1/8"=1'-0"

Drawings:  
Demolition Second Floor Plan  
Date:  
02.03.20

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**D1.2**



1

### Basement Floor Plan

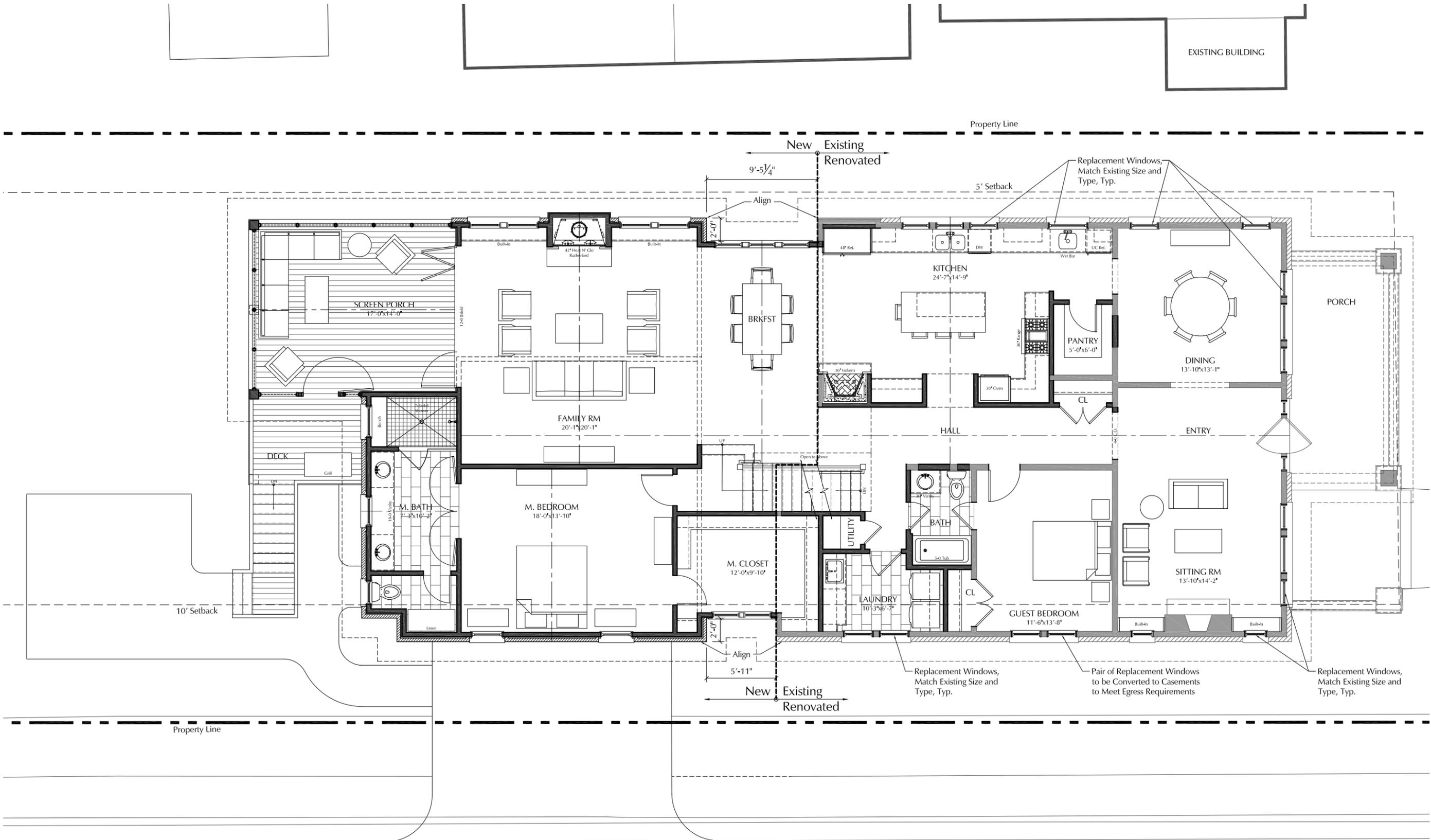


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Drawings:  
 Basement Floor Plan  
 Date:  
 02.03.20

**A1.0**



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Drawings:  
 First Floor Plan  
 Date:  
 02.03.20

