

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1008 B Villa Place

April 22, 2020

Application: New Construction—Outbuilding; Setback Determination

District: Edgehill Neighborhood Conservation Zoning Overlay

Council District: 17

Base Zoning: R6-A

Map and Parcel Number: 105011K00100CO

Applicant: Ed Smith, Project Manager

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: An application to construct a new outbuilding in the rear yard. The outbuilding is proposed to be one story with a low-sloped roof, with a total footprint of eight hundred, eighty square feet (880 sq. ft.). The building is proposed with a five foot (5') rear setback and side setbacks of three feet (3').

Recommendation Summary: Staff recommends approval of the proposed outbuilding with the following conditions:

1. The total footprint of outbuildings shall not exceed seven hundred, fifty square feet (750 sq. ft.);
2. The side setback shall be no less than five feet (5'), unless the building is reduced to seven hundred square feet (700 sq. ft.) or less, in which case the setback may be three feet (3'); and,
3. All metal roof selection and color shall be administratively approved prior to construction.

Meeting those conditions, staff finds that the proposal meets the Edgehill Neighborhood Conservation Zoning Overlay design guidelines.

Attachments

A: Photographs

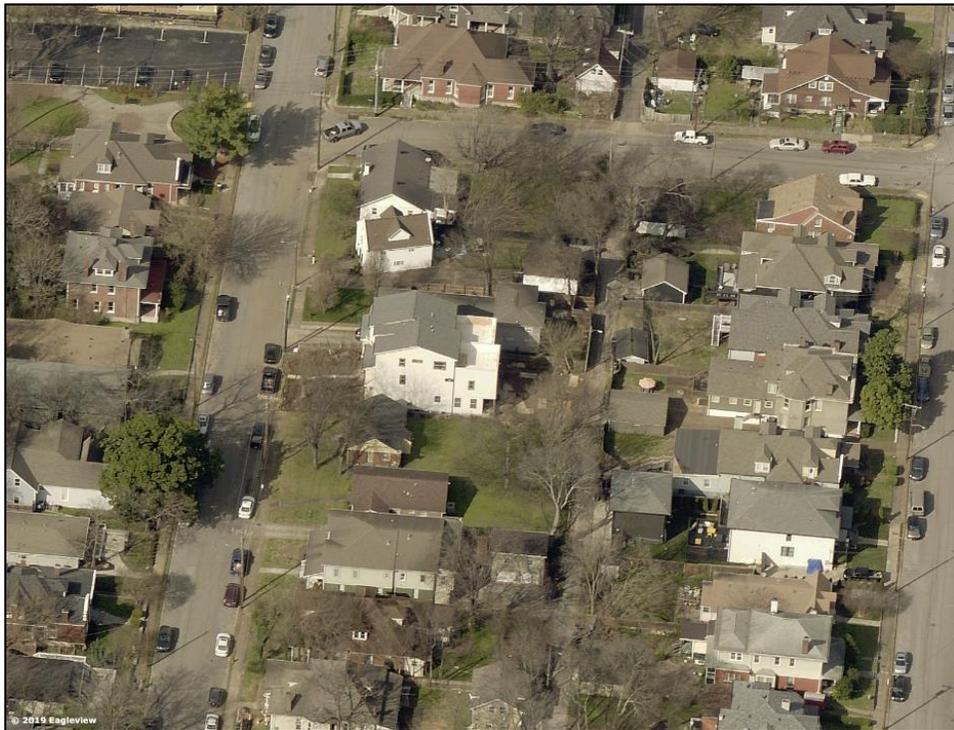
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

IV. NEW CONSTRUCTION-OUTBUILDINGS

A. Outbuildings: Height & Scale

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related or be utilitarian in design. The outbuilding should be compatible, by not contrasting greatly with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.
2. On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.
3. On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.
4. The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

B. Outbuildings: Roof form

1. Generally, the eaves and roof ridge of any new outbuilding should not be higher than those of the existing primary building.
2. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure but should have a pitch of at least 4/12.
3. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
4. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

C. Outbuildings: Windows and Doors

1. Publicly visible windows should be appropriate to the style of the house.
2. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
3. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

D. Outbuildings; Materials

1. Weatherboard is a typical siding material. Brick, stone, and parge-coated concrete block are also appropriate.
2. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
3. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
4. Stud wall lumber and embossed wood grain are prohibited.
5. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

E. Setbacks & Site Requirements.

1. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings, which is generally towards the rear of the lot. Generally there should be at least twenty feet between the outbuilding and the rear of the home. Attached garages or those that have

less than 20' of separation are appropriate for those buildings that back up to commercially zoned properties such as South Street and the west side of Villa Place, due to their lack of traditional rear yard caused by the proximity to large buildings.

