

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION

1514 Cedar Lane

June 17, 2020

Application: New Construction-Outbuilding

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Base Zoning: R8

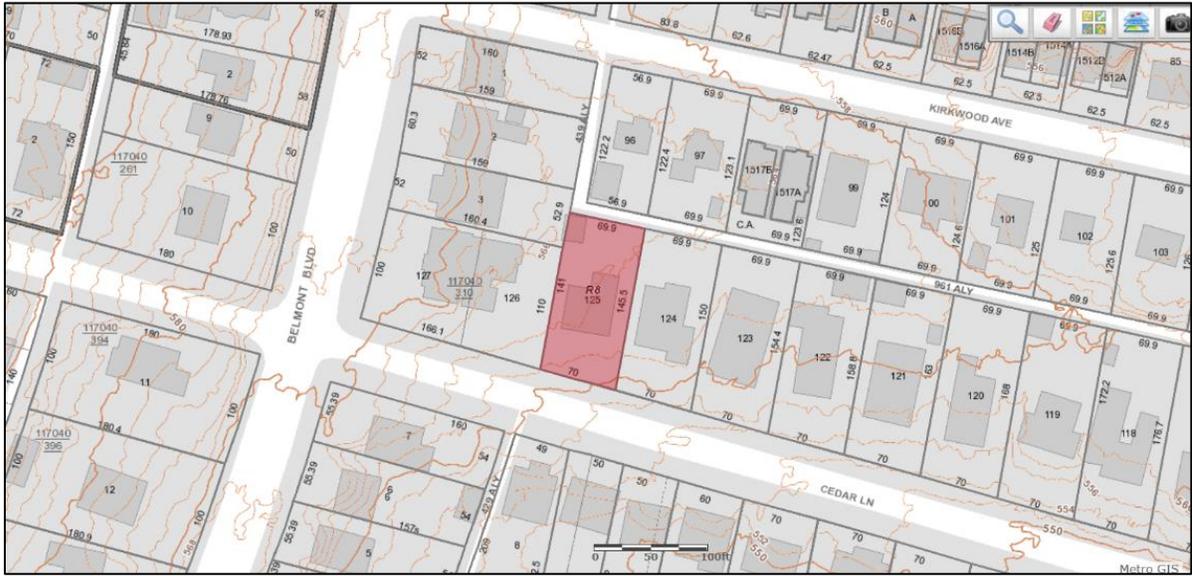
Map and Parcel Number: 11704030900

Applicant: Brittney Mount, Allard Ward Architects

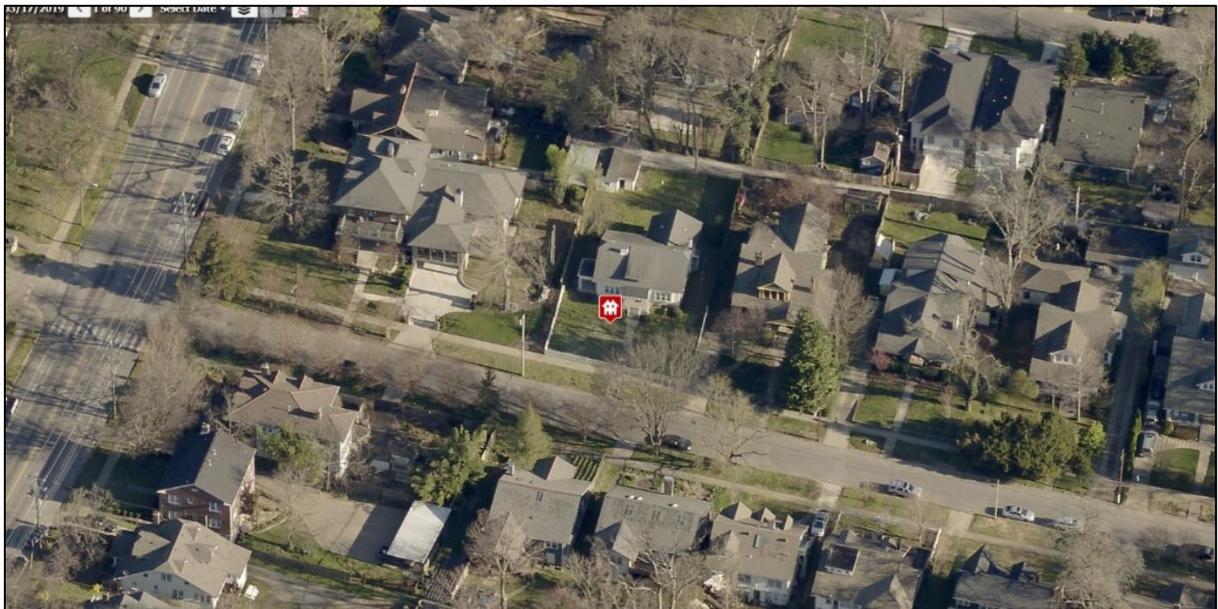
Project Lead: Paul Hoffman; paul.hoffman@nashville.gov

