

JOHN COOPER  
MAYOR



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

## STAFF RECOMMENDATION

0 Plymouth Ave  
May 20, 2020

**Application:** New Construction - Infill  
**District:** Eastdale Place Neighborhood Conservation Zoning Overlay  
**Council District:** 7  
**Base Zoning:** RS-10  
**Map and Parcel Number:** 061120091.00  
**Applicant:** Jon Duke  
**Project Lead:** Jenny Warren, jenny.warren@nashville.gov

**Description of Project:** Application for new construction of a single-family house on a vacant lot.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The side elevation eave heights are lowered to be consistent with a one and one-half story house;
2. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
3. Staff shall approve the final foundation material, brick color, roofing color, trim material, porch post material, porch floor and step material, doors and the driveway material;
4. The curb cut shall be no more than twelve feet (12') wide; and,
5. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the project meets Section III of the Eastdale Place Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.

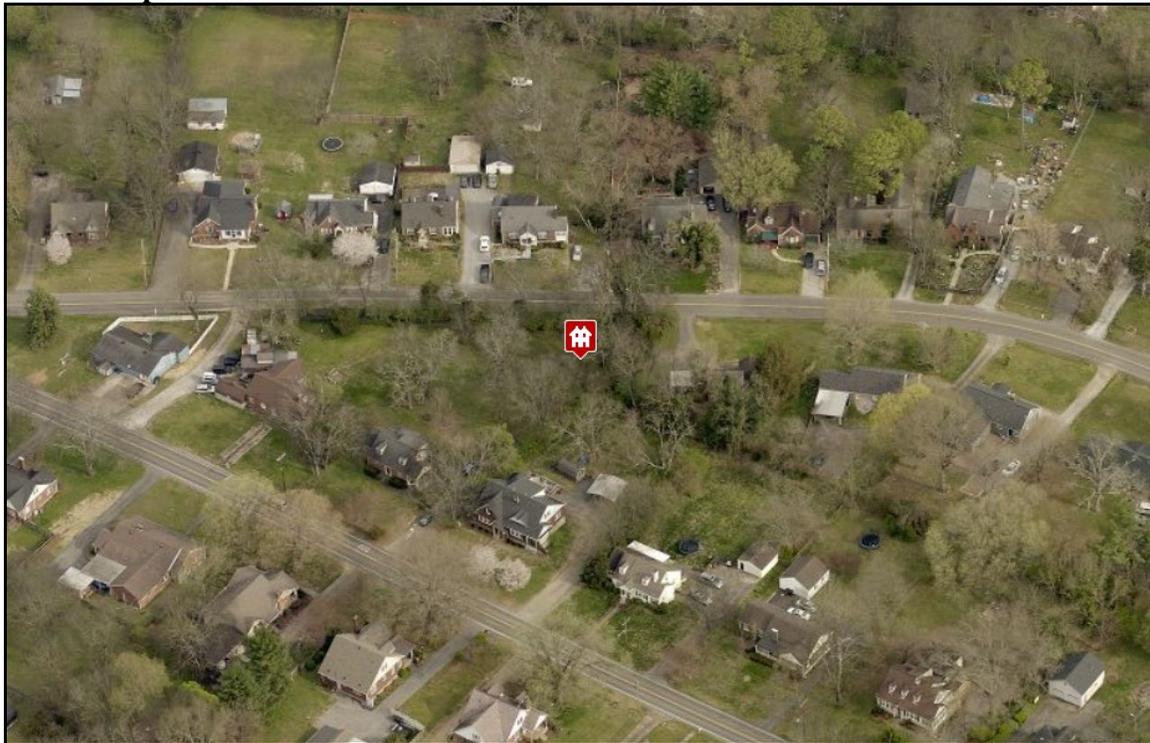
### Attachments

- A: Photographs
- B: Site Plan
- C: Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. NEW CONSTRUCTION

#### A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. All historic buildings in the neighborhood are one and one-half stories tall.

#### B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

#### C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

#### D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.

2. The majority of historic buildings are sided in brick. There is a small number of homes with stone or lap siding. Stucco and lap siding are common secondary materials such as in gable-fields

- a. Inappropriate materials include vinyl and aluminum, T-1-11-type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
- b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard lap siding, smooth-finished fiberglass doors.

- The most appropriate cladding is brick but where lap siding is used, it should be smooth and not stamped or embossed and have a reveal of between 5” and 10”, depending on the immediate historic context.
- Four inch (4”) nominal corner boards are required at the face of each exposed corner unless the lap siding is mitered.
- Stone or brick foundations should be of a compatible color and texture to historic foundations.
- When different materials are used, it is most appropriate to have the change happen at floor lines.
- Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
- Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
- Texture and tooling of mortar on new construction should be similar to historic examples.
- Faux leaded glass is inappropriate.

3. Asphalt shingle is an appropriate roof material for most buildings. Metal and tile are not appropriate; however, terra cotta ridge tiles are found throughout the district.

*Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.*

#### E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. The most common roof forms in the neighborhood is a side gable form. Cross gable and hipped roof forms are also found in the districts. Pitches range from the low slope of the ranch style homes to steeper pitch of the earlier homes.
2. Small roof dormers are typical throughout the district. The most common form is gabled and a few have a hipped or shed roof. Wall dormers are only appropriate on the rear, as historic examples in the neighborhood are rare.

#### F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings. Typically front doors face the street, and in some cases, face to the side but with a front-oriented porch or stoop.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include gabled, hipped and shed roof partial–or full-width porches, stoops, enclosed or “vestibule” type entrances, and decorative door surrounds. Infill duplexes should have one primary entrance facing the street. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.
3. Generally, lots should not have more than 1 curb cut. Shared driveways should be a single lane. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, new driveways should be no more than 12’ wide from the street to the rear of the home. Front yard parking areas or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

## G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung and casement windows should generally exhibit a height to width ratio of at least 2:1. Picture windows and fixed windows (and in some cases double-hung windows) may be square or have a horizontal orientation if the principle building follows a post-1955 form, such as a ranch house.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

## H. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. As of 2017 the district is primarily zoned single-family so DADUs are only possible where the Codes Department has stated that the lot meets the qualifications for two-units.)*

### 9. Driveway Access.

- a. The lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding. Curved front-yard driveways with two curb cuts and front-yard parking pads are not appropriate.
- b. Generally curb cuts should not exceed twelve feet in width.

## I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid point of the structure.



Figure 1: Vacant lot at 0 Plymouth Avenue

**Background:** This lot is located at the back of 1233 Riverwood. The property line between the two lots was recently moved to make the vacant lot a buildable lot. This is the first infill project for this neighborhood since the creation of the overlay. A garage is shown on the site plan; however, no plans were presented. The outbuilding has not been reviewed with the guidelines.

**Analysis and Findings:** The application is for infill construction on a vacant lot at 0 Plymouth Avenue.



Figure 2: Proposed front elevation

### Height & Scale:

The houses in the immediate historic context are mostly one-and-a-half story forms with a few one stories. The average height in the historic context is about seventeen to twenty-four feet (17-24'). The proposed house has a one-and-a-half story form on the front elevation and a maximum height of twenty-four feet (24'); however, the eave height of portions of the home, especially on the right side elevation (Figure 4), are more consistent with a two-story home. Staff finds that the tall eave on the left-front side, above the front door, could be appropriate as a feature that is typical of the style of home and because it does not rise to a full two-story level. However, the right-side and rear-left side eave heights are not consistent with the neighborhood. This is the first infill for this neighborhood since the overlay was created and so could set a precedent for future projects.



Figure 3: Left side elevation

The width of the front elevation is proposed to be about sixty feet (60') which is appropriate for the historic context where the average width of houses varies from roughly forty to sixty feet (40'-60') wide.

With the condition that the side elevation eave heights are lowered to be consistent with a one and one-half story house, staff finds that the project's height and scale meet Sections III.A. and III.B. of the Eastdale Place design guidelines.

### Setback & Rhythm of Spacing:

The applicant is proposing a front setback of about thirty-eight feet, six inches (38'6"). This is roughly halfway between the setbacks of the flanking historic properties: 1200 Plymouth has a front setback of twenty-eight feet (28') and 1218 Plymouth has a setback of forty-nine feet (49').

The house will be more than five feet (5') from both side property lines and more than twenty feet (20') from the rear property line.

Staff finds that the project’s setback and rhythm of spacing meet Section III.C. of the Eastdale Place design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Not Indicated	Unknown	Unknown	X
<b>Cladding</b>	Brick	Unpainted	Yes	X
<b>Secondary Cladding</b>	Cement Fiberboard	7” exposure	Yes	
<b>Roofing</b>	Architectural Shingles	Color unknown	Yes	X
<b>Trim</b>	Not Indicated	Unknown		X
<b>Front Porch floor/steps</b>	Not Indicated	Unknown	Unknown	X
<b>Front Porch Posts</b>	Unknown	Unknown	Unknown	X
<b>Front Porch Roof</b>	Architectural Shingles	Unknown	Yes	X
<b>Windows</b>	Vinyl	MGM “Southern Rose”	Yes	
<b>Principle Door</b>	Not Indicated	Unknown	Unknown	X
<b>Side/rear doors</b>	Not Indicated	Unknown	Unknown	X
<b>Driveway</b>	Not indicated	Unknown	Unknown	X

In Eastdale, the houses are primarily brick, with other siding used as an accent material. The applicant proposes to use a cement fiberboard product with a seven inch (7”) reveal as an accent material at the entrance and on the dormer, which is appropriate. However, the sides and rear of the home are primarily lap siding, including the portion of the house with a two-story eave. The lap siding, as proposed, may be appropriate since the portion of the right-side which is not brick is greatly inset (assuming the eave is lowered) and only a small portion of the left side is lap siding. If the rear portion of the home has lowered eaves, the lap sided portions of the home are not likely to be visible from the street.