2. Side setbacks are a minimum of 3' for buildings with a footprint of 700 square feet or less and 5' for buildings greater than 700 square feet.
3. Rear setbacks are a minimum of 3' when there is no garage door facing the rear and 5' when the doors face the rear.
4. To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
5. For corner lots, the DADU or outbuilding's street-side setback should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.
6. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: 1008 Villa Place is a non-contributing duplex, constructed circa 2018. The structure is a "Horizontal Property Regime," meaning that there are two dwellings (Units A and B) that may be owned separately, with the yard and other common elements owned by an Association comprising the owners of the dwellings. Although owned by the Association, the rear yard is divided with a fence limiting each side for private use.



Figure 1: 1008 Villa Place.

Analysis and Findings: The applicant proposes to construct a new outbuilding in the rear yard of the lot. At this time only half of the building behind Unit B will be constructed with the second half is to be completed at a later date.

Height & Scale

The current proposal is to build a four hundred, forty square foot (440 sq. ft) garage. This will serve Unit B, with a matching second half of the building to be built later to serve Unit A. Upon completion of the second half, the outbuilding will have a total footprint of eight hundred and eighty square feet (880 sq. ft.). The design guidelines allow outbuildings on lots this size to be seven hundred, fifty square feet (750 sq. ft.) in footprint.

The outbuilding will have a low-sloped roof with a bottom eave height of nine feet three inches (9'-3"), and a maximum height of ten feet, nine inches (10'-9").

Massing/Planning:

	Maximum footprint for an outbuilding on a lot less than 10,000 sq. ft.	Proposed footprint
Maximum Square Footage	750 sq. ft.	880 sq. ft. total

	Maximum Heights	Proposed Outbuilding
Ridge Height	25' (not to exceed principal building height)	10'-9"
Eave Height	One story = 10' Two story = 17'	9'-3"

With the condition that the footprint of both halves together will not exceed seven hundred, fifty square feet (750 sq. ft.), staff finds that the height and scale of the proposed outbuilding will meet Section IV.A. of the Edgehill design guidelines.

The applicant could meet this condition by limiting the size of the second half of the carport for Unit A to three hundred, ten square feet (310 sq. ft.), or reducing the size of both halves of the building to three hundred, seventy-five square feet (375 sq. ft.), or any other configuration where the total does not exceed seven hundred, fifty square feet (750 sq. ft.)

Setback & Rhythm of Spacing: The outbuilding will be located behind the principal building, with a rear setback of five feet (5') from the rear property line. This is an appropriate rear setback for outbuildings with garage doors facing an alley.

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	20' average
Rear setback	5'	5'
Left side setback	5'	3'
Right side setback	5'	3'

ORIENTATION	REQUIREMENT	PROPOSED
Building location	Rear Yard	Rear Yard
How is the building accessed?	From Alley at Rear	From Alley at Rear
Two different doors rather than one large door (if street facing)?	-	N/A

The side setbacks are proposed to be three feet (3'). The required minimum side setback for an outbuilding of this size, under both the design guidelines and the bulk zoning regulations, is five feet (5'). Staff recommends increasing the side setback to five feet (5') or reducing the square footage of the outbuilding (both halves together) to seven hundred square feet (700 sq. ft.) or less.

The two halves of the outbuilding will be offset, as are the two halves of the principal building. With this configuration, the separation between the principal building and the half of the outbuilding currently proposed will be seventeen feet (17'); the latter half will be twenty-three feet (23'). Staff finds that the average separation is consistent with the design guidelines, which generally require twenty feet (20') between primary and accessory structures on a lot.

With the condition that the outbuilding meets the required five foot (5') side setbacks, staff finds that the outbuilding would meet Sections III.C. and IV.E of the Edgehill design guidelines.

If the building is reduced to seven hundred square feet (700 sq. ft.) or less, the setback may be as little as three feet (3').

Materials:

	Proposed	Color/Texture/ Make/ Manufacturer	Typical/ Common/ Approved	Requires Additional Review
Foundation	Concrete Slab	Typical	Yes	
Cladding	Horizontal Wood Screen	Stained or Painted	Yes	
Roofing	Metal	Color Needs Approval	Yes	X
Doors	Garage Doors		Yes	
Driveway	Concrete	Typical	Yes	

Staff recommends that, as a condition of approval, that the roofing selection and color is approved prior to construction.

