

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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Nashville, Tennessee 37204
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STAFF RECOMMENDATION
1103 Montrose Avenue
July 15, 2020

Application: New Construction—Outbuilding (Detached Accessory Dwelling Unit)
District: Waverly-Belmont Neighborhood Conservation Zoning Overlay
Council District: 07
Map and Parcel Number: 11801013400
Applicant: Beau West
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct an outbuilding to be used as a Detached Accessory Dwelling Unit

Recommendation Summary: Staff recommends disapproval of the project, finding that the proposed building's scale, eave height, and roof form do not meet Section III.H. of the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay and Section 17.16.030.G., the DADU Ordinance.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding.
 - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
 - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
 - Four inch (4") nominal corner boards are required at the face of each exposed corner.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.
2. Asphalt shingle and metal are appropriate roof materials for most buildings.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches are between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.
2. Small roof dormers are typical throughout the district. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

G. Proportion and Rhythm of Openings

4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

H. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
 - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
 - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.

3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.
- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials.

- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
 - c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
 - d. Stud wall lumber and embossed wood grain are prohibited.
 - e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.
6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.
- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
 - b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
 - c. Generally, attached garages are not appropriate.

Setbacks & Site Requirements.

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- f. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- g. *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- i. *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- J. *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

7. Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- a. *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
 - b. *The DADU may not exceed the maximums outlined previously for outbuildings.*
 - c. *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*
 - d. *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or the lot has been subdivided since August 15, 1984.*
- Ownership.*
- e. *No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
 - f. *The DADU cannot be divided from the property ownership of the principal dwelling.*
 - g. *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*

h. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

i. The living space of a DADU shall not exceed seven hundred square feet.

Background: 1103 Montrose Avenue is a one-story, folk Victorian frame house that was constructed prior to 1914 (Figure 1). It contributes to the historic character of the Waverly-Belmont Neighborhood Conservation Zoning Overlay. In 2017, MHZC approved an application for an addition and outbuilding (Figures 2-4). The addition was constructed but the outbuilding was not. Although the addition is two stories, taking advantage of the grade, the historic house at the front is one-story.



Figure 1. 1103 Montrose, front.



Figure 2. 1103 Montrose's addition from the left.



Figures 3 & 4 are the addition from the right side and the rear alley.

The lot is zoned R8, but is under 8,000 sq. ft. Typically, a second residential unit is not allowed on lots less than 8,000 sq. ft. However, in June 2020, the Board of Zoning Appeals determined that the lot could have a DADU on it.

This DADU design is different than the outbuilding design approved by MHZC in 2017.

Analysis and Findings: Application is to construct an outbuilding to be uses as a Detached Accessory Dwelling Unit. The applicant proposes a two-story structure behind a one-story historic house.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge Height	25'	25'	25'
Eave Height	12'6"	10'	18'6"

The historic house is one-story in height, although the 2017 addition is two stories in height. For the sake of new garages and DADUs, MHZC looks at the height and scale of the historic house. Staff therefore finds that the proposed two-story DADU with eave heights several feet taller than the eave height of the historic house does not meet the design guidelines nor the DADU ordinance.

The DADU ordinance states, “The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.”

In this case, the massing and eave height is significantly taller than that of the historic house. Since the historic house is one-story, the eave height of the DADU should be ten feet (10'). (The proposed eave height is even greater than what would be allowed on a two-story outbuilding.) While the overall ridge height of twenty-five feet (25') meets the design guidelines and the DADU ordinance, the eave height and two-story massing does not meet Section H.1.c. of the design guidelines and Section 7.d. of the DADU ordinance (17.16.030.G.).

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1340 sq. ft.	750 sq. ft.

The proposed footprint of seven hundred and fifty square feet (750 sq. ft.) meets both Section III.H.1 of the design guidelines and Section 7.b. of the DADU ordinance (17.16.030.G.).

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Shed	Yes
Primary roof slope	3/12	No

The Commission has allowed shed roof forms for outbuildings when the lower slope edge of the roof overhang met the maximum eave height and the higher slope met the maximum ridge height. However, in this case, the lower eave height is significantly taller than the eave height allowed for a DADU behind a one-story house like this. A shed roof form could be appropriate, if the lower eave were ten feet (10') or less.