With the condition that the rear eaves be lowered to obscure the lap-sided portions and with final staff approval of the foundation material, brick color, roofing color, trim material, porch post material, porch floor and step material, doors and the driveway material, staff finds that the project’s materials meet Section III.D. of the Eastdale Place design guidelines.

Roof form:

The roof incorporates both front and side gabled components, which are typical of the neighborhood. The primary gables have a roughly 9/12 slope. The front porch has a shed roof, as does a one-story side bay on the left elevation. There is a dormer on the left side elevation with a typical front gabled form.



Figure 4. Right side elevation. Circled area is irregular roof form.

On the right side elevation, a hipped portion of roof steps out from the primary front-facing gable. The roof projection is not reflected on the front elevation, though it appears that in elevation, it should be visible. This is an atypical roof form but could be appropriate if the eave heights are lowered, lessening its visibility from the street. With the condition that eave heights are lowered to be consistent with a one and one-half story house, the project could meet Section III.E. of the Eastdale Place design guidelines.

Orientation:

Although the lot is angled, the house will be oriented toward Plymouth, to match the historic context. The house has a partial width front porch and a single curb cut at the street. The driveway comes to the side of the house and does not create front yard parking.

Staff finds that the project's orientation meets Section III.F. of the Eastdale Place design guidelines.

Proportion and Rhythm of Openings:

The majority of the windows are twice as tall as they are wide. There are a few square and horizontal windows on secondary elevations, which is permitted by the Eastdale guidelines. There is either a door or window opening every eight to thirteen feet (8'-13') as per the guidelines.

Staff finds the project's proportion and rhythm of openings meet Section III.G. of the Eastdale Place design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Staff finds the project's appurtenances and utilities to meet Section III.I. of the Eastdale Place design guidelines.

Outbuilding: No outbuilding is proposed at this time, however, there will be a driveway leading to the location of a proposed future garage. The site plan indicates a single curb cut with the driveway leading to the side of the house. The driveway should be no more than twelve feet (12') wide. The outbuilding location was not reviewed.

Staff finds that the curb cut and driveway meet Section III.H.9 of the Eastdale Place design guidelines.

**Recommendation:**

Staff recommends approval of the project with the following conditions:

1. The side elevation eave heights are lowered to be consistent with a one and one-half story house;
2. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
3. Staff shall approve the final foundation material, brick color, roofing color, trim material, porch post material, porch floor and step material, doors and the driveway material;
4. The curb cut shall be no more than twelve feet (12') wide; and,
5. The HVAC shall be located behind the house or on either side, beyond the midpoint of the house.

With these conditions, staff finds that the project meets Section III of the Eastdale Place Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.