With that condition met, Staff finds that the project's materials will meet Section III.D. of the Edgehill design guidelines.

Roof form: The roof of the outbuilding will be a low-sloped shed roof. This roof is not typical of outbuildings historically, but it is compatible with the contemporary form of the principal building.

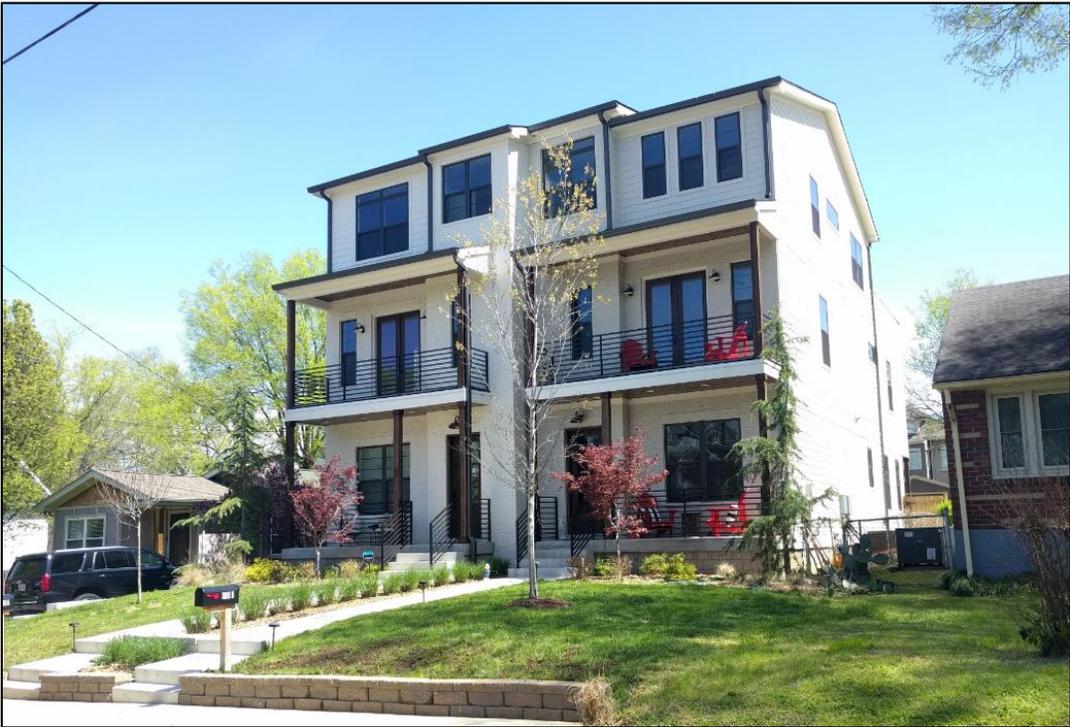
Staff finds that the project's roof form meets Section III.E. of the Edgehill design guidelines.

Recommendation: Staff recommends approval of the proposed outbuilding with the following conditions:

1. The total footprint of outbuildings shall not exceed seven hundred, fifty square feet (750 sq. ft.);
2. The side setback shall be no less than five feet (5'), unless the building is reduced to seven hundred square feet (700 sq. ft.) or less, in which case the setback may be three feet (3'); and,
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Meeting those conditions, staff finds that the proposal meets the Edgehill Neighborhood Conservation Zoning Overlay design guidelines.