<p>Description of Project: The application is for construction of a new outbuilding at the rear of the lot. Due to the dimensions of the lot, less than twenty feet (20') will be between the primary and secondary structures.</p> <p>Recommendation Summary: Staff recommends approval with the condition that staff approve windows, doors and garage doors. Staff finds that the proposed new construction meets the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

i. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
 - *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Background: 1514 Cedar Lane is a contributing home built circa 1938 in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay. An existing outbuilding received an administrative permit for demolition.



Figure 1: 1514 Cedar Lane.

Analysis and Findings: The application is for a new outbuilding at the rear of the lot. The outbuilding is not proposed to have living space. Due to the shallow depth of the lot, the primary and secondary structures will have ten feet (10’) between them, rather than the required twenty feet (20’). The Commission approved a rear addition in 2018.

Outbuildings:

The proposed outbuilding is a five hundred square foot (500 sq. ft.) garage located at the rear of the lot.

Massing Planning:

The lot is less than 10,000 square feet, at nine thousand, nine hundred and seventy-eight square feet (9,978 sq. ft.).

	50% of first floor area of primary structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	810 sq. ft.	750 sq. ft. max	500 sq. ft.

The proposed square footage meets the guidelines for a lot of this size.

	Potential maximums under Ordinance	Existing House	Proposed Outbuilding, as measured from grade
Ridge Height	25' unless existing building is less	~23'	~15' 3"
Eave Height	10'	~9'	Average ~8' ¾'

The proposed ridge height will be approximately fifteen feet (15') tall from grade which is less than the twenty-three-foot (23') tall house and less than the twenty-five foot (25') maximum. The eave height will be an average of about eight feet (9') tall from grade, which meets the guidelines.

Staff finds that the proposal will meet Section II.B.1.i of the design guidelines.

Roof Form:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	6/12	Yes

Staff finds that the proposal meets Section II.B.1.i of the design guidelines for roof shape.

Materials:

	Proposed	Color/Texture	Needs final approval?
Foundation	Slab	n/a	No
Cladding	Lap siding, smooth side, reveal to match existing house	Unknown	No
Roofing	Architectural shingles	Match house	No
Windows	Aluminum clad	Unknown	Yes
Doors	Not indicated	Unknown	Yes
Garage door	Not indicated	Unknown	Yes

With staff's final approval of the windows, doors and garage doors, staff finds that the materials meet Section II.B.1.d of the design guidelines.