**CONTEXT PHOTOGRAPHS**



1200 Plymouth Avenue, to the right of the site



1218 Plymouth Avenue, to the left of the site



1201 Plymouth Avenue, across the street



1207 Plymouth Avenue, across the street



1211 Plymouth Avenue, across the street

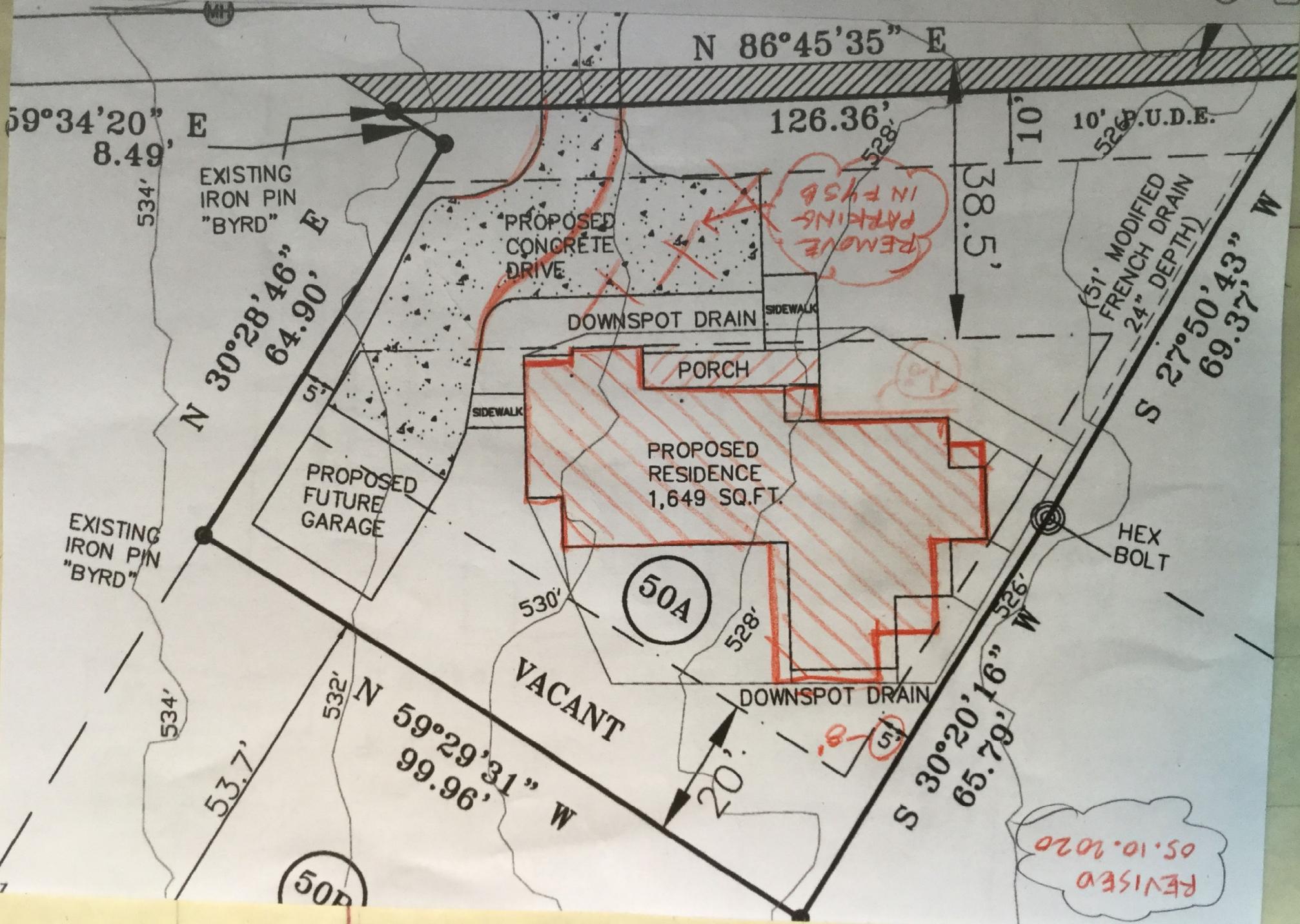


1220 Plymouth Avenue, two doors down



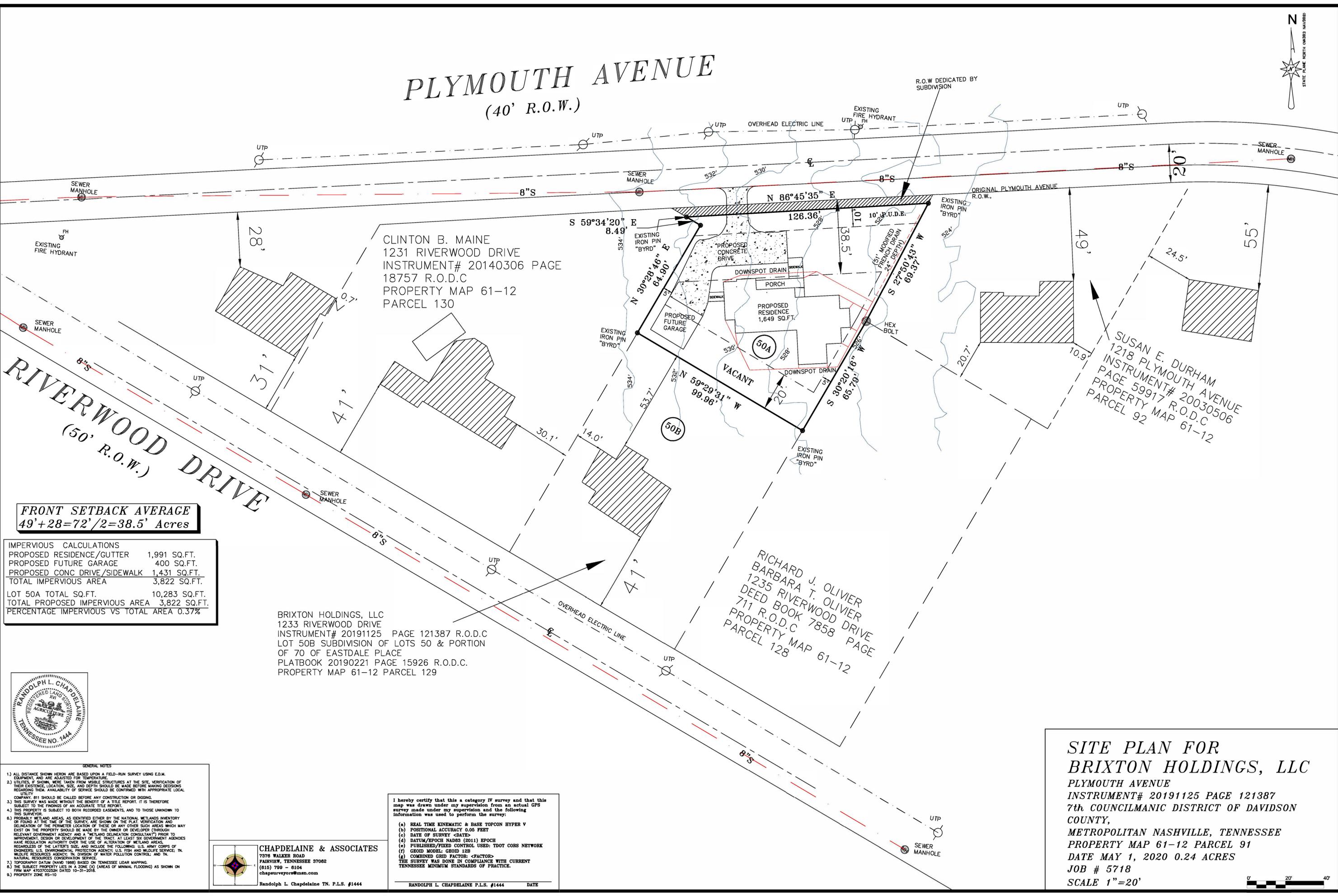
1223 Plymouth Avenue, across the street

# BRIXTON HOLDINGS SITE PLAN with proposed.pdf





# PLYMOUTH AVENUE (40' R.O.W.)



CLINTON B. MAINE  
1231 RIVERWOOD DRIVE  
INSTRUMENT# 20140306 PAGE  
18757 R.O.D.C  
PROPERTY MAP 61-12  
PARCEL 130

SUSAN E. DURHAM  
1218 PLYMOUTH AVENUE  
INSTRUMENT# 20030506  
PAGE 59917 R.O.D.C  
PROPERTY MAP 61-12  
PARCEL 92

RICHARD J. OLIVIER  
BARBARA T. OLIVIER  
1235 RIVERWOOD DRIVE  
DEED BOOK 7858 PAGE  
711 R.O.D.C  
PROPERTY MAP 61-12  
PARCEL 128

BRIXTON HOLDINGS, LLC  
1233 RIVERWOOD DRIVE  
INSTRUMENT# 20191125 PAGE 121387 R.O.D.C  
LOT 50B SUBDIVISION OF LOTS 50 & PORTION  
OF 70 OF EASTDALE PLACE  
PLATBOOK 20190221 PAGE 15926 R.O.D.C.  
PROPERTY MAP 61-12 PARCEL 129

# RIVERWOOD DRIVE (50' R.O.W.)

**FRONT SETBACK AVERAGE**  
 $49' + 28' = 72' / 2 = 38.5'$  Acres

IMPERVIOUS CALCULATIONS	
PROPOSED RESIDENCE/GUTTER	1,991 SQ.FT.
PROPOSED FUTURE GARAGE	400 SQ.FT.
PROPOSED CONC DRIVE/SIDEWALK	1,431 SQ.FT.
TOTAL IMPERVIOUS AREA	3,822 SQ.FT.
LOT 50A TOTAL SQ.FT.	10,283 SQ.FT.
TOTAL PROPOSED IMPERVIOUS AREA	3,822 SQ.FT.
PERCENTAGE IMPERVIOUS VS TOTAL AREA	0.37%



- GENERAL NOTES
- 1) ALL DISTANCE SHOWN HEREON ARE BASED UPON A FIELD-RUN SURVEY USING E.D.M. EQUIPMENT, AND ARE ADJUSTED FOR TEMPERATURE.