ATTACHMENT A: PHOTOGRAPHS



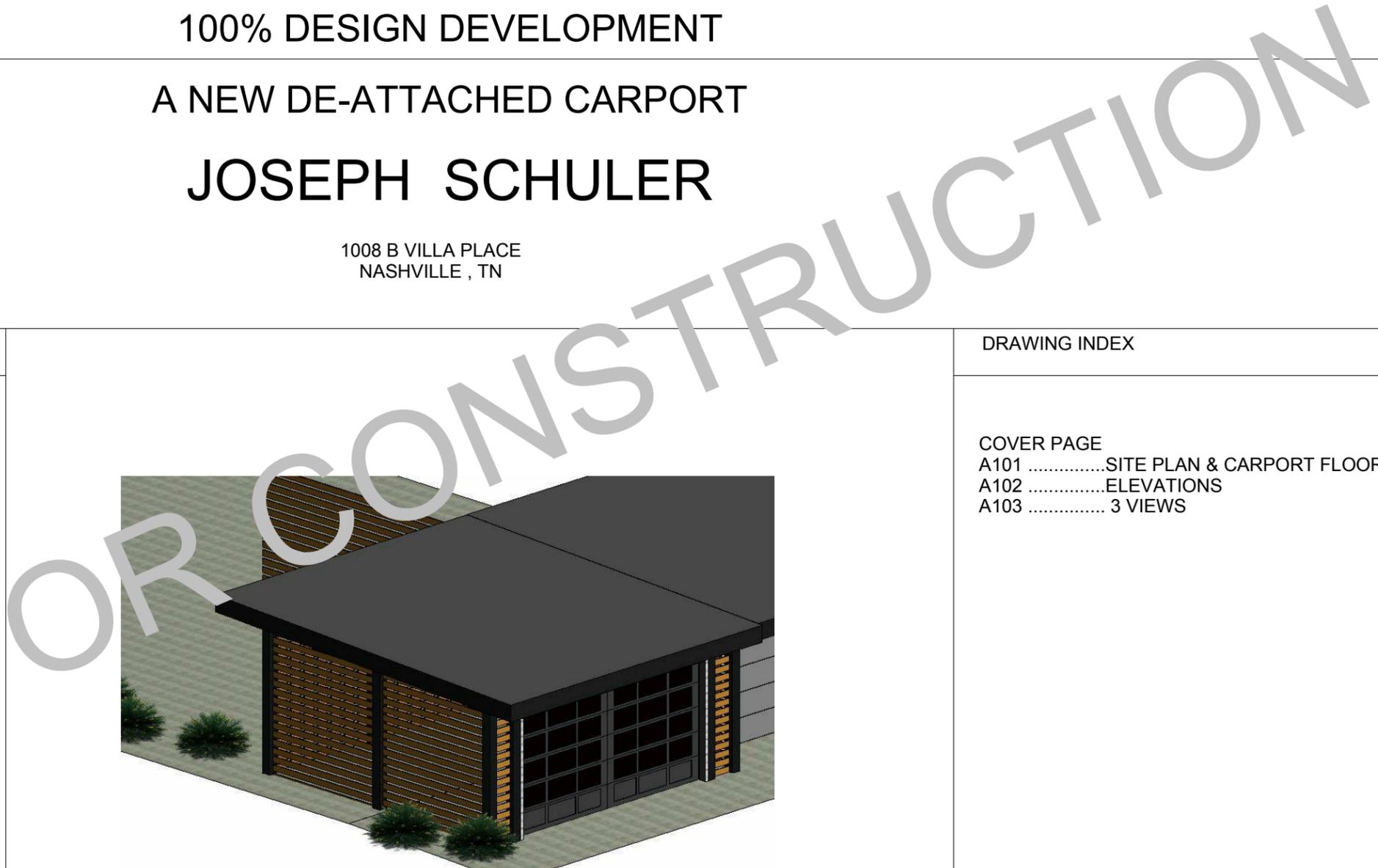
Non-contributing duplex at 1008 Villa Place, front.



Non-contributing duplex at 1008 Villa Place, rear.

100% DESIGN DEVELOPMENT
 A NEW DE-ATTACHED CARPORT
 JOSEPH SCHULER

1008 B VILLA PLACE
 NASHVILLE , TN



GENERAL NOTES

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE COMMENCING WITH WORK. THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.

DIMENSIONS ARE WITNESSED TO FACE OF STUD UNLESS OTHERWISE NOTED.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL MEET ALL STATE BUILDING CODES, THE NATIONAL ELECTRIC CODE, AND ORDINANCES OF THE LOCAL AUTHORITY HAVING JURISDICTION.

IF A CONFLICT IS DISCOVERED WITHIN THE CONSTRUCTION DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH WORK.

THERE SHALL BE NO BUILDING MATERIALS CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL INSTALLED ON THIS PROJECT.

ALL MATERIALS AND EQUIPMENT PROVIDED SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS AND AS PER CODE REQUIREMENTS.

ITEMS REQUIRING FINISH SELECTIONS NOT APPEARING IN THE DOCUMENTS SHALL BE SELECTED BY THE OWNER FROM SHOP DRAWINGS, SUBMITTAL, AND/OR SAMPLES AS REQUIRED.

THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

FILL SOLID ALL MASONRY VOIDS WHERE ANCHORS OCCUR. FILL SOLID ALL NEW MASONRY UNITS LOCATED BELOW FINISHED GRADE.

COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, PANELS, ETC., WITH MECHANICAL AND ELECTRICAL CONTRACTORS.

