

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**

**1210 Stratford Avenue**

**July 15, 2020**

**Application:** New Construction—Infill and Outbuilding (Violation)  
**District:** Inglewood Place Neighborhood Conservation Zoning Overlay  
**Council District:** 7  
**Base Zoning:** RS7.5  
**Map and Parcel Number:** 07203004800  
**Applicant:** Nathan Ledbetter, Owner  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> This is a request for approval of changes made to the design of an infill and outbuilding that was reviewed by the Commission in August, 2019. The changes include minor changes to the proportion and rhythm of openings on the principal building, and an increase in the eave and ridge height of the outbuilding.</p> <p><b>Recommendation Summary:</b> Staff recommends that the outbuilding is corrected so that the eave height does not exceed ten feet (10') above grade at the front of the slab, and that the ridge height is corrected to be no taller than the height of the house.</p> <p>With those modifications, staff finds that the project would meet the design guidelines for the Inglewood Place Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Permit for House and Outbuilding <b>C:</b> Revised Plans for House and Outbuilding <b>D:</b> Proposed Correction for Outbuilding Eaves</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. NEW CONSTRUCTION

#### A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. The majority of historic buildings in the neighborhood are one and one-half stories tall. Generally, a building should not exceed one and one-half stories, except in those areas where historic two-story buildings are found.

#### B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

#### C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

3. In most cases, an infill duplex for property that is zoned for duplexes, should be one building, in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.

2. The majority of historic buildings are sided in brick, lap siding, stone or a combination of masonry and lap siding. Shingle siding should be minimally used for infill construction but is appropriate for additions and outbuildings.

a. Inappropriate materials include vinyl and aluminum, T-1-1-type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.

b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard lap siding, smooth-finished fiberglass doors.

- Lap siding, should be smooth and not stamped or embossed and have a reveal of between 5" and 10", depending on the immediate historic context.
- Four inch (4") nominal corner boards are required at the face of each exposed corner unless the lap siding is mitered.
- Stone or brick foundations should be of a compatible color and texture to historic foundations.
- When different materials are used, it is most appropriate to have the change happen at floor lines.
- Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
- Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
- Texture and tooling of mortar on new construction should be similar to historic examples.
- Faux leaded glass is inappropriate.

3. Asphalt shingle is an appropriate roof material for most buildings. Metal and tile are not appropriate; however, terra cotta ridge tiles are found throughout the district.

*Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.*

#### E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. The most common roof forms in the neighborhoods are side gable, cross gable, hipped, and cross gable and hipped. Pitches range from the low slope of the ranch style homes to steeper pitch of the earlier homes.

2. Small roof dormers are typical throughout the district. The most common form is gabled and a few have a hipped or shed roof. Wall dormers are only appropriate on the rear, as historic examples in the neighborhood are rare.

#### F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include gabled, hipped and shed roof partial- or full-width porches, stoops, enclosed or "vestibule" type entrances, and decorative door surrounds. Infill duplexes should have one primary entrance facing the street. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

3. Generally, lots should not have more than 1 curb cut. Shared driveways should be a single lane. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, new driveways should be no more than 12' wide from the street to the rear of the home. Front yard parking areas or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

#### G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung and casement windows should generally exhibit a height to width ratio of at least 2:1. Picture windows and fixed windows (and in some cases double-hung windows) may be square or have a horizontal orientation if the principle building follows a post-1955 form, such as a ranch house.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

#### H. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030. The word "shall" refers to detached accessory dwelling units. There is more leniency with outbuildings.)*

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
  - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
  - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are not appropriate for Inglewood Place.

### 3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Inglewood Place, historic accessory buildings were between 8' and 14' tall.
- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

### 4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. Generally garage doors on garages attached to the side of the house should be oriented towards the rear of the home. Where the context or historic house form allows for a front-facing garage it should be no more than 1 bay and 1 story.

### 5. Siding and Trim

- a. Weatherboard is a typical siding materials. Brick, stone, and parge-coated concrete block are also appropriate.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings. Typically vehicular storage should not be attached to the principle dwelling except in these situations:

- a. The new principle dwelling is following a post-1955 form such as a ranch house.
- b. A drop in grade allows the garage to be fully at the basement level with access from a recessed side wall or the rear wall.

#### *Setbacks & Site Requirements.*

*d. To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

*e. For corner lots, the DADU or outbuilding's street-side setback should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

#### *Driveway Access.*

- h. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- i. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- j. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**Background:** The lot at 1210 Stratford Avenue was recently divided from 1212 Stratford Avenue and had previously not been developed.

In 2019, a proposal to build a new one and one-half-story single family dwelling and detached outbuilding was approved by the MHZC. Construction started in March of 2020.



Figure 1: 1210 Stratford Avenue

**Analysis and Findings:** Between getting MHZC approval and the start of construction, the applicant made changes to the plans for the house and the outbuilding but did not submit them to MHZC for review.

**Infill:** The changes to the infill are primarily in window placement, but the scale of the building, materials, and other characteristics are as they were approved. The changes to the window pattern are relatively minor, and staff finds the project's proportion and rhythm of openings meet Section III.G. of the Inglewood Place design guidelines.

The scale of the building is as it was approved, with an eave height of ten feet, eight inches (10'-8") and a ridge height of twenty-four feet (24'), both measurements from the floor level, with an approximately four foot (4') tall foundation at the front. Staff finds that the heights of the new house, as it has been constructed, meet Section III.A. of the Inglewood Place design guidelines.

**Outbuildings:** The outbuilding was approved with an eave height of nine feet, four inches (9'-4") and a ridge height of twenty-three feet, four inches (23'-4"), measured from the floor where it opens to the grade. However, the garage was built with an eave height of eleven feet (11') and a ridge height of twenty-four feet, six inches (24'-6").

Per section III.H.1.c. of the design guidelines, the eave height of a one and one-half story outbuilding cannot exceed ten feet (10') and the ridge height cannot exceed twenty-five feet (25'), and neither proportion on the outbuilding can exceed the corresponding proportion on the principal building.

In order to most equitably account for variations in grade and discount foundation heights, which can be arbitrary, staff used measurements from floor-to-ridge for both principal buildings and outbuilding for this comparison. (Note - A garage floor typically opens at grade for vehicle access, but an outbuilding without a garage component would be measured from grade.) By this standard, staff finds that the eave height of the garage is one foot (1') too tall, and the ridge height of the building is six inches (6") too tall.

Staff finds that the proposed height of the outbuilding as constructed does not meet Section III.H.1. of the design guidelines.

The applicant has submitted designs that would extend the eaves down to a height of ten feet (10') above the floor level. This ridge height under this proposal would not be changed.

The setbacks and materials are as they were approved, and the proportion and rhythm of windows only had minor changes and are still generally appropriate.

**Recommendation:** Staff recommends that the outbuilding is corrected so that the eave height does not exceed ten feet (10') above grade at the front of the slab, and that the ridge height is corrected to be no taller than the height of the house.

With those modifications, staff finds that the project would meet the design guidelines for the Inglewood Place Neighborhood Conservation Zoning Overlay.

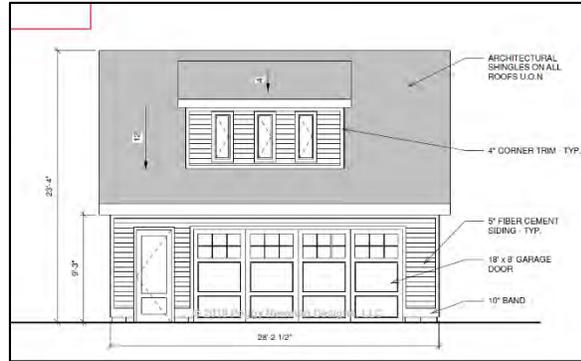


Figure 2: Front elevation of a proposed outbuilding at 1210 Stratford Avenue, with ridge height of 23'-4" and eave height of 9'-4".

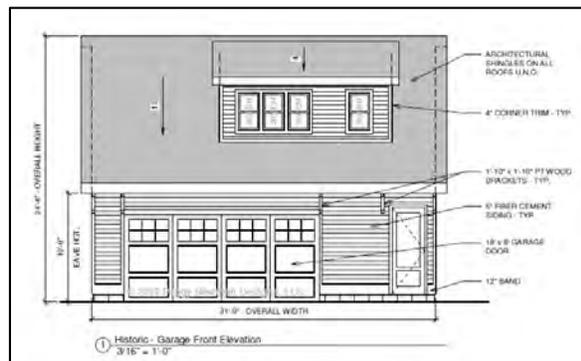


Figure 3: Revised plans that were not presented to MHZC for review. Ridge height is 24'-6", eave height is 10'.



Figure 4: Constructed outbuilding with ridge height of 24'-6" and eave height of 11'.

**ATTACHMENT A: PHOTOGRAPHS**



1210 Stratford Avenue, with house and outbuilding as constructed.



1210 Stratford Avenue, outbuilding.



3704664



# METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park  
3000 Granny White Pike  
Nashville TN 37204  
(615) 862-7970  
[histlap1@nashville.gov](mailto:histlap1@nashville.gov)

## HISTORICAL COMMISSION PERMIT - 2019050701

Entered on: 22-Aug-2019

### Site Address

0 [1210] STRATFORD AVE  
NASHVILLE TN, 37216

**Historic District:** Inglewood Place NCZO

### Parcel Owner

LEDBETTER, NATHAN  
1004 LUCAS CT  
NASHVILLE, TN 37207

**Purpose:** Construct One and One-Half-Story Infill (See attached architectural plans)

### FOUNDATION

- Foundation material shall be split-faced block.
- The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses (MHZC Staff to verify during construction).

### CLADDING & TRIM

- Exterior cladding to be clapboard and shingle siding.
- Siding, trim, railings, vents and associated elements are to be wood or cement fiberboard.
- Wood or cement fiberboard shall be smooth without simulated wood grain pattern or rough, unfinished appearance.
- Clapboard siding shall have a maximum reveal of five inches (5"), unless otherwise specified.

### WINDOWS & DOORS

- Window and door selections shall be approved by MHZC Staff prior to purchase/installation.
- There shall be a four inch (4") mullion between any paired windows.
- Windows and doors on clapboard structures shall not have brick-mold and shall have four inch (4") nominal wood casings.

### ROOF

- Roof shall be asphalt shingles, colors shall be approved by MHZC Staff prior to purchase/installation.

### HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the building or on the rear.



3704664

## HISTORICAL COMMISSION PERMIT - 2019050701

### GENERAL NOTES

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

**Activities to be Completed - Call: (615) 862-7970**

**REVIEWS REQUIRED - Call: (615) 862-7970:**

ROOFING COLOR APPROVAL PRIOR TO INSTALL

WINDOWS APPROVAL PRIOR TO INSTALL

DOOR APPROVAL PRIOR TO INSTALL

HVAC LOCATION

**INSPECTIONS REQUIRED - Call: (615) 862-7970:**

FIELD STAKING INSPECTION

FOUNDATION CHECK INSPECTION

ROUGH FRAMING INSPECTION

PROGRESS INSPECTION

FINAL INSPECTION

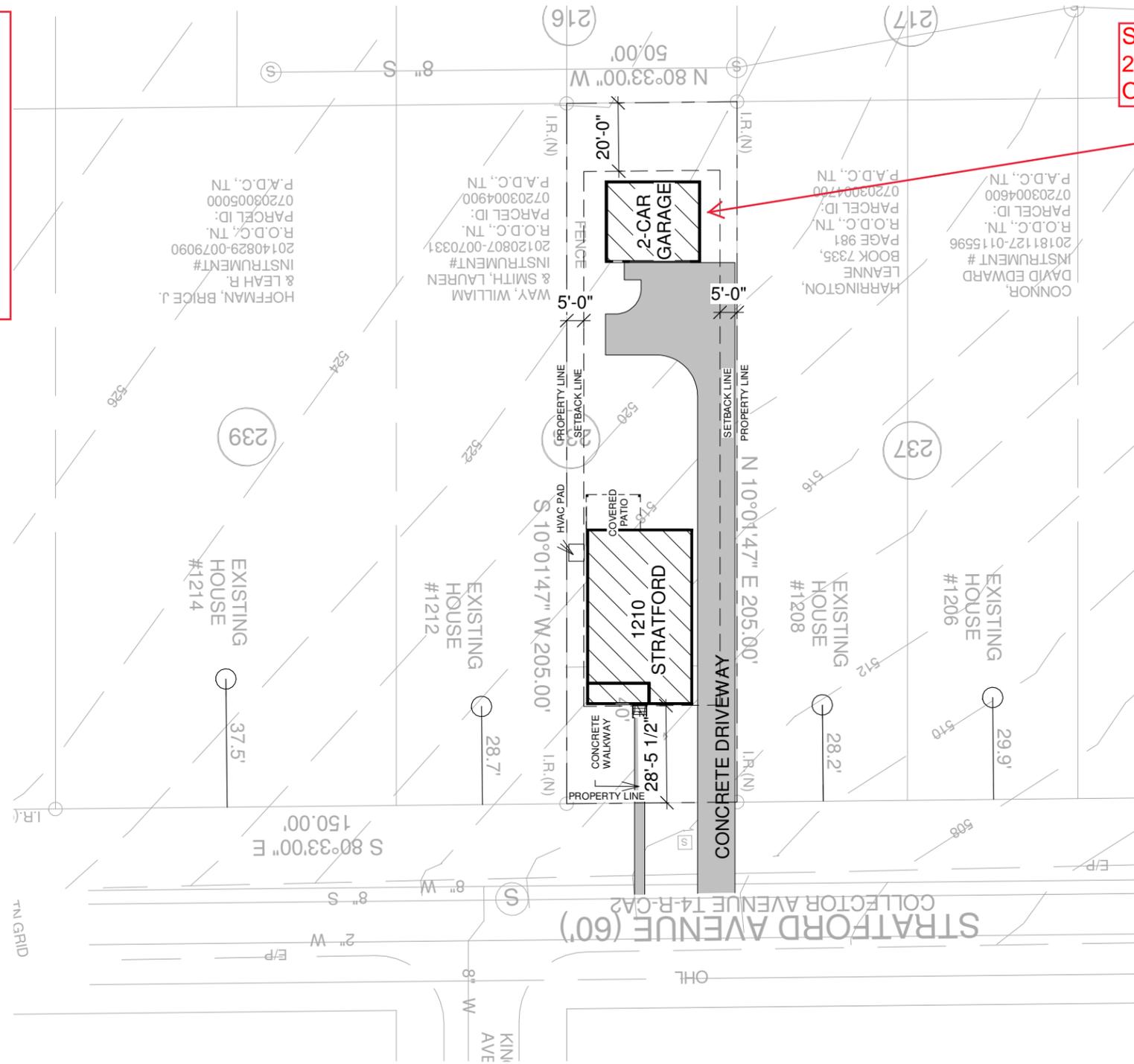
**APPLICANT:** Nathan Ledbetter

**Issued Date:** 22-Aug-2019 **Issued By:** Sean Alexander

**HISTORICAL COMMISSION PERMIT 2019050701**  
**CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

- Please refer to notes on pages 1-2.
- Staff must approve the construction progress at the three following points:
  - After the building footprint has been field staked
  - After the foundation has been constructed
  - After the rough framing has been completed
- The following must be submitted for final approval before purchase.
  - Windows and doors
  - Roof color

See permit HCP 2019050742 for Outbuilding



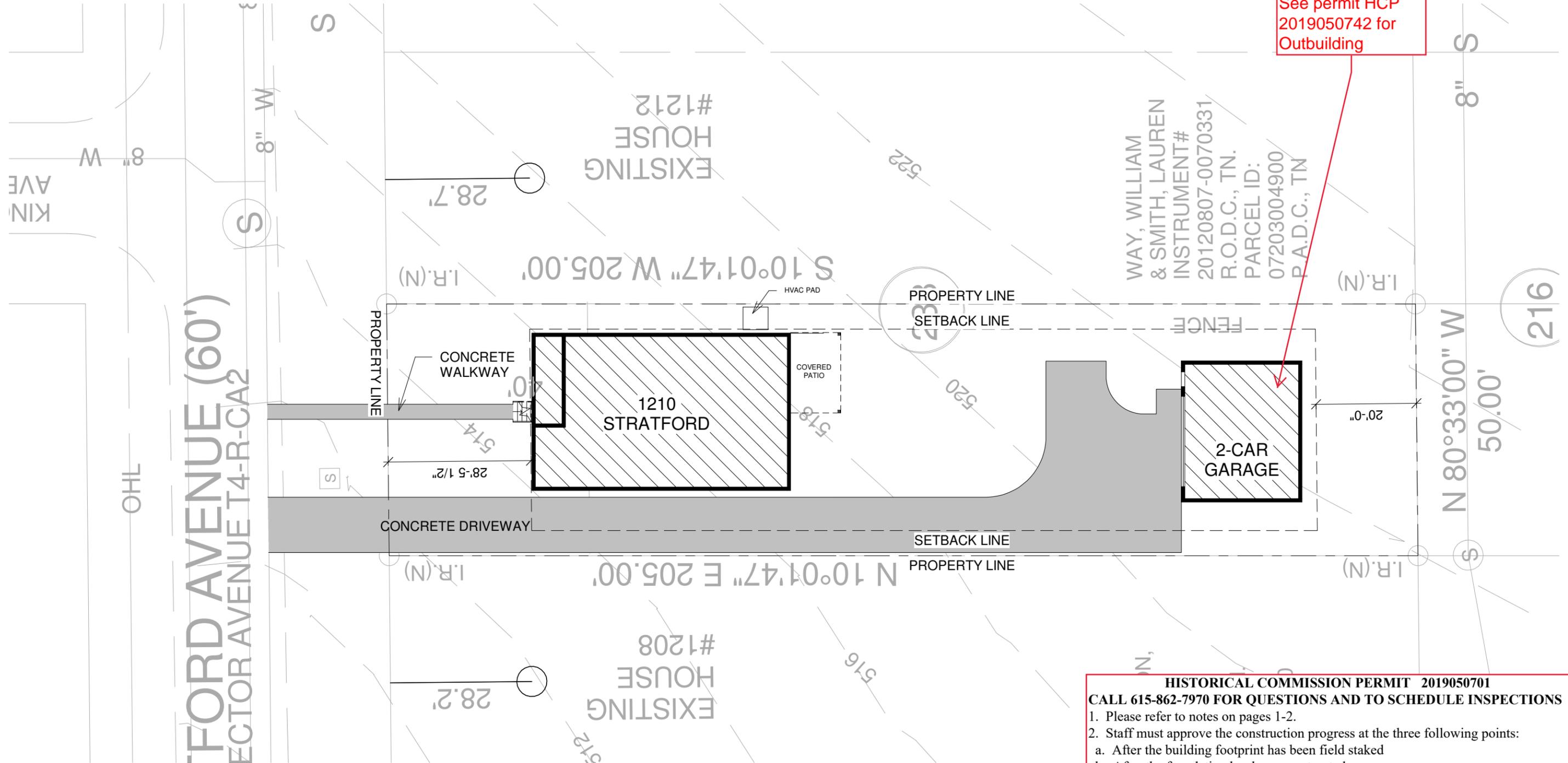
1 Site Plan - Historic Contextual  
 1" = 40'-0"



THE CLIENT'S RIGHT TO THIS DESIGN AND THESE CONSTRUCTION DOCUMENTS IS CONDITIONAL AND LIMITED TO A ONE TIME USE.  
 THE DESIGN REPRESENTED IN THESE DRAWINGS BELONG TO THE DESIGNER, EXCLUSIVELY.  
 PLANS MAY NOT BE SOLD, LOANED, OR GIVEN TO OTHERS FOR THE PURPOSE OF CONSTRUCTING ANOTHER PROJECT. POSSESSION OF PLANS DOES NOT AUTHORIZE CONTINUED USE FOR CONSTRUCTION OF OTHER PROJECTS.  
 THIS DOCUMENT IS NOT FOR CONSTRUCTION PURPOSES

**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic - Site Plan - Contextual</b>		<b>H1.1</b>
Date	8/12/2019	
Drawn by	MP	Scale 1" = 40'-0"



See permit HCP  
2019050742 for  
Outbuilding

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  - Roof color



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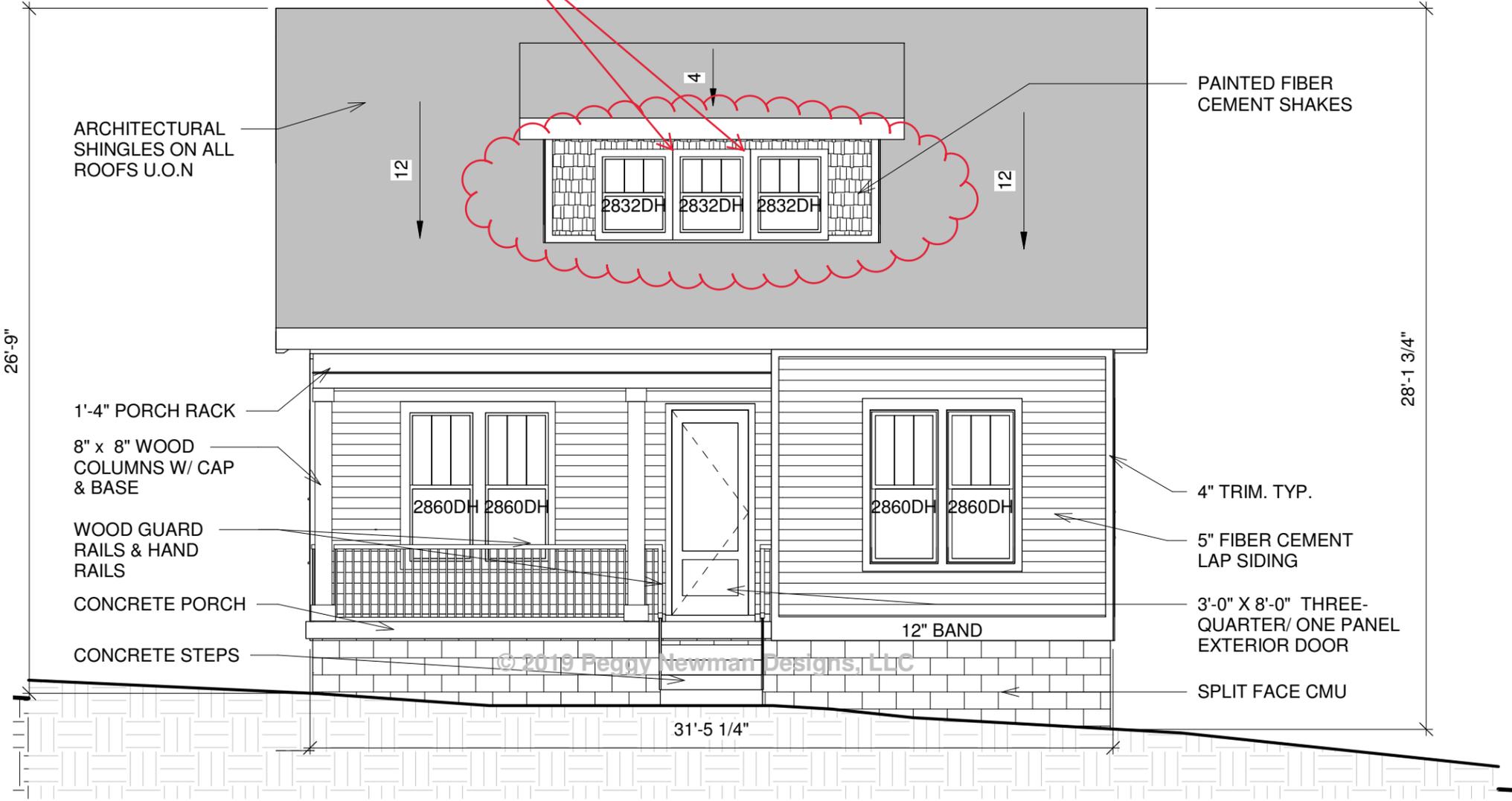
**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic-Site Plan</b>		<b>H1.2</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 1" = 20'-0"

**HISTORICAL COMMISSION PERMIT 2019050701**  
**CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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  - After the foundation has been constructed
  - After the rough framing has been completed
- The following must be submitted for final approval before purchase.
  - Windows and doors
  - Roof color

Four inch (4") mullion required between abutted windows.



1 Historic-Front Elevation  
 3/16" = 1'-0"



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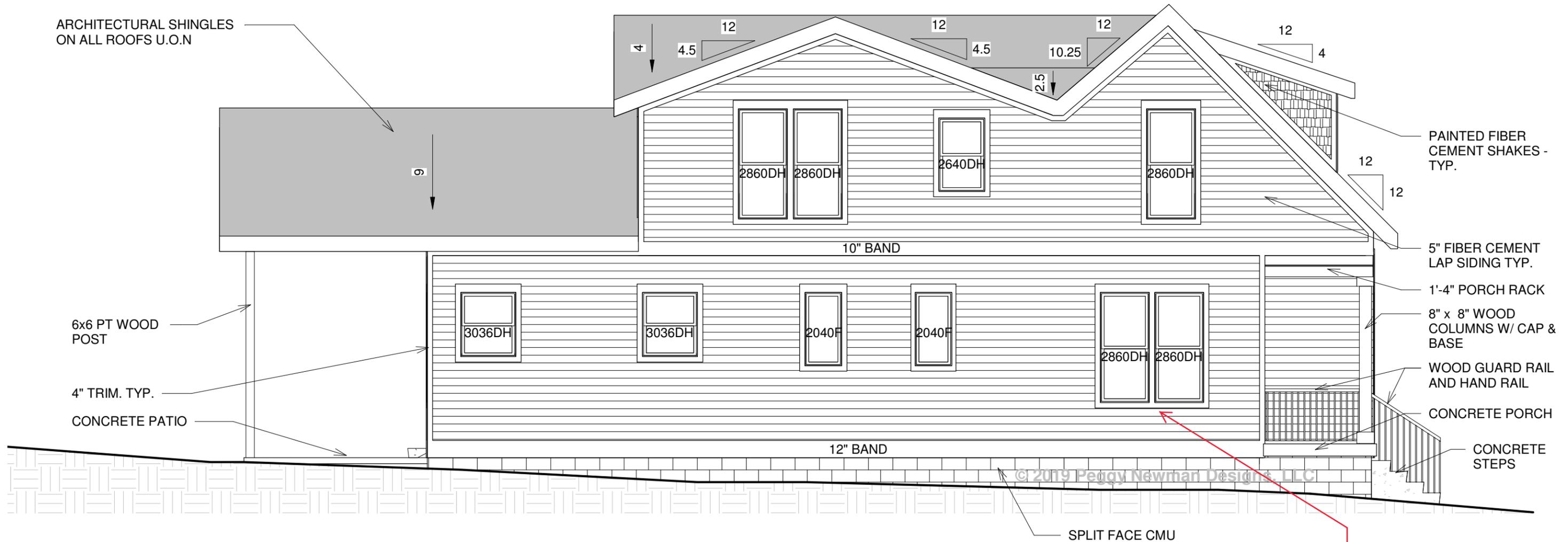
**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic-Front Elevation</b>		<b>H2</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

**HISTORICAL COMMISSION PERMIT 2019050701**

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  - a. After the building footprint has been field staked
  - b. After the foundation has been constructed
  - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
  - a. Windows and doors
  - b. Roof color



1 Historic-Left Elevation  
3/16" = 1'-0"

Four inch (4") mullion required between abutted windows.



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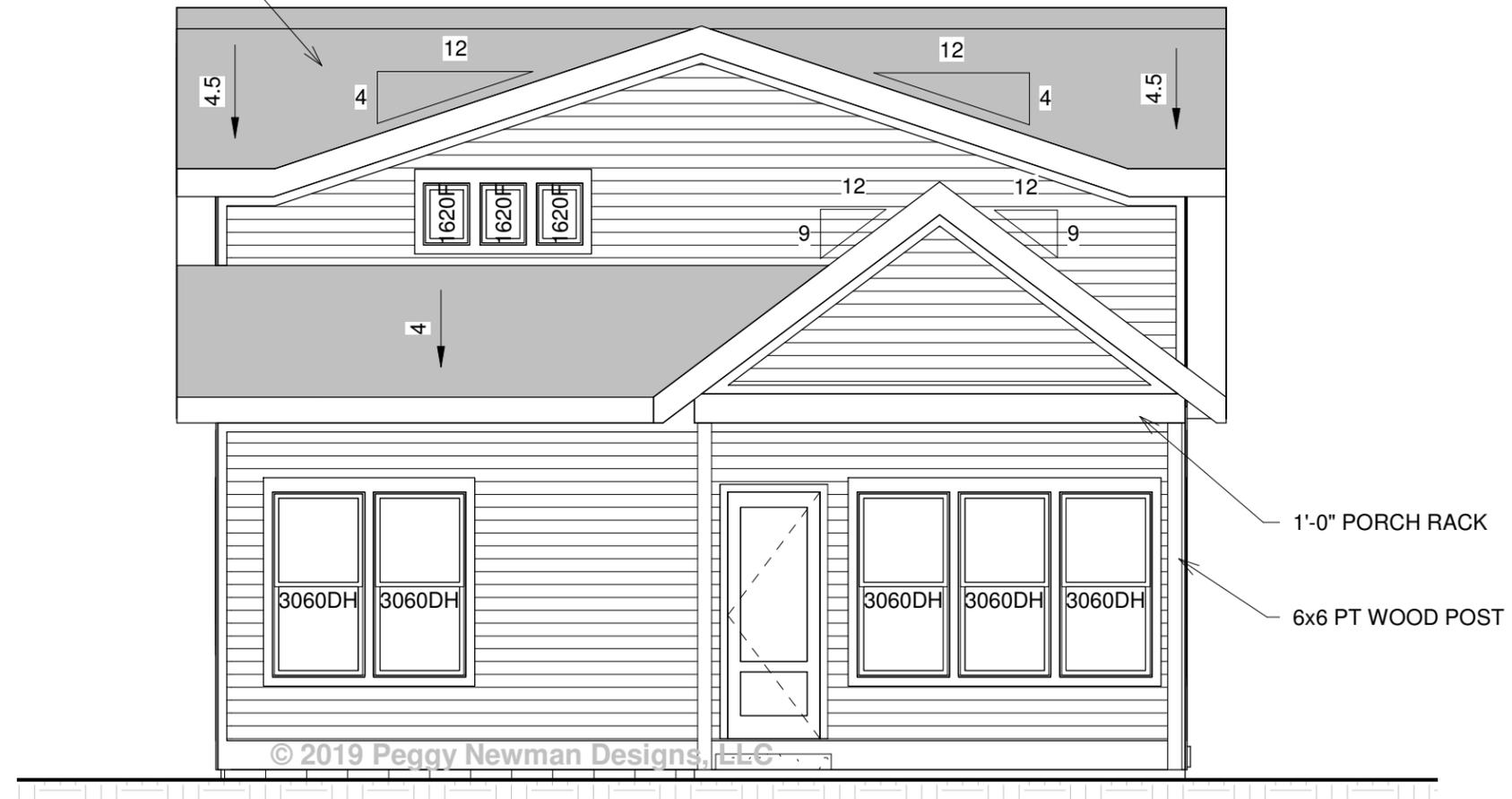
**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic-Left Elevation</b>		<b>H3</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

**HISTORICAL COMMISSION PERMIT 2019050701**  
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  - a. Windows and doors
  - b. Roof color

ARCHITECTURAL SHINGLES  
ON ALL ROOFS U.O.N



1 Historic-Rear Elevation  
3/16" = 1'-0"



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**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

**Historic-Rear Elevation**

Date 8/12/2019  
 Drawn by PN / MP

**H4**

Scale 3/16" = 1'-0"





3704731



# METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park  
3000 Granny White Pike  
Nashville TN 37204  
(615) 862-7970  
[histlap1@nashville.gov](mailto:histlap1@nashville.gov)

## HISTORICAL COMMISSION PERMIT - 2019050742

Entered on: 22-Aug-2019

### Site Address

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NASHVILLE TN, 37216

**Historic District:** Inglewood Place NCZO

### Parcel Owner

LEDBETTER, NATHAN  
1004 LUCAS CT  
NASHVILLE, TN 37207

**Purpose:** Construct Outbuilding (See attached architectural plans)

### FOUNDATION

- Foundation shall be slab-on-grade, or exposed material shall match the existing house or shall be split-faced block.

### CLADDING & TRIM

- Exterior cladding to be clapboard siding.
- Siding, trim, railings, vents and associated elements are to be wood or cement fiberboard.
- Wood or cement fiberboard shall be smooth without simulated wood grain pattern or rough, unfinished appearance.
- Clapboard siding shall match the exposure of siding on the house or shall have a maximum reveal of five inches (5").

### WINDOWS & DOORS

- Window and door selections shall be approved by MHZC Staff prior to purchase/installation.
- There shall be a four inch (4") mullion between any paired windows.
- Windows and doors on clapboard structures shall not have brick-mold and shall have four inch (4") nominal wood casings.

### ROOF

- Roof shall be asphalt shingles, matching the color of the house's roof; or
- New roof colors shall be approved by MHZC Staff prior to purchase/installation.



3704731

## HISTORICAL COMMISSION PERMIT - 2019050742

### GENERAL NOTES

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

### **REVIEWS REQUIRED - Call: (615) 862-7970:**

ROOFING COLOR APPROVAL PRIOR TO INSTALL

WINDOWS APPROVAL PRIOR TO INSTALL

GARAGE DOOR APPROVAL PRIOR TO INSTALL

DOOR APPROVAL PRIOR TO INSTALL

### **INSPECTIONS REQUIRED - Call: (615) 862-7970:**

FIELD STAKING INSPECTION

FOUNDATION CHECK INSPECTION

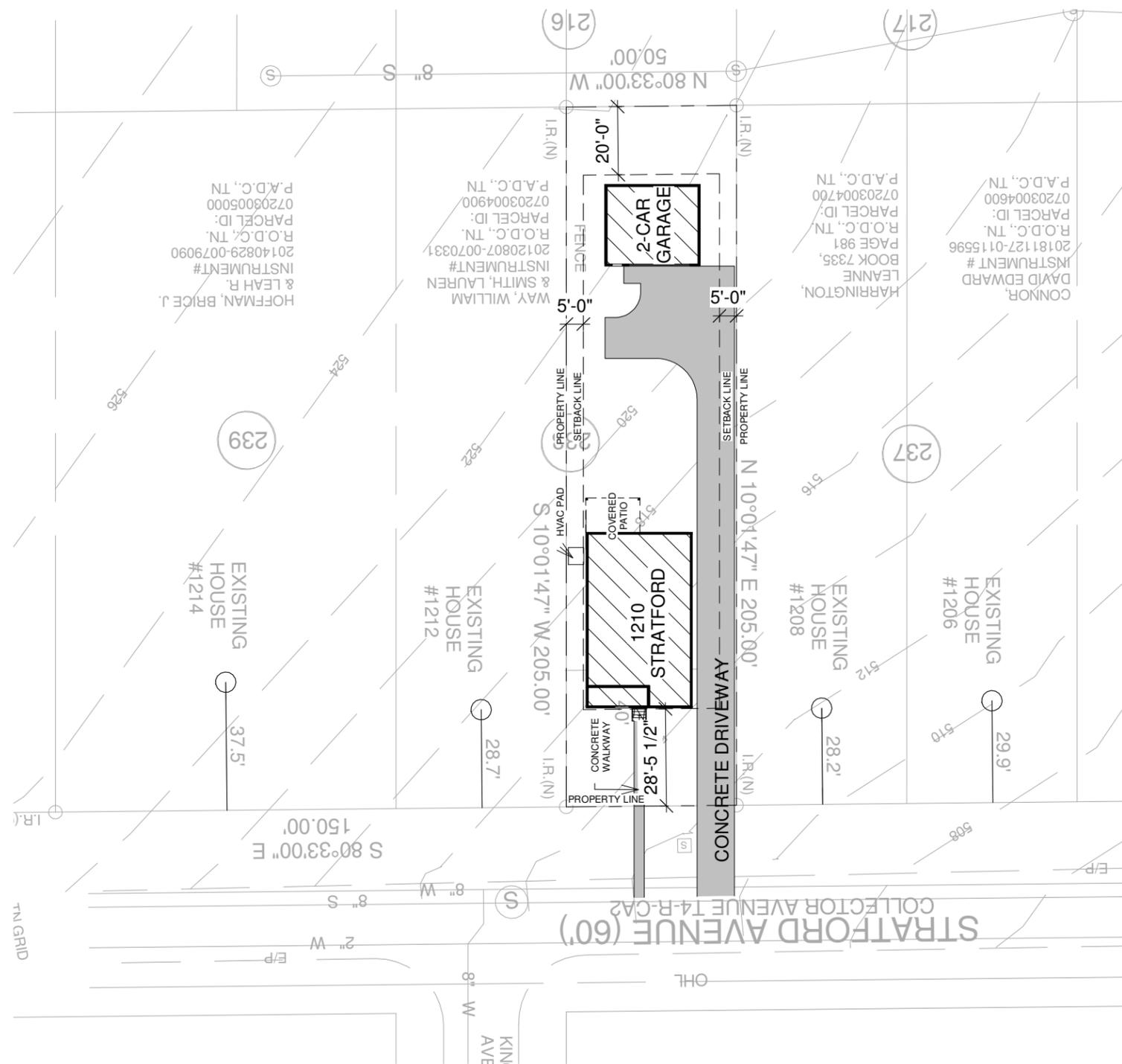
ROUGH FRAMING INSPECTION

PROGRESS INSPECTION

FINAL INSPECTION

**APPLICANT:** Nathan Ledbetter

**Issued Date:** 22-Aug-2019 **Issued By:** Sean Alexander



1 Site Plan - Historic Contextual  
1" = 40'-0"

1210 STRATFORD AVE.  
Nashville, TN 37216

Historic - Site Plan - Contextual

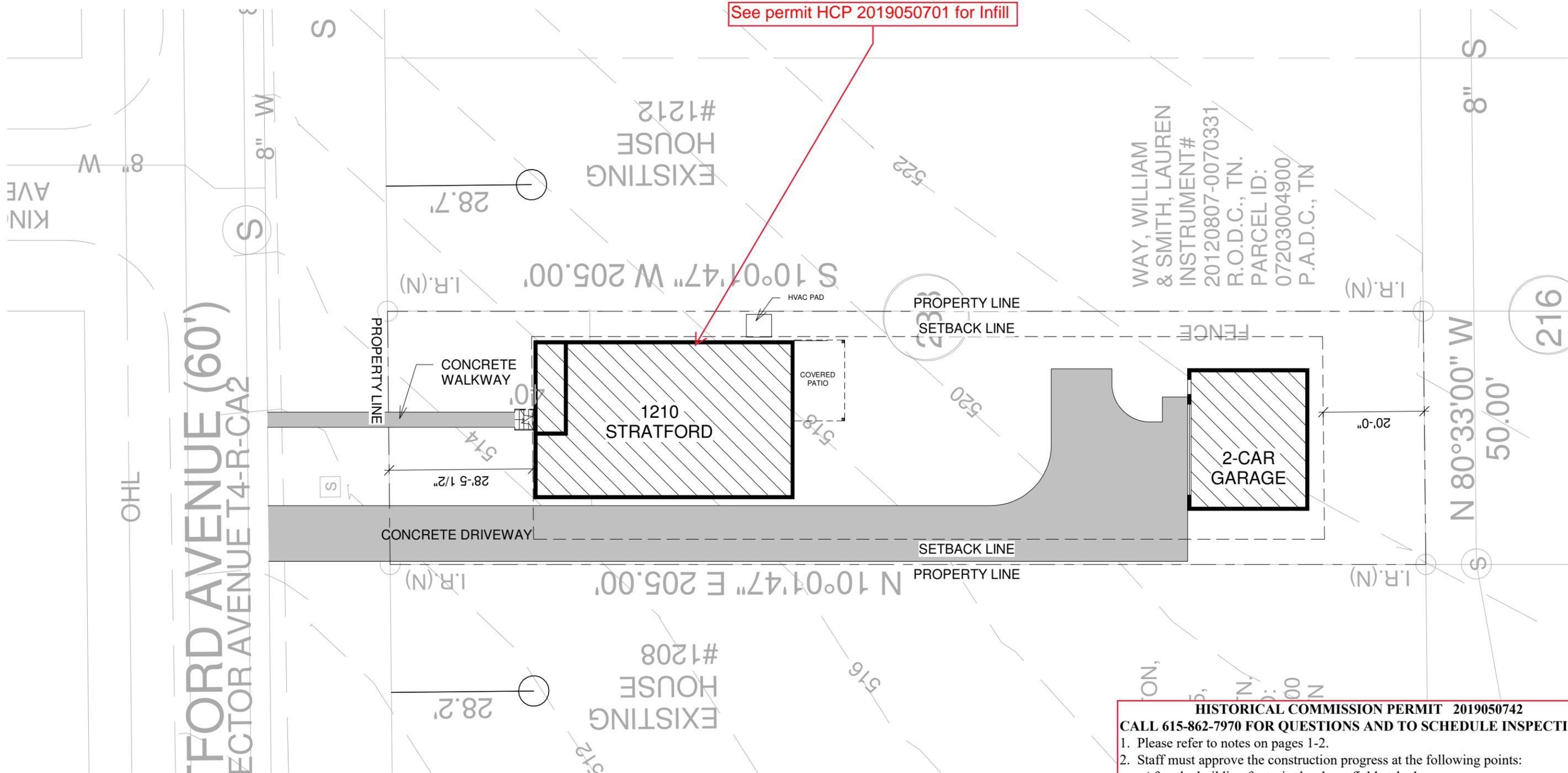
Date 8/12/2019  
Drawn by MP

H1.1

Scale 1" = 40'-0"



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THIS DOCUMENT IS NOT FOR CONSTRUCTION PURPOSES



**HISTORICAL COMMISSION PERMIT 2019050742**  
**CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

- Please refer to notes on pages 1-2.
- Staff must approve the construction progress at the following points:
  - After the building footprint has been field staked
  - After the rough framing has been completed
- The following must be submitted for final approval before purchase.
  - Windows and doors
  - Roof color



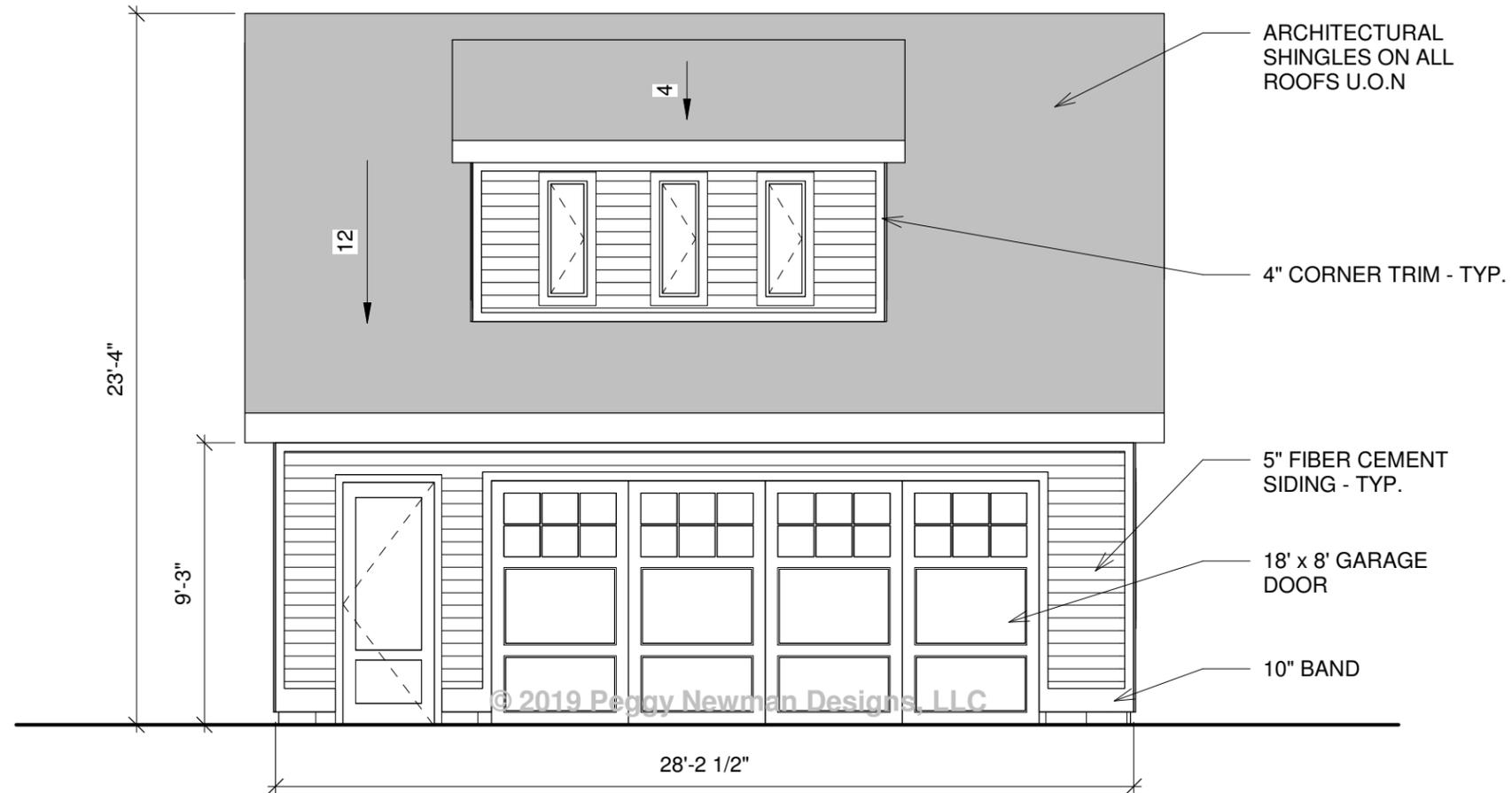
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**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic-Site Plan</b>		<b>H1.2</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 1" = 20'-0"

**HISTORICAL COMMISSION PERMIT 2019050742**  
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  - a. Windows and doors
  - b. Roof color



① Historic - Garage Front Elevation  
 3/16" = 1'-0"



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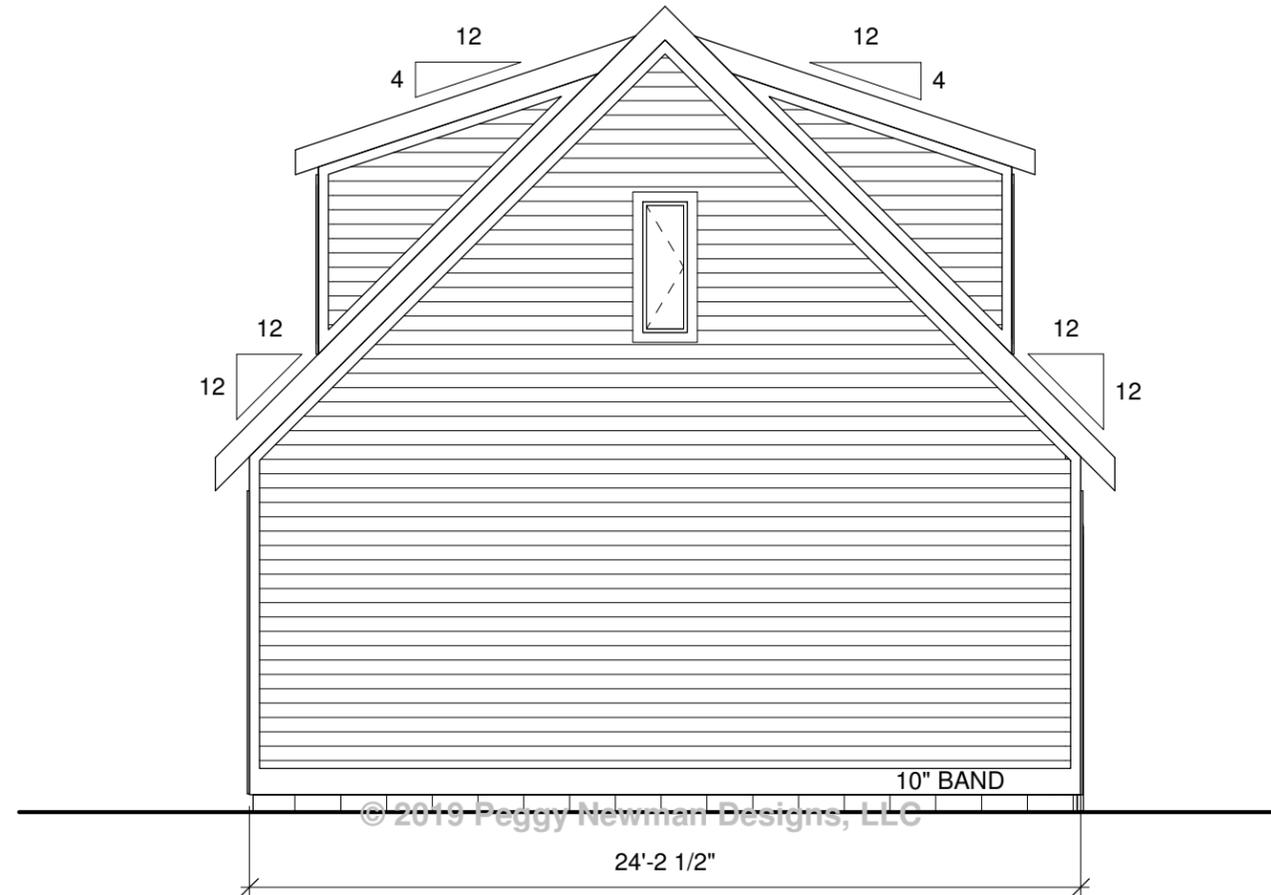
**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic - Garage Front Elevation</b>		<b>H6</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

**HISTORICAL COMMISSION PERMIT 2019050742**

**CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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  - b. Roof color



① Historic - Garage Left Elevation  
3/16" = 1'-0"



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**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

**Historic - Garage Left Elevation**

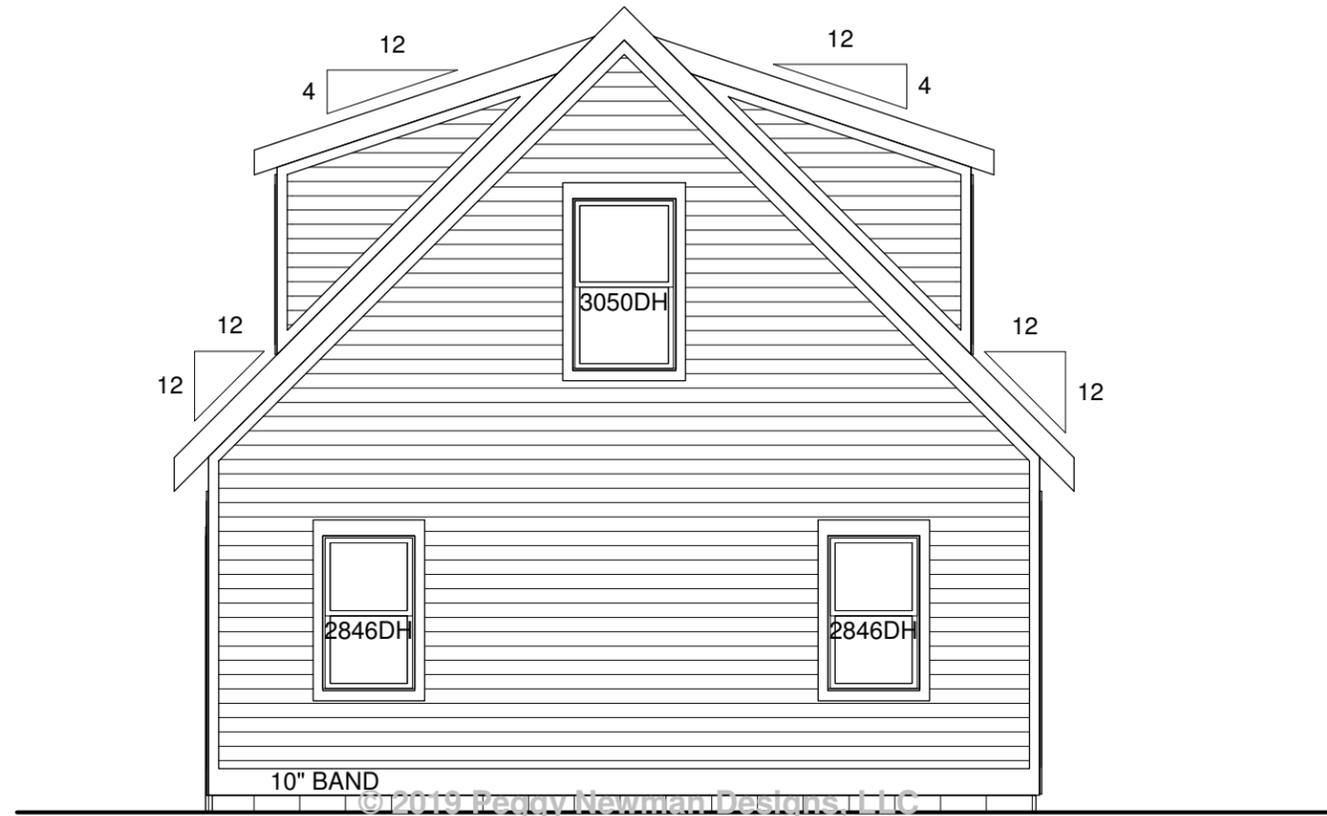
Date 8/12/2019  
Drawn by PN / MP

**H7**

Scale 3/16" = 1'-0"

**HISTORICAL COMMISSION PERMIT 2019050742**  
**CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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  - a. Windows and doors
  - b. Roof color



① Historic - Garage Right Elevation  
 3/16" = 1'-0"



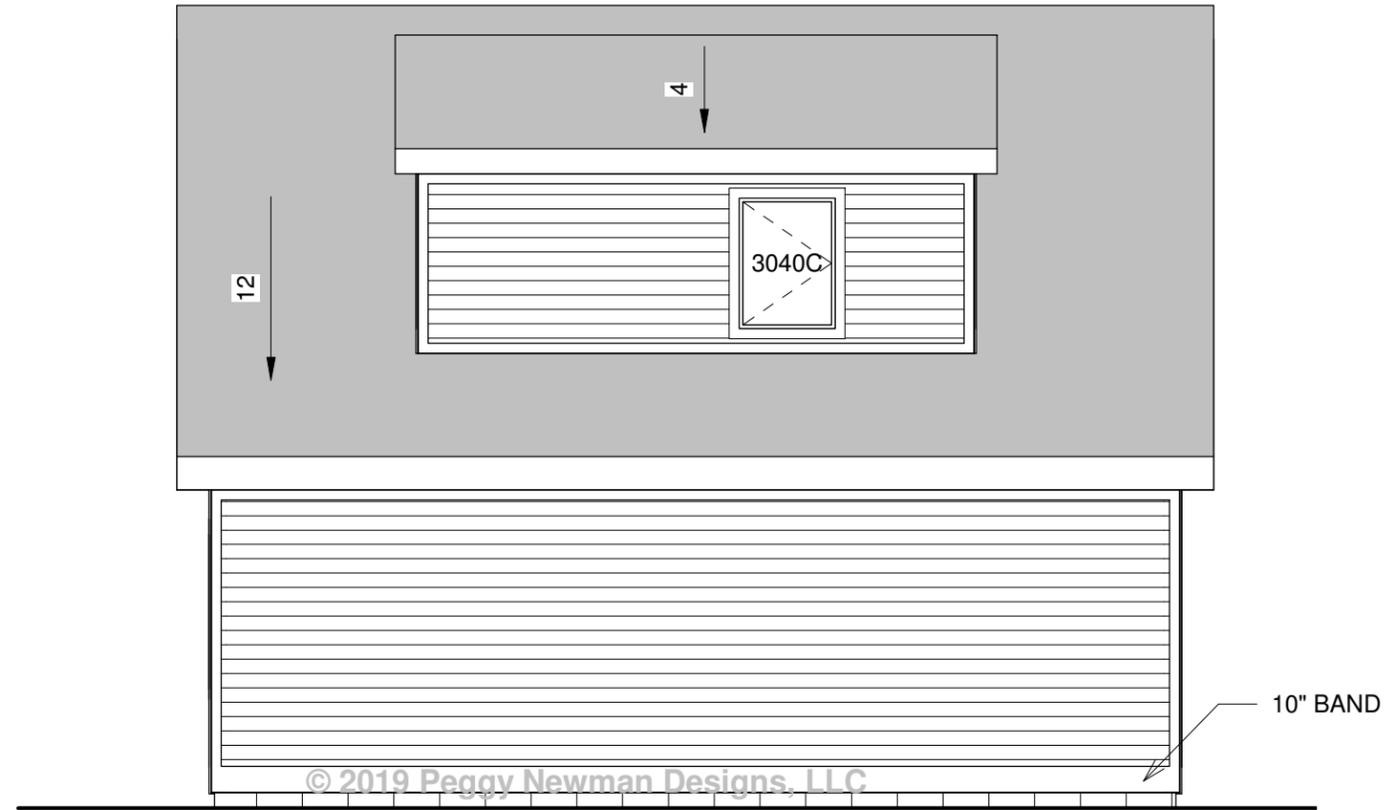
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**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic - Garage Right Elevation</b>		<b>H8</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

**HISTORICAL COMMISSION PERMIT 2019050742**  
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1. Please refer to notes on pages 1-2.
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3. The following must be submitted for final approval before purchase.
  - a. Windows and doors
  - b. Roof color



① Historic - Garage Rear Elevation  
 3/16" = 1'-0"

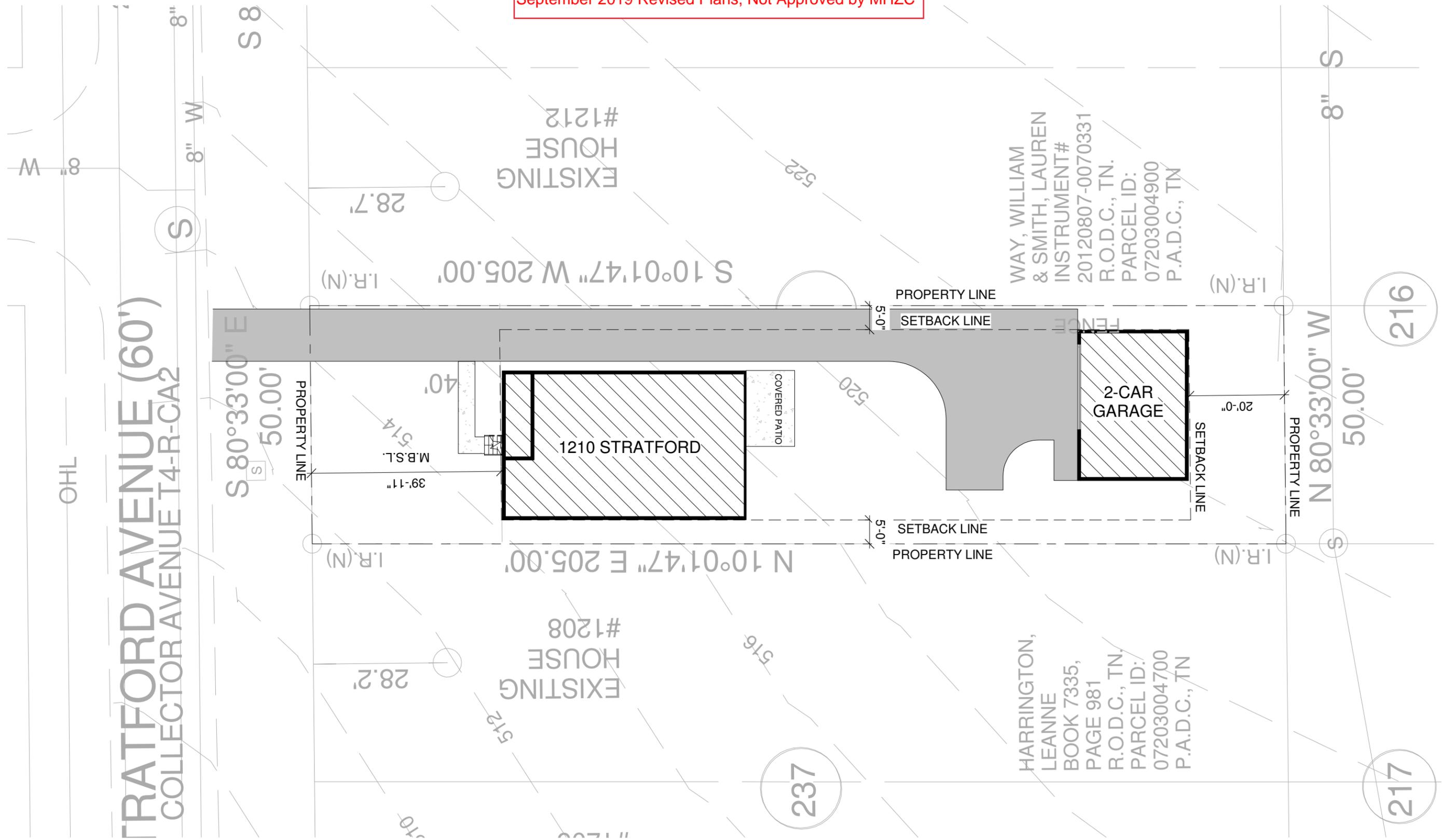


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**1210 STRATFORD AVE.**  
**Nashville, TN 37216**

<b>Historic - Garage Rear Elevation</b>		<b>H9</b>
Date	8/12/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

September 2019 Revised Plans, Not Approved by MHZC



WAY, WILLIAM  
& SMITH, LAUREN  
INSTRUMENT#  
20120807-0070331  
R.O.D.C., TN.  
PARCEL ID:  
07203004900  
P.A.D.C., TN

HARRINGTON,  
LEANNE  
BOOK 7335,  
PAGE 981  
R.O.D.C., TN.  
PARCEL ID:  
07203004700  
P.A.D.C., TN



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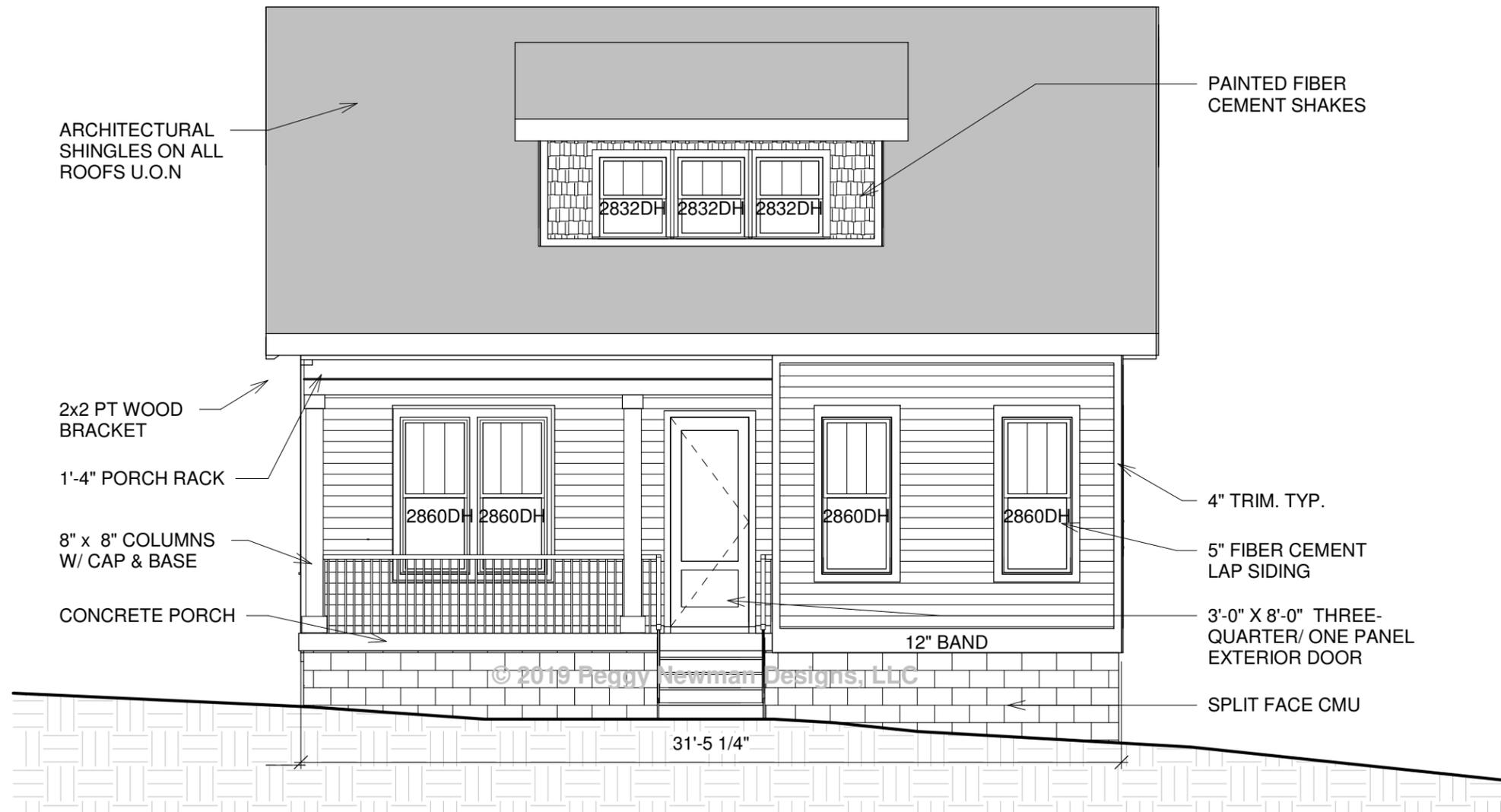
1210 Stratford Ave.  
Nashville, TN 37216

Historic-Site Plan

Date 9/13/2019  
Drawn by PN / MP

H1

Scale 1" = 20'-0"



1 Historic-Front Elevation  
3/16" = 1'-0"



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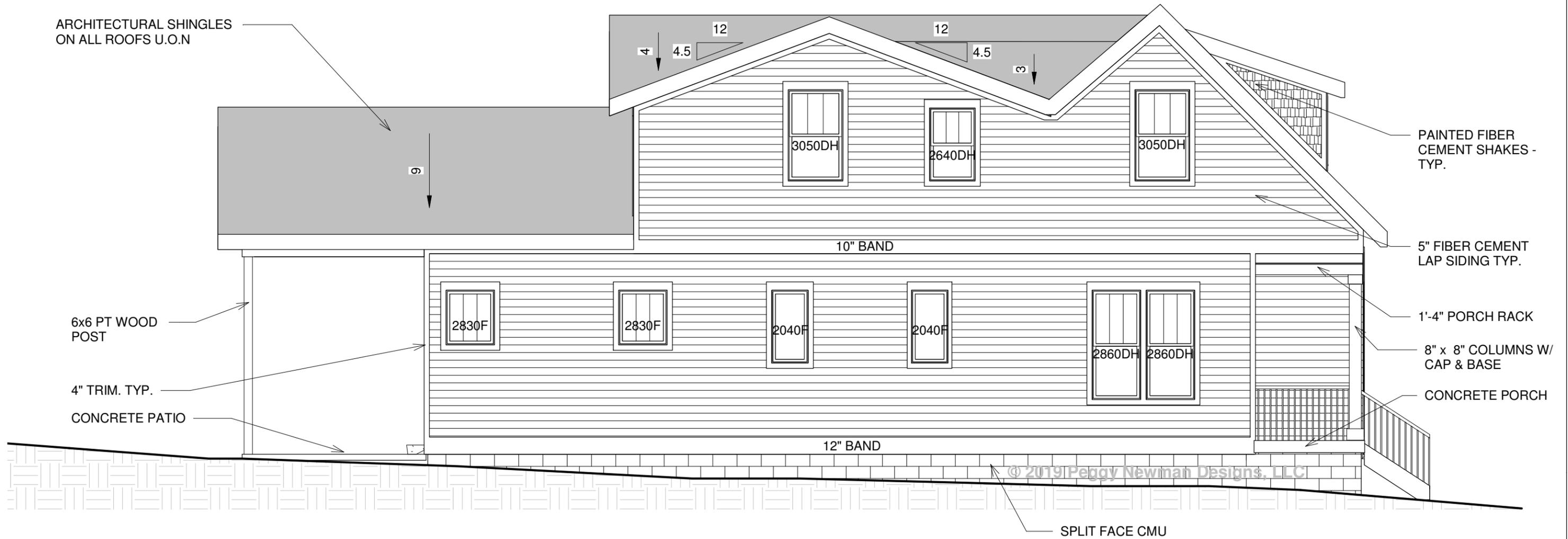
1210 Stratford Ave.  
Nashville, TN 37216

Historic-Front Elevation

Date 9/13/2019  
Drawn by PN / MP

H2

Scale 3/16" = 1'-0"



1 Historic-Left Elevation  
3/16" = 1'-0"

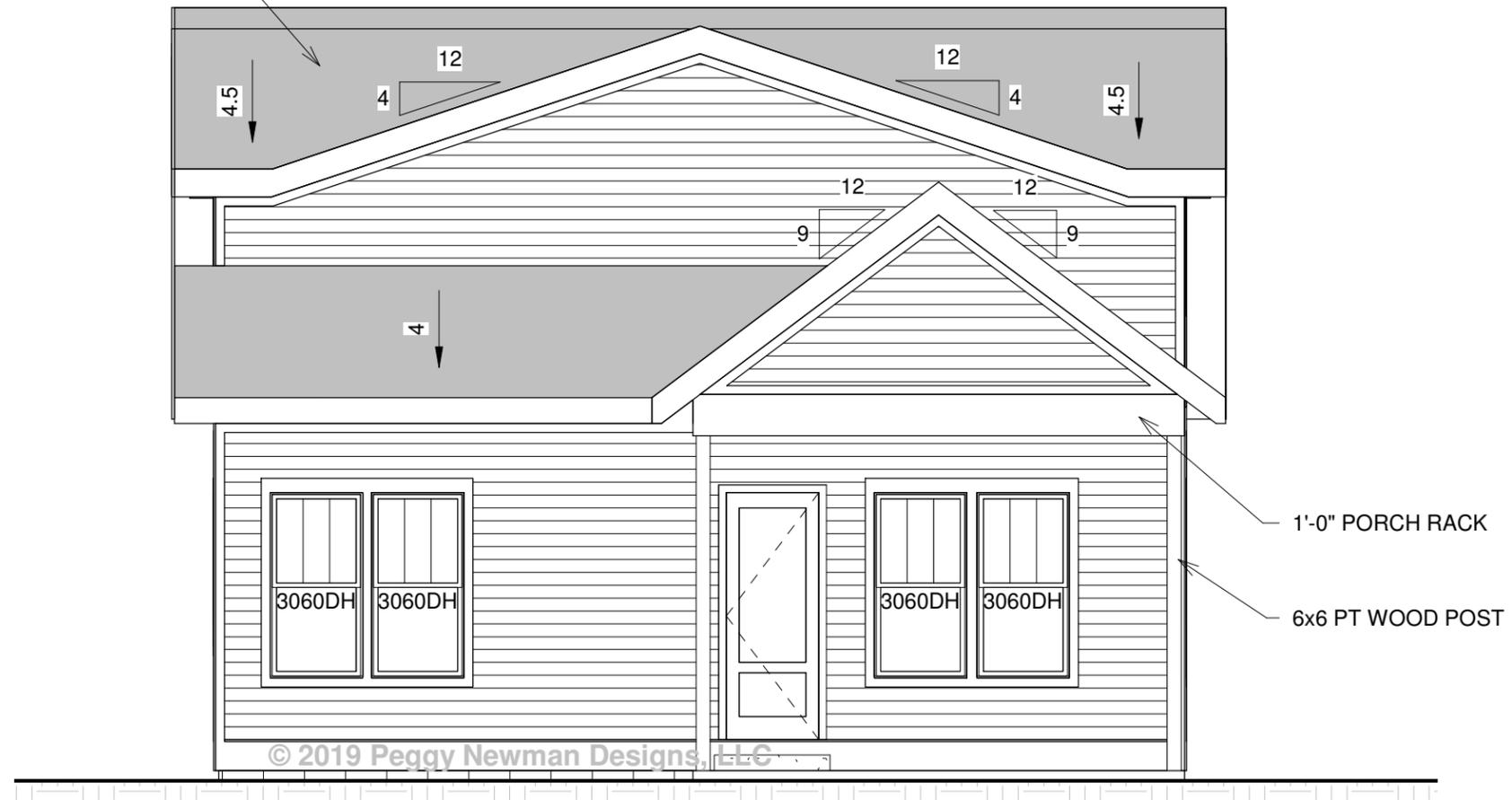


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1210 Stratford Ave.  
Nashville, TN 37216

Historic-Left Elevation		H3
Date	9/13/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

ARCHITECTURAL SHINGLES  
ON ALL ROOFS U.O.N



1 Historic-Rear Elevation  
3/16" = 1'-0"



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1210 Stratford Ave.  
Nashville, TN 37216

Historic-