General requirements for Outbuildings/DADUs:

	YES	NO
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the primary building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Site Planning & Setbacks:

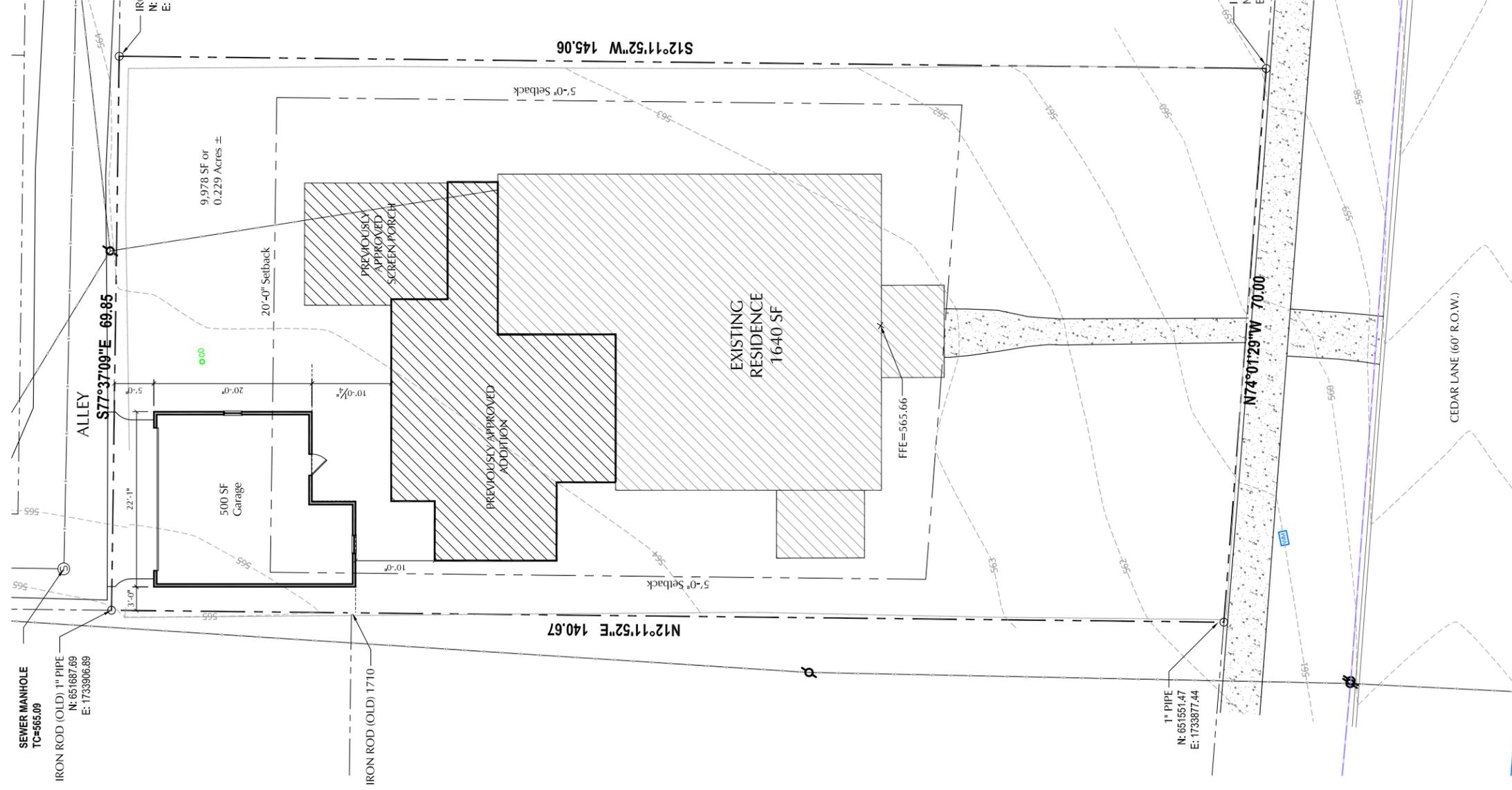
	MINIMUM	PROPOSED
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	~10'
Rear setback – garage doors face alley	5'	5'
Interior right side setback	3'	3'
Interior left side setback	3'	~44'
How is the building accessed?	-	From alley
Two different doors rather than one large door (if street facing)?	-	N/A

The guidelines state that *‘there should be a minimum separation of 20’ between the principal structure and the DADU or outbuilding’*. The applicant is proposing ten feet (10’) of separation between the home and the outbuilding. Staff finds that this is appropriate because the lot is shallow, at one-hundred and forty feet (140’) deep, the 2018 rear addition was modest and its depth was minimized by going wider than the house. The Commission has allowed applicants to reduce the distance between the house and outbuilding if the lot is less than one-hundred-fifty feet (150’) deep and the project does not include a large addition, resulting in a house that does not meet the historic context.