SIZE AND LOCATION OF ALL FLOOR OPENINGS SHALL BE VERIFIED WITH THE TRADE AFFECTED BEFORE PROCEEDING WITH THE WORK.

BOLTING OF WOOD STRUCTURAL MEMBERS OF MASONRY SHALL BE WITH A MINIMUM OF 3/4" BOLTS @ 2'-0" ON CENTER UNLESS OTHERWISE SHOWN OR NOTED.

PROTECT ALL DETAILS OVER ALL OPENINGS INCLUDING THOSE REQUIRED FOR DUCTWORK, PIPE, GRILLES, GRILLES, DAMPERS, ETC.

PROVIDE CONCRETE PAD FOR ALL NEW MECHANICAL AND ELECTRICAL EQUIPMENT.

PROVIDE DOUBLE STUDS OR BLOCKING WHERE REQUIRED TO SUPPORT EQUIPMENT AND/OR MISCELLANEOUS ITEMS, I.E., TILE, CASEWORK, MILLWORK, CABINETS, ETC.

SLOPE ALL ROADS, WALKS AND CONCRETE PADS AWAY FROM BUILDING AT LEAST 1/8" PER FOOT.

PROVIDE UNDERGROUND DRAINAGE FOR ALL DOWN SPOUTS UNLESS OTHERWISE NOTED.

PROVIDE 6 MIL VAPOR BARRIER UNDER ALL INTERIOR CONCRETE SLAB ON GRADE CONDITIONS.

PROVIDE 1" THICK PERIMETER INSULATION AT ALL NEW CONCRETE SLABS ALONG EXTERIOR WALLS.

THE "GENERAL CONDITIONS OF THE CONTRACTOR FOR CONSTRUCTION" A.I.A. DOCUMENT A201 IS HEREBY MADE A PART OF THIS PROJECT THE SAME AS IF BOUND HEREIN. THESE CONDITIONS APPLY TO ALL SUBCONTRACTORS AS WELL AS TO THE GENERAL CONTRACTOR.

CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL SHALL BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE.

CONTRACTOR SHALL PRESENT THE BUILDING TO THE OWNER FOR ACCEPTANCE; CLEAN AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, FIXTURES WASHED WITH ALL LABELS REMOVED AND THE EXTERIOR TO BE RAKED FREE OF TRASH.

CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

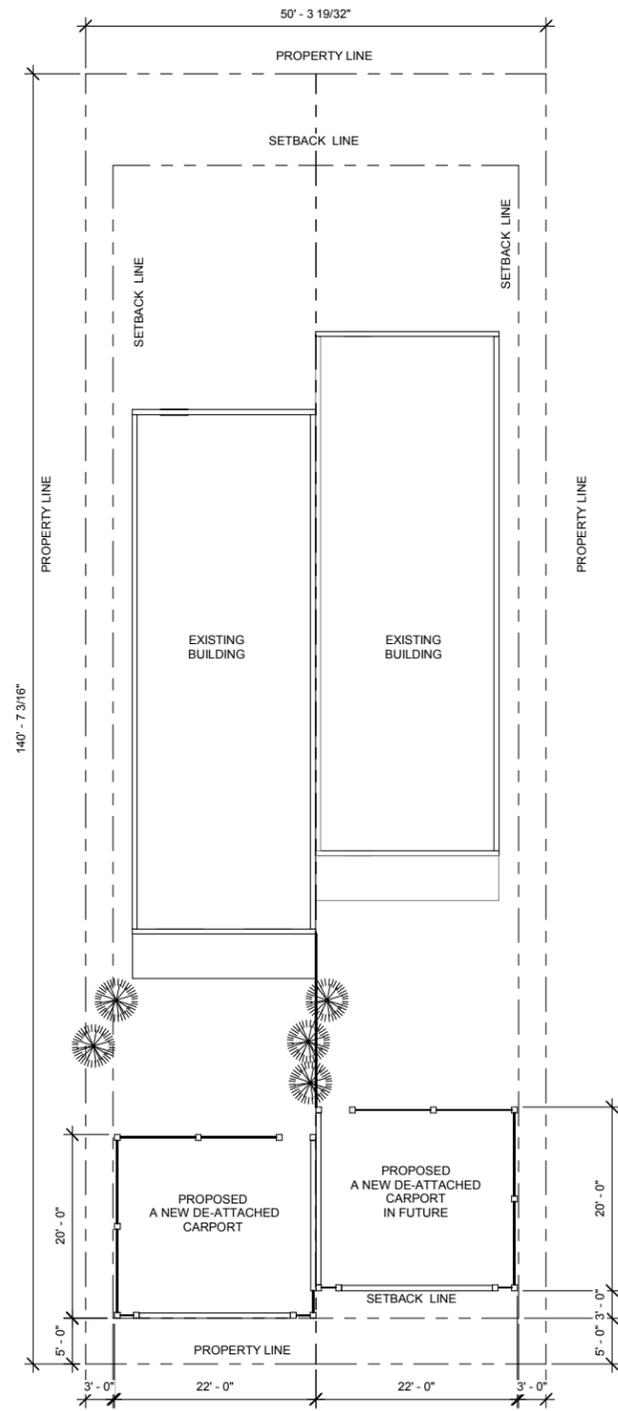
DRAWING INDEX

COVER PAGE
 A101SITE PLAN & CARPORT FLOOR PLAN
 A102ELEVATIONS
 A103 3 VIEWS

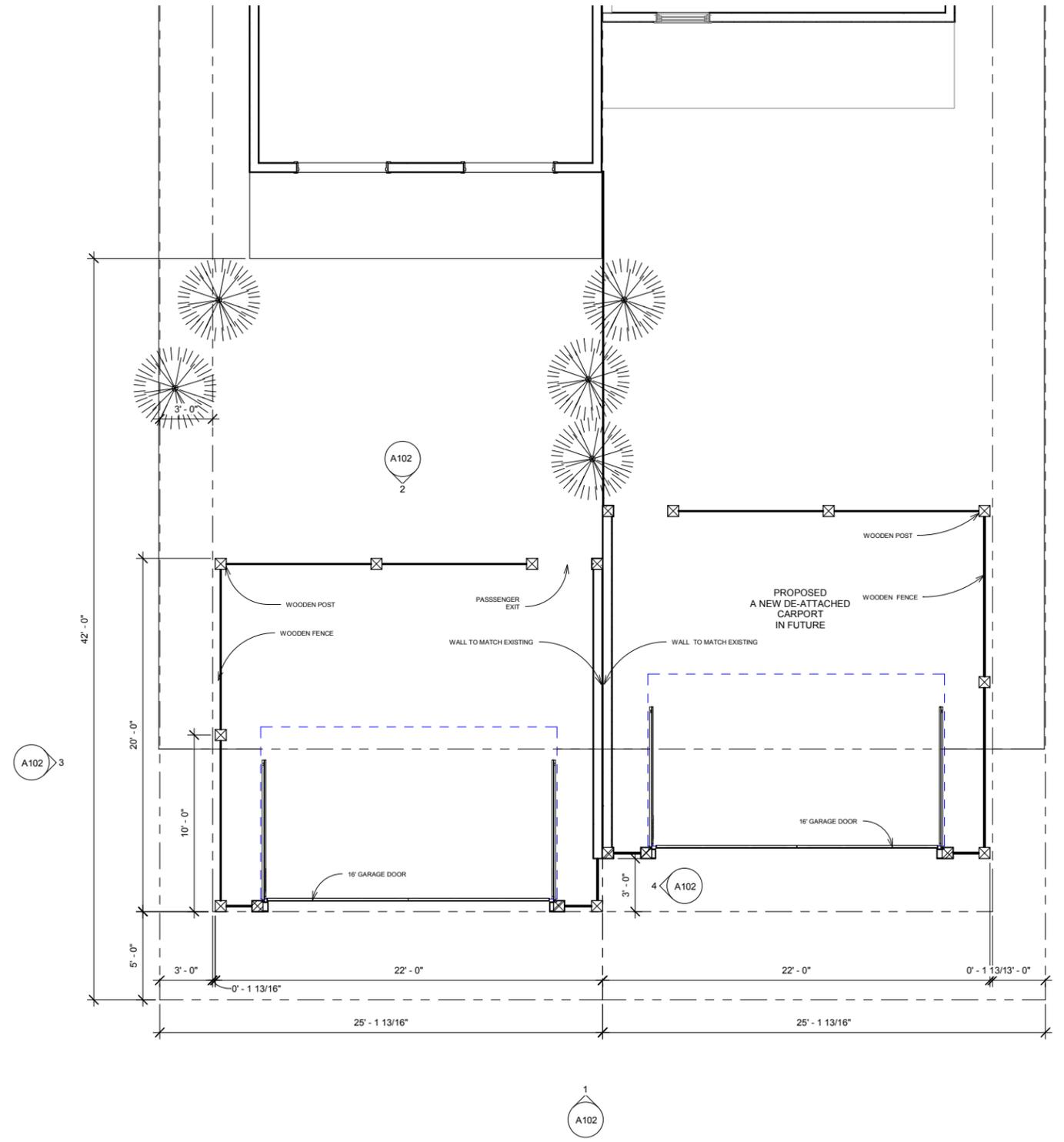
Issue Date : 03/30/2020

NOTICE:
 THIS RENDERING SHOWS DESIGN INTENT ONLY, THIS IS AN ARTISTIC RENDERING. DO NOT USE THIS DRAWING FOR MATERIALS, DESIGN OR DIMENSIONS. REFER TO ARCHITECTURAL DRAWING(S) FOR ALL CONSTRUCTION INFORMATION.