The design guidelines also state that the minimum roof slope for an outbuilding is 4/12, and the proposed roof slope is just 3/12. Staff therefore finds that the proposed roof form does not meet Section III.H.3.b. of the design guidelines.

Design Standards: Staff finds that the two-story scale, the tall eave height, and the low slope roof form creates a design that does not meet Section III.H. of the design guidelines nor Section 17.16.030.G., the DADU Ordinance.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Natural color	Yes
Cladding	Lap siding, with a reveal of 5" or less	Smooth	Yes
Roofing	Standing Seam Metal	Unknown	Yes
Trim	Cement fiber	Smooth	Yes
Driveway	Concrete	Typical	Yes
Windows	Unknown	Unknown	Unknown
Pedestrian Door	Unknown	Unknown	Unknown
Vehicular Door	Unknown	Unknown	Unknown

With the staff's final approval of the windows and doors and metal roof color, staff finds that the known materials meet Section III.H of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings.

General requirements for Outbuildings:

	YES	NO
If there are stairs, are they enclosed?	Yes	Yes
If a corner lot, are the design and materials similar to the principle building?	N/A	N/A
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	N/A
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	N/A
Is the roof pitch at least 4/12?	Yes	No
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	N/A
Is the building located towards the rear of the lot?	Yes	Yes

As mentioned under “Roof Shape,” the design guidelines require roof slopes to be at least 4/12, and the proposed is just 3/13.

While the DADU meets Sections III.H.6 and 7 of the design guidelines and the DADU ordinance, it does not meet Section III.H.3. of the design guidelines.

Site Planning:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	35'
Rear setback	5'	5''
L side setback**	5'	12'
R side setback**	5'	5'
How is the building accessed?	From the alley or existing curb cut	Alley

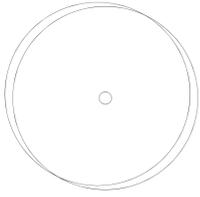
Staff finds that the proposed setbacks meet Sections III.H.6 and 7 of the design guidelines.

Recommendation Summary: Staff recommends disapproval of the project, finding that the proposed building’s scale, eave height, and roof form do not meet Section III.H. of the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay and Section 17.16.030.G., the DADU Ordinance.

MONTROSE AVENUE

50.00' (SURVEY)

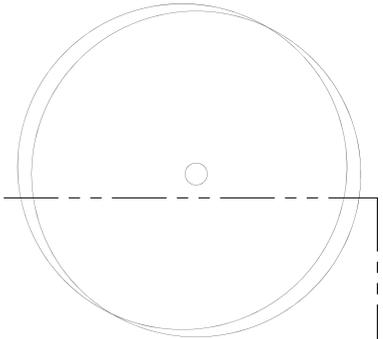
157.03' (SURVEY)



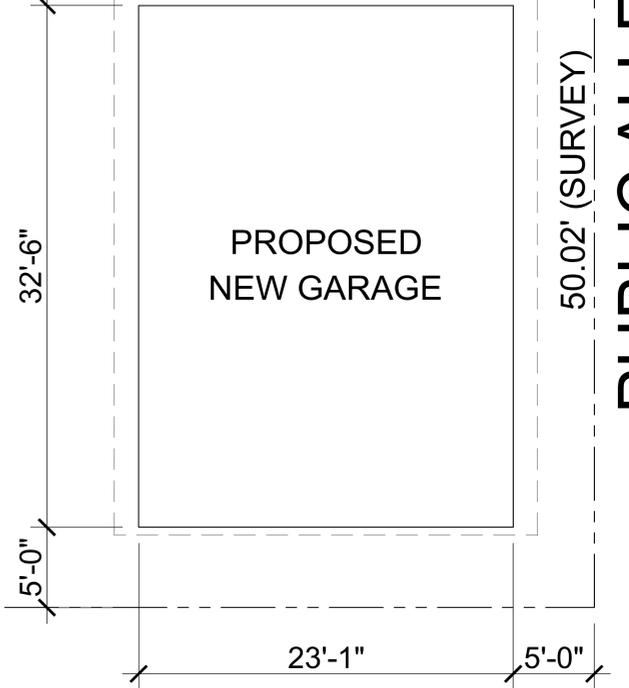
COVERED PORCH

EXISTING TWO-STORY TO REMAIN

PATIO



LINE OF ROOF



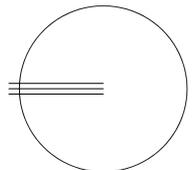
PROPOSED NEW GARAGE

50.02' (SURVEY)