  - 2) UTILITIES, IF SHOWN, WERE TAKEN FROM VISIBLE STRUCTURES AT THE SITE. VERIFICATION OF THEIR EXISTENCE, LOCATION, SIZE, AND DEPTH SHOULD BE MADE BEFORE MAKING DECISIONS REGARDING THEM. AVAILABILITY OF SERVICE SHOULD BE CONFIRMED WITH APPROPRIATE LOCAL UTILITY COMPANY. 811 SHOULD BE CALLED BEFORE ANY CONSTRUCTION OR DIGGING.
  - 3) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. IT IS THEREFORE SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.
  - 4) THIS PROPERTY IS SUBJECT TO BOTH RECORDED EASEMENTS, AND TO THOSE UNKNOWN TO THIS SURVEYOR.
  - 5) PROBABLY WETLAND AREAS, AS IDENTIFIED EITHER BY THE NATIONAL WETLANDS INVENTORY OR FOUND AT THE TIME OF THE SURVEY, ARE SHOWN ON THE PLAT. VERIFICATION AND DELINEATION OF THE PERIMETER LOCATION OF THESE OR ANY OTHER SUCH AREAS WHICH MAY EXIST ON THE PROPERTY SHOULD BE MADE BY THE OWNER OR DEVELOPER (THROUGH RELEVANT GOVERNMENT AGENCY AND A "WETLAND DELINEATION CONSULTANT") PRIOR TO IMPROVEMENT DESIGN OR DEVELOPMENT OF THE TRACT. AT LEAST SIX GOVERNMENT AGENCIES HAVE REGULATION AUTHORITY OVER THE USE OF ALTERATION OF WETLAND AREAS, REGARDLESS OF THE LATTER'S SIZE, AND INCLUDE THE FOLLOWING: U.S. ARMY CORPS OF ENGINEERS, U.S. ENVIRONMENTAL PROTECTION AGENCY, U.S. FISH AND WILDLIFE SERVICE, TN. WILDLIFE RESOURCES AGENCY, IN DIVISION OF WATER POLLUTION CONTROL, AND TN. NATURAL RESOURCES CONSERVATION SERVICE.
  - 6) TOPOGRAPHY DATUM (NAD 1983) BASED ON TENNESSEE LIDAR MAPPING.
  - 7) THE SUBJECT PROPERTY LIES IN A ZONE (X) (AREAS OF MINIMAL FLOODING) AS SHOWN ON FIRM MAP 470370225H DATED 10-31-2016.
  - 8) PROPERTY ZONE RS-10