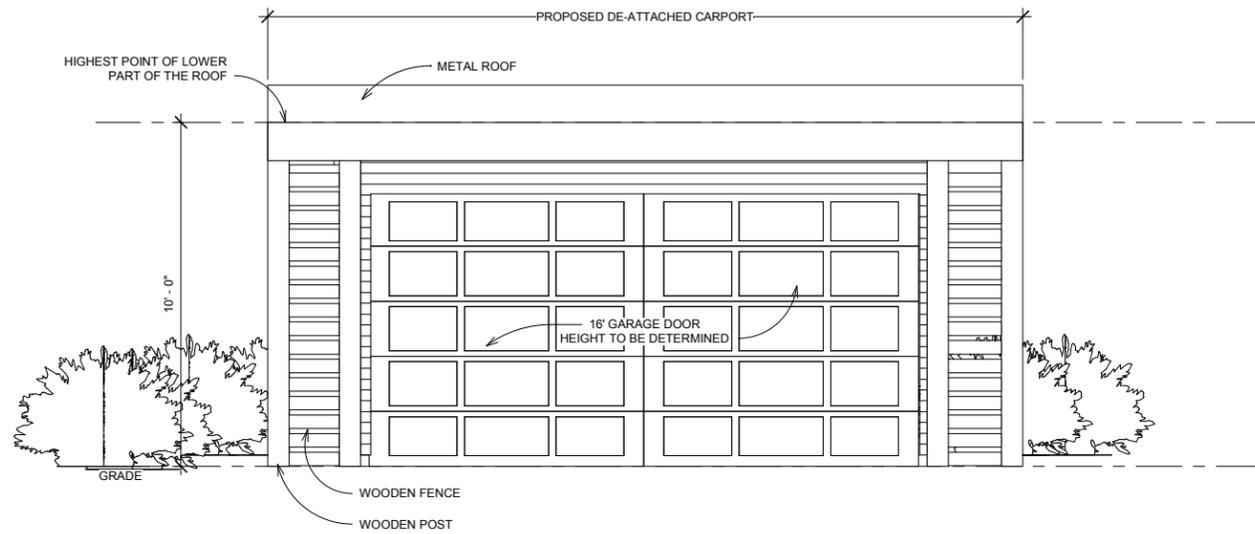
GENERAL CONTRACTOR
 EDWARD SMITH



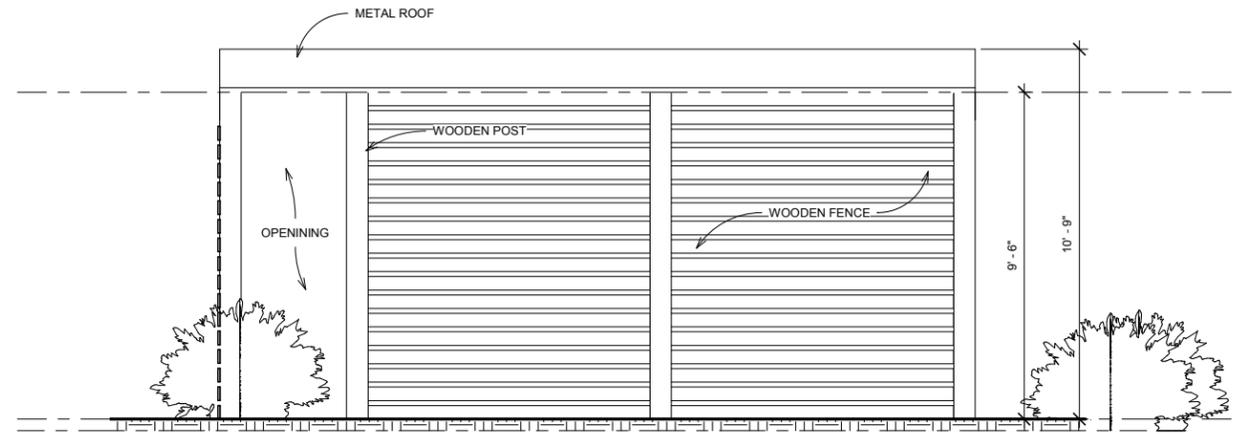
① SITE PLAN
1" = 10'-0"