Staff finds that the project meets section II.B.1.i of the design guidelines.

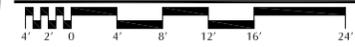
Recommendation:

Staff recommends approval with the condition that staff shall review and approve the windows, doors and garage doors, finding the proposed new construction meets the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



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Site Layout Plan



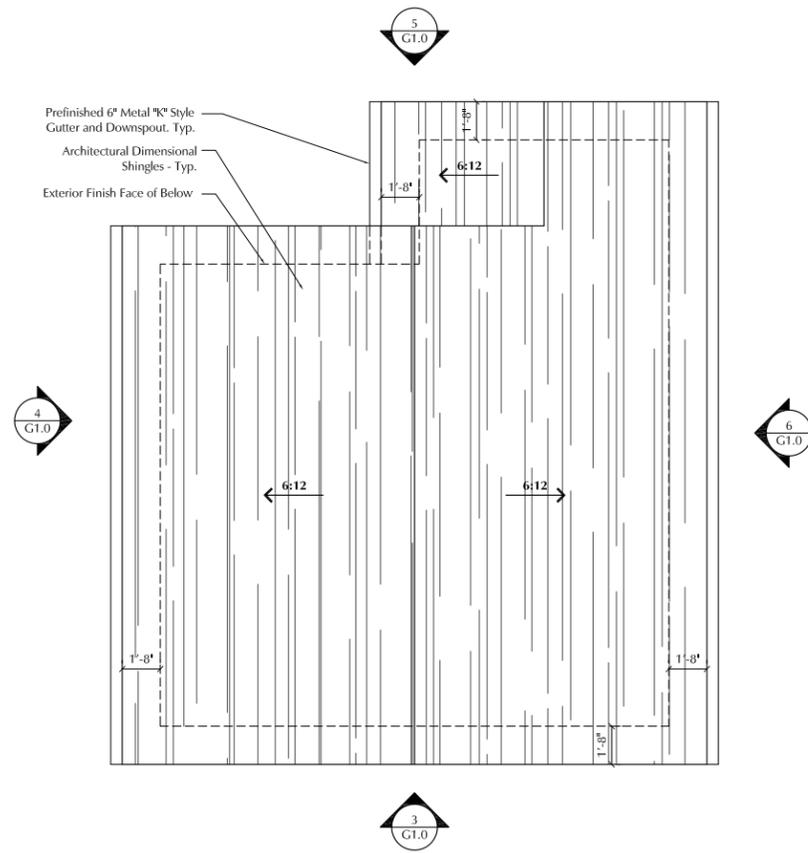
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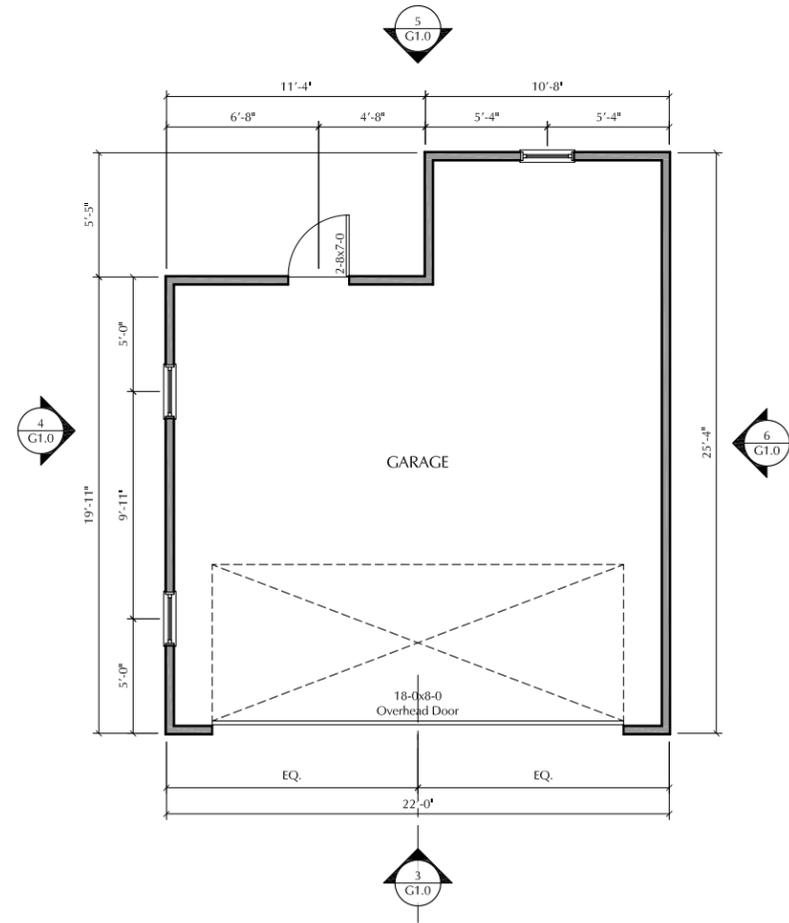
Drawings:
Site Layout Plan
Date:
05.22.2020