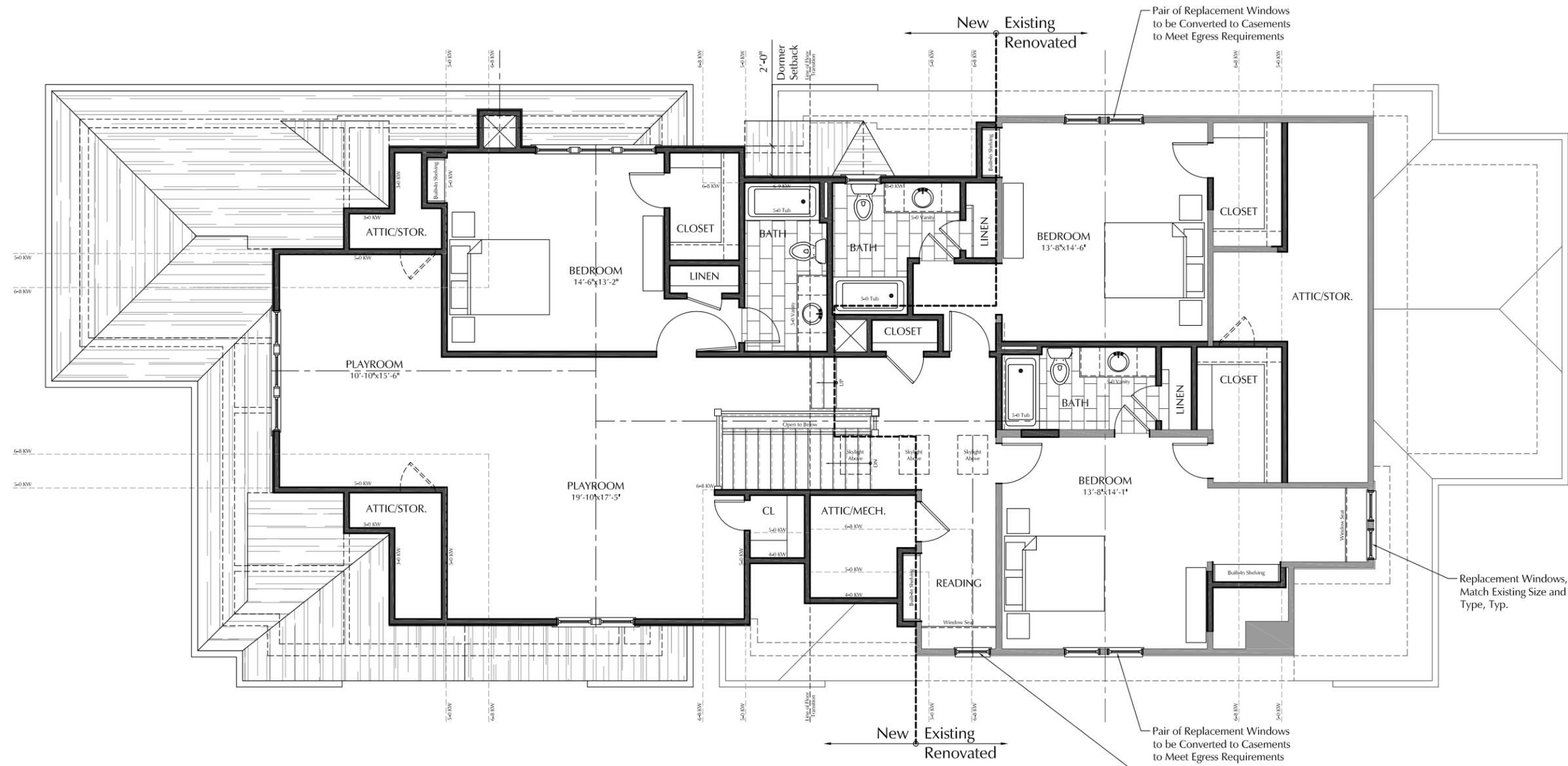


1

**First Floor Plan**

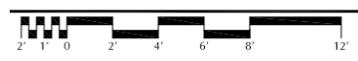


**A1.1**



1

## Second Floor Plan



Scale: 1/8"=1'-0"