PUBLIC ALLEY

155.64' (SURVEY)

1 SITE PLAN



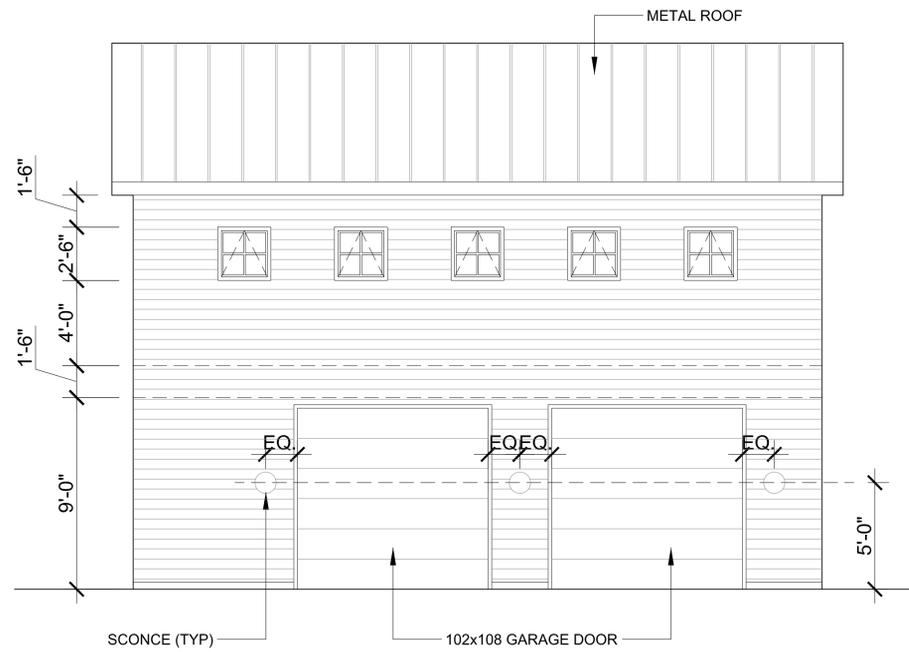
NORTH

A-0.1

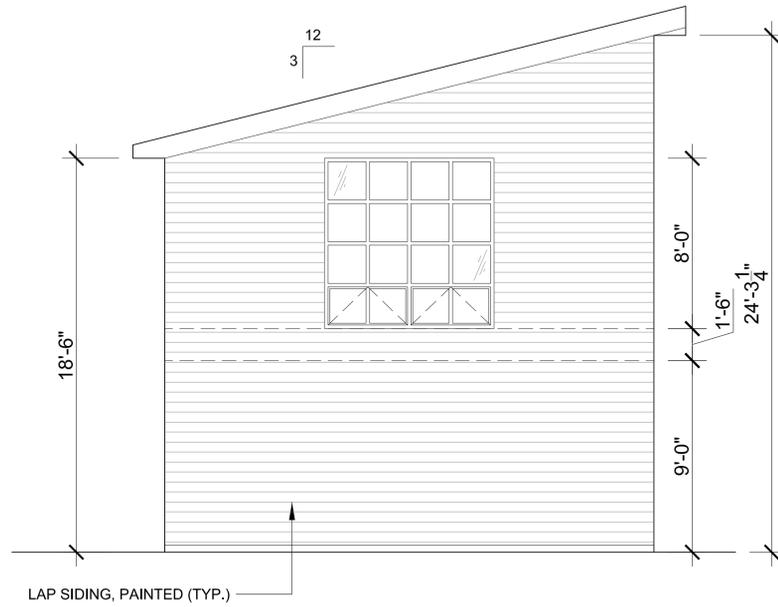
OWNER
GRAHAM RESIDENCE
1103 MONTROSE AVENUE
NASHVILLE, TN 37204

CONTRACTOR
MONTCALM CONSTRUCTION LLC
5029 STILLWOOD DRIVE
NASHVILLE, TN 37220

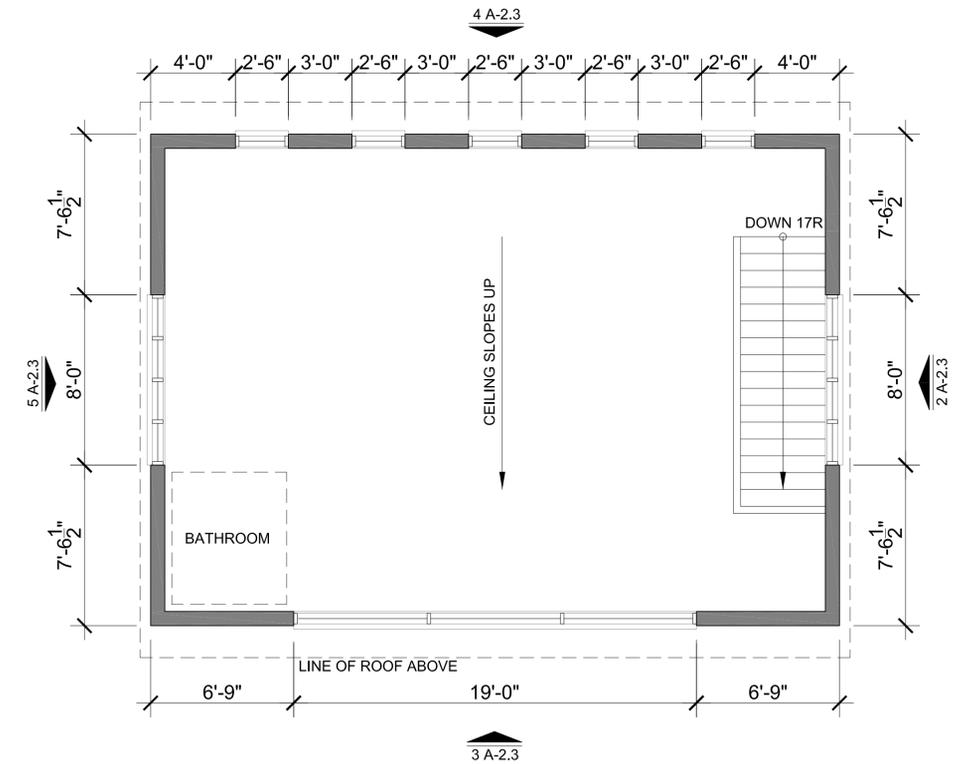
DATE: 7-5-2020
SCALE: 1/4" = 1'-0"
SHEET SIZE: 34x44



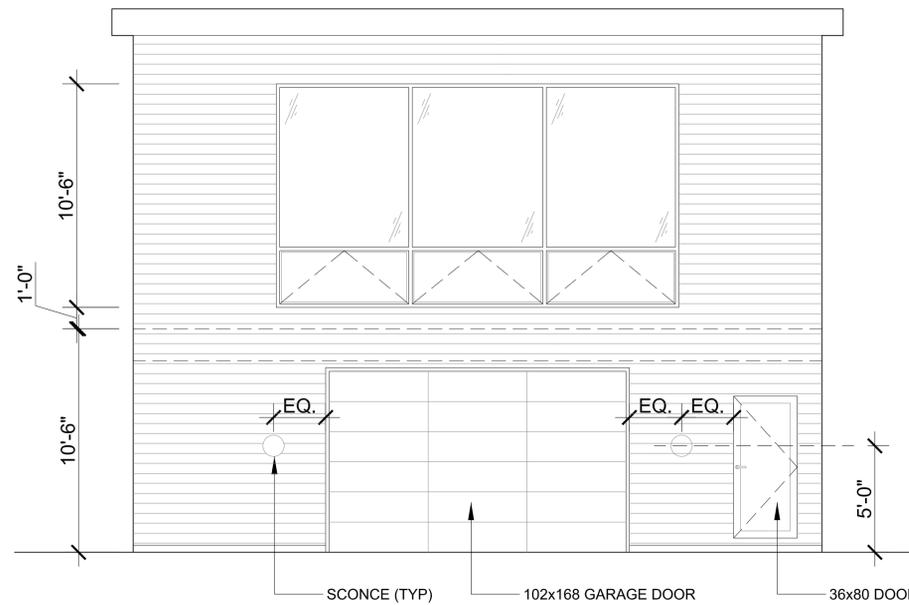
4 GARAGE REAR ELEVATION



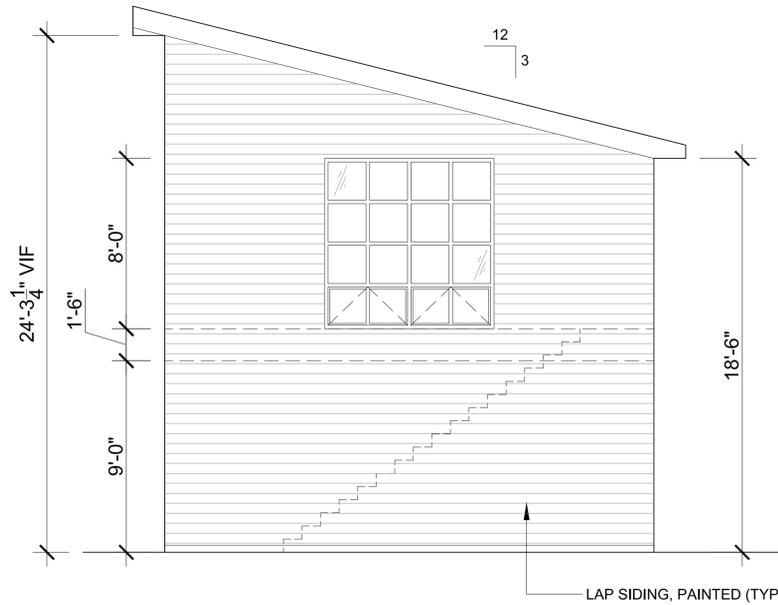
5 GARAGE SIDE ELEVATION



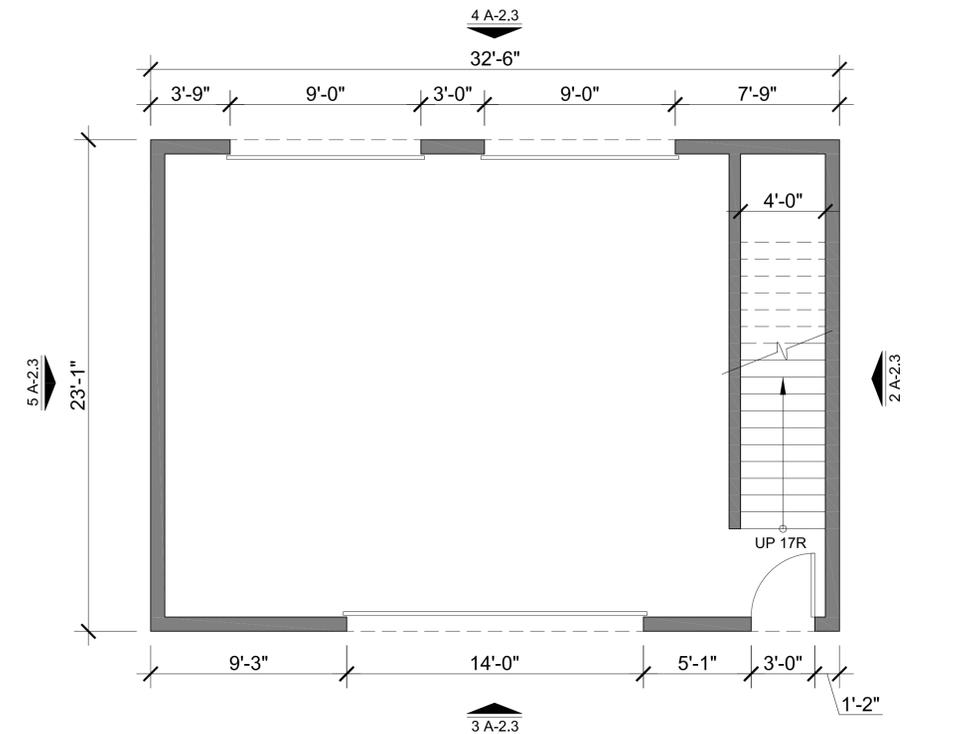
6 GARAGE UPPER LEVEL FLOOR PLAN



3 GARAGE FRONT ELEVATION



2 GARAGE SIDE ELEVATION



1 GARAGE MAIN LEVEL FLOOR PLAN