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allardward.com
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Addition and Renovations to the:
Dugger Residence
1514 Cedar Lane
Nashville, Tennessee 37212



② Garage Roof Plan
 Scale: 1/8"=1'-0"
 2' 1' 0" 2' 4' 6' 8' 12'



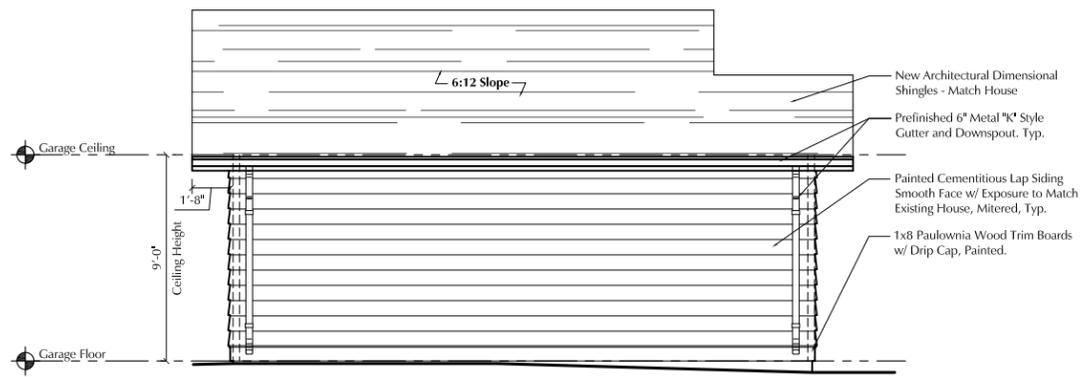
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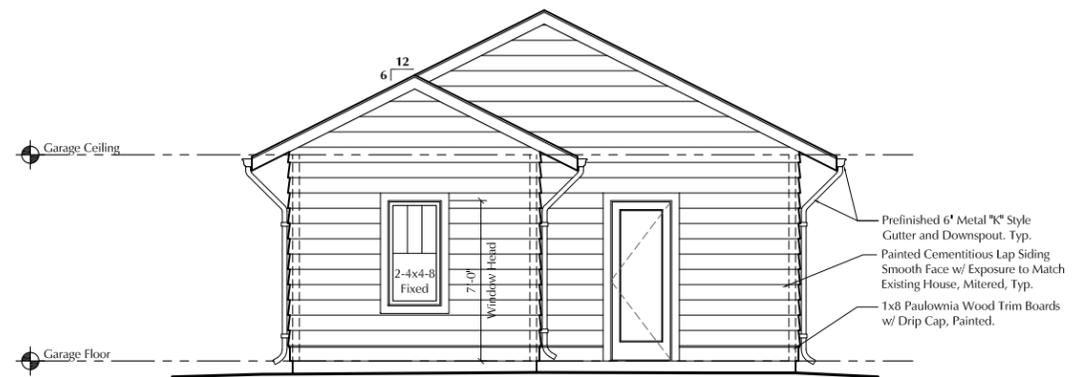
Drawings:
 Second Floor Plan
 Date:
 05.22.2020