Drawings:  
Second Floor Plan

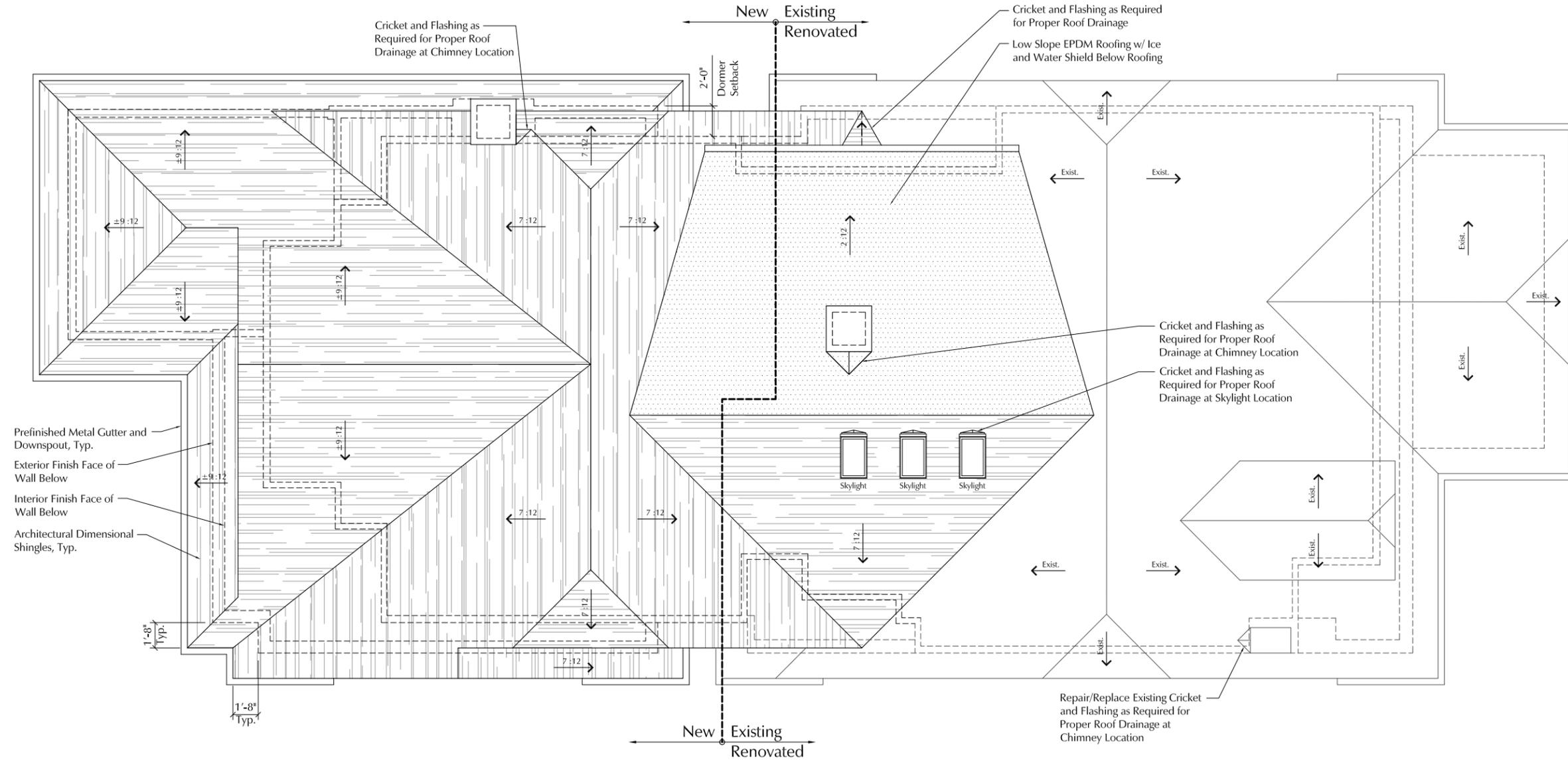
Date:  
02.03.20

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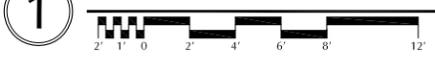
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2000 20th Avenue South  
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Prefinished Metal Gutter and  
 Downspout, Typ.  
 Exterior Finish Face of  
 Wall Below  
 Interior Finish Face of  
 Wall Below  
 Architectural Dimensional  
 Shingles, Typ.



**1** Roof Plan

Drawings:  
 Roof Plan  
 Date:  
 02.03.20

  
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**A1.3**