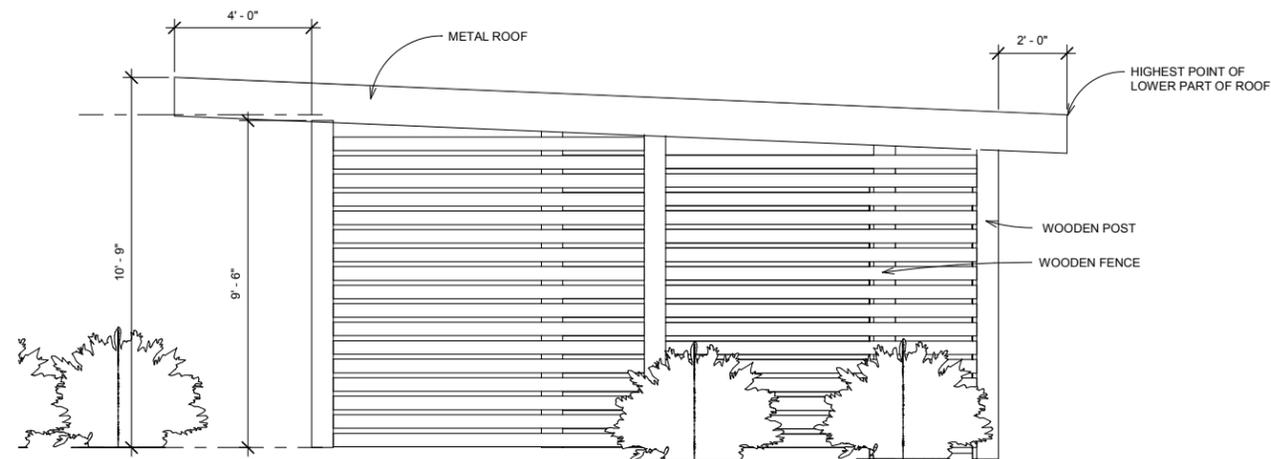
② PROPOSED DE-ATTACHED CARPORT
1/4" = 1'-0"



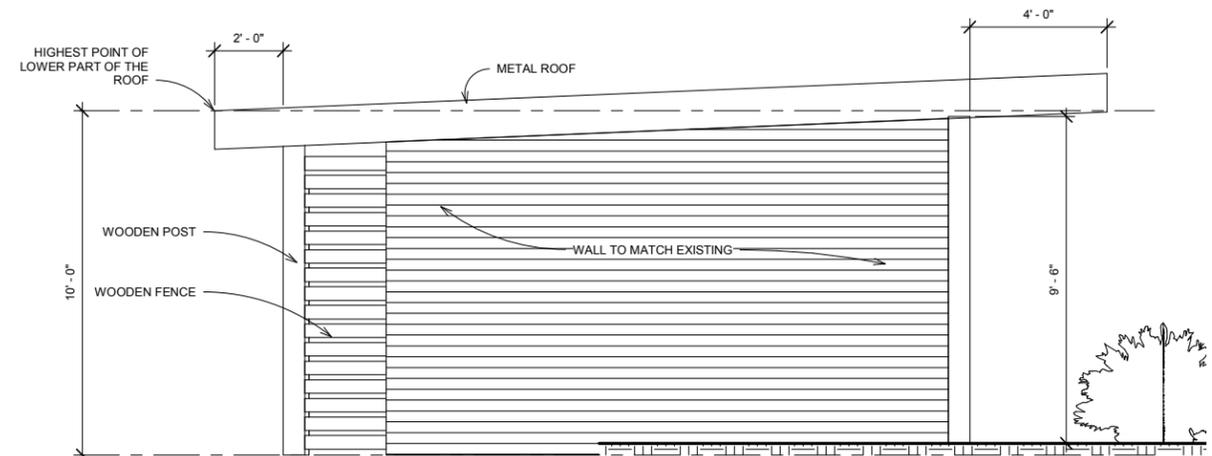
① EAST ELEVATION
3/8" = 1'-0"



② WEST ELEVATION
3/8" = 1'-0"



③ SOUTH ELEVATION
3/8" = 1'-0"



④ NORTH ELEVATION
3/8" = 1'-0"



① 3D View 1



③ 3D View 3



② 3D View 2