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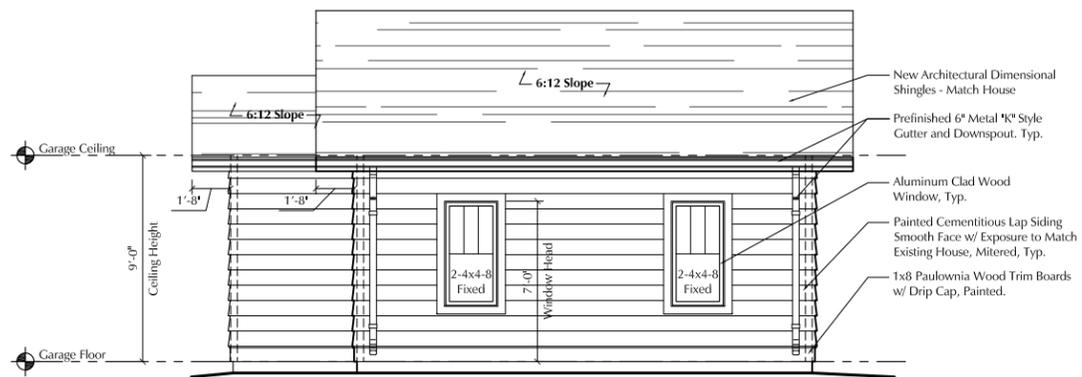
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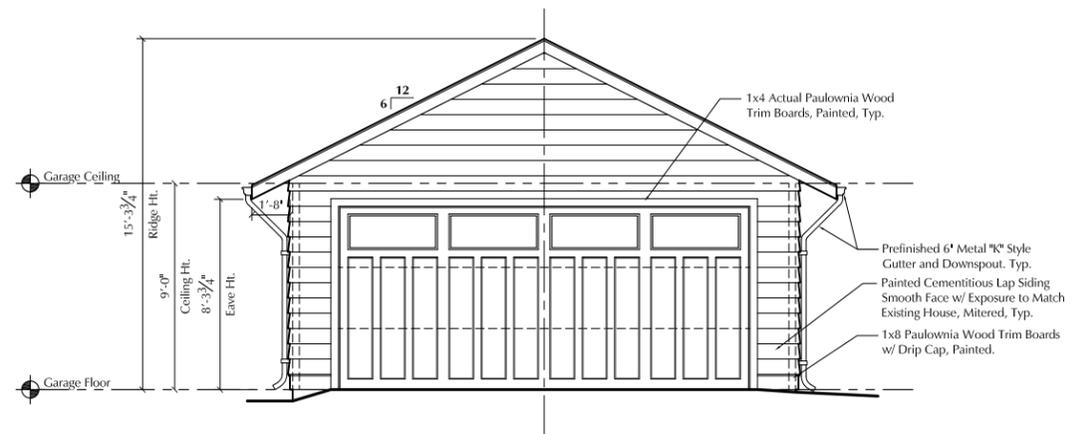
4 West Elevation
Scale: 1/8"=1'-0"



3 South Elevation
Scale: 1/8"=1'-0"



2 East Elevation
Scale: 1/8"=1'-0"



1 North Elevation
Scale: 1/8"=1'-0"

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