**CHAPDELAIN & ASSOCIATES**  
7378 WALKER ROAD  
FAIRVIEW, TENNESSEE 37082  
(615) 799 - 6104  
chap@surveyorsn.com

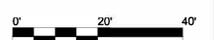
Randolph L. Chapdelaine TN. P.L.S. #1444

I hereby certify that this a category IV survey and that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:

(a) REAL TIME KINEMATIC & BASE TOPCON HYPER V  
(b) POSITIONAL ACCURACY 0.05 FEET  
(c) DATE OF SURVEY <DATE>  
(d) DATUM/EPOCH NAD83 (2011) EPOCH  
(e) PUBLISHED/FIXED CONTROL USED: TDOT CORS NETWORK  
(f) GRID MODEL: GRID 15B  
(g) COMBINED GRID FACTOR: <FACTOR>  
THE SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.

RANDOLPH L. CHAPDELAIN P.L.S. #1444 DATE

**SITE PLAN FOR  
BRIXTON HOLDINGS, LLC**  
PLYMOUTH AVENUE  
INSTRUMENT# 20191125 PAGE 121387  
7th COUNCILMANIC DISTRICT OF DAVIDSON  
COUNTY,  
METROPOLITAN NASHVILLE, TENNESSEE  
PROPERTY MAP 61-12 PARCEL 91  
DATE MAY 1, 2020 0.24 ACRES  
JOB # 5718  
SCALE 1"=20'



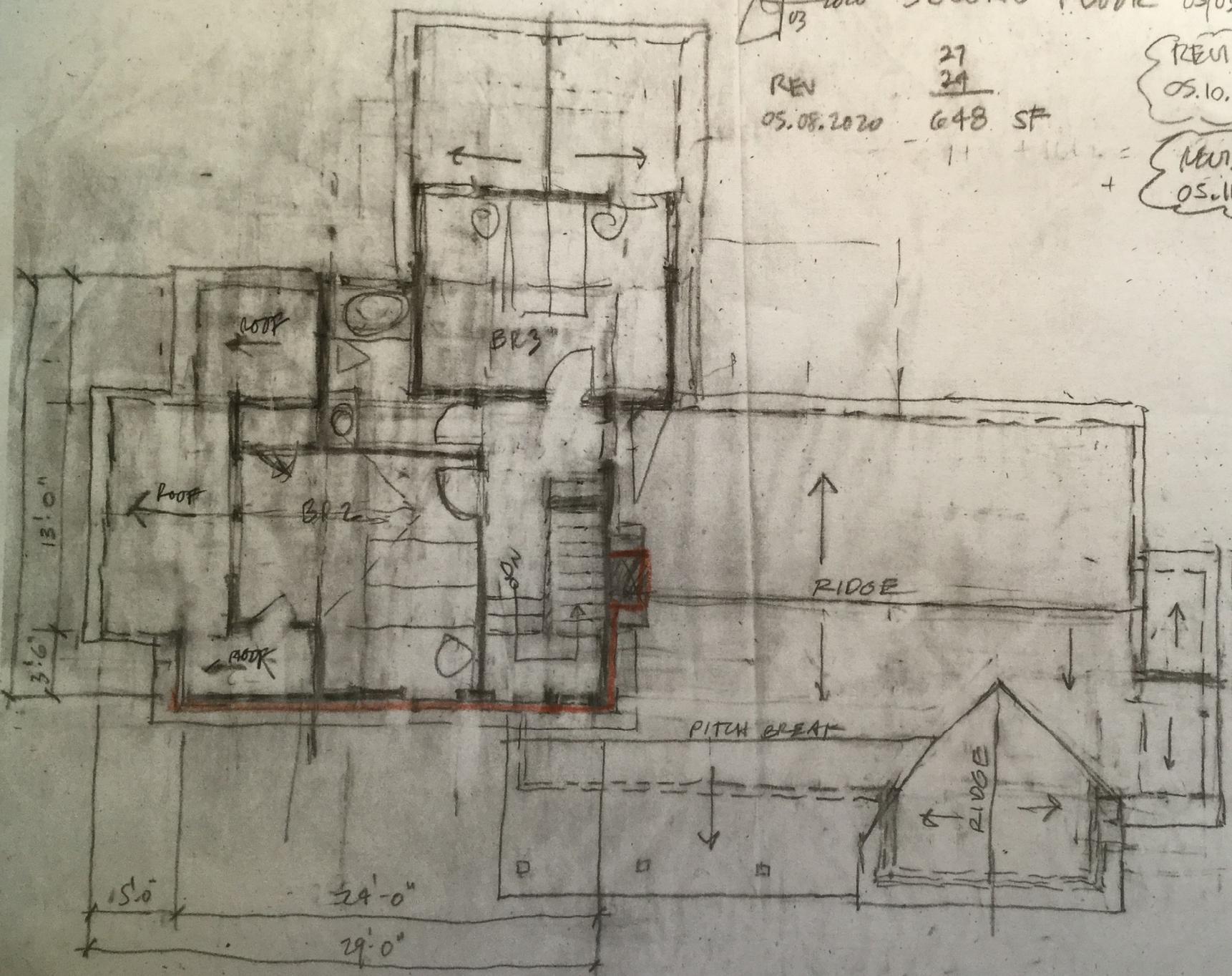


05/03/2020 SECOND FLOOR 05/03/2020

REV 05.08.2020 27  
34  
648 SF

REVISED 05.10.2020

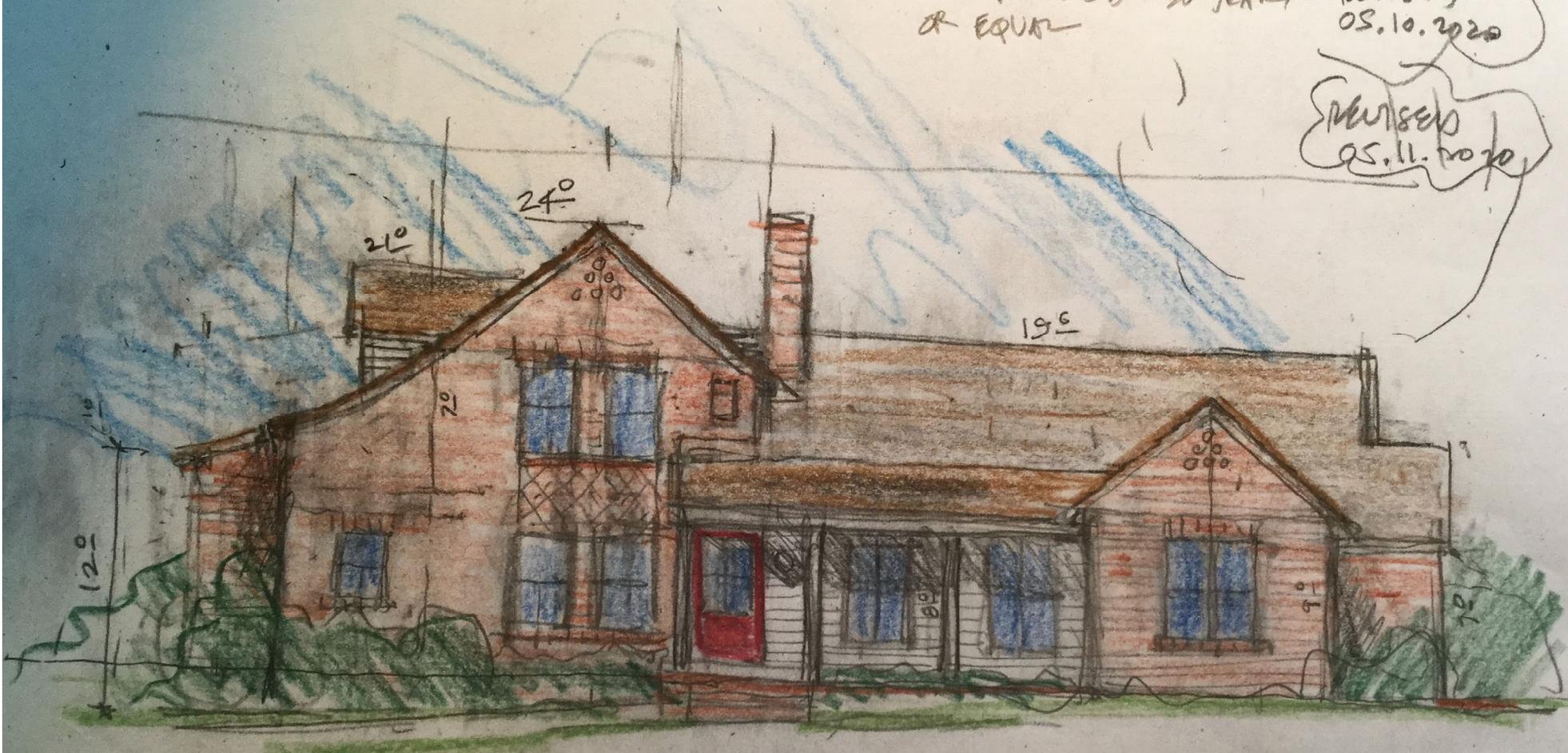
REVISED 05.11.2020



COMPO SHINGLE ROOF  
CERTAINTED 30 YEAR  
OR EQUAL

REVISION  
05.10.2020

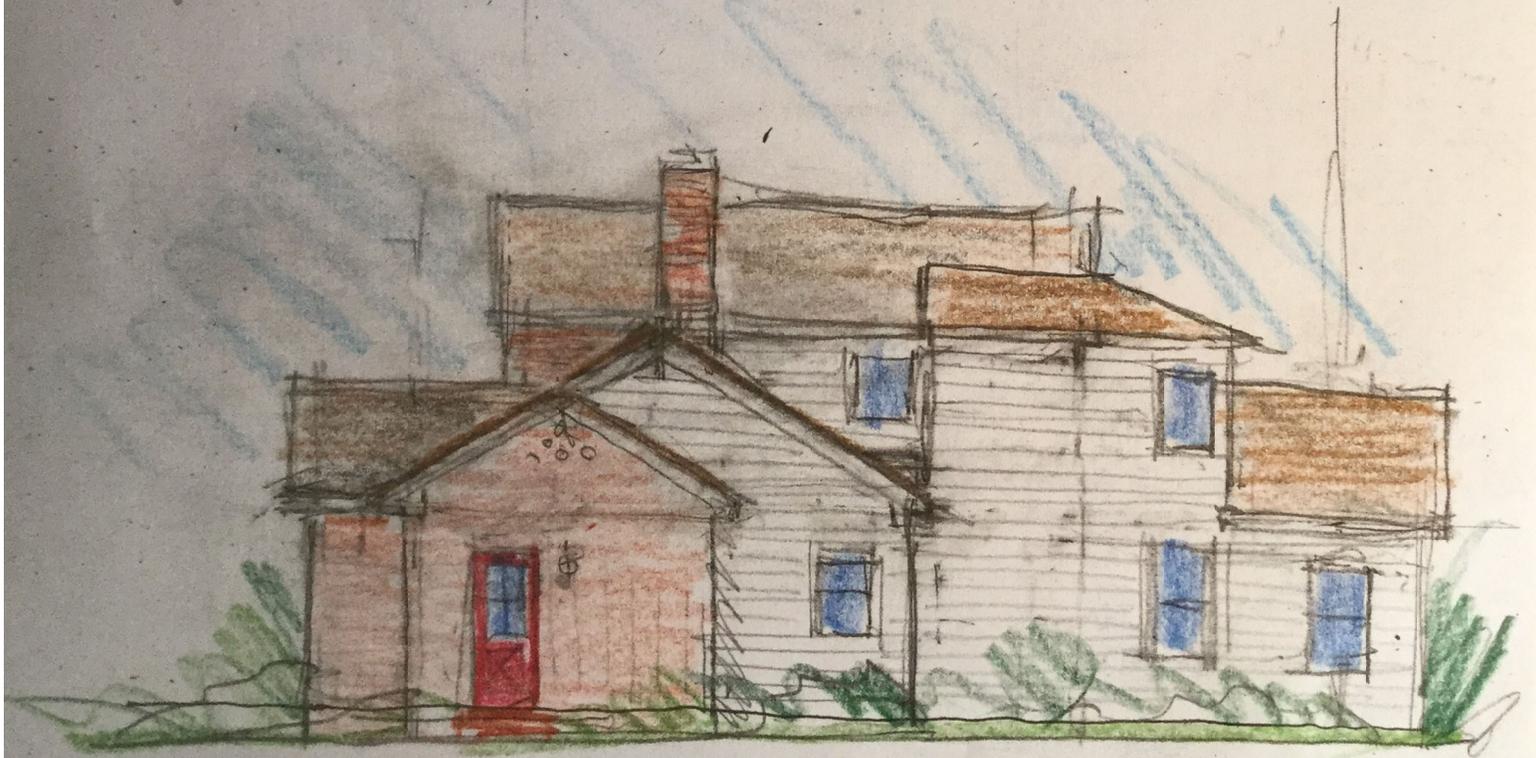
REVISION  
05.11.2020



WINDOWS  
MGM "SOUTHERN ROSE"  
WHITE  
POSTS/EAVES/FASCIAS  
GUTTERS TO MATCH

UNPAINTED BRICK  
RUNNING BOND  
SOLDIER SILLS/HEADERS  
DIABOLAR INFILL

COMPOSITE SIDING  
HARDY OR EQUAL  
7" LAP



REVISION  
05.10.2020

REV 05.11.2020



90

168

REVISIONS  
05.10.2010

05.11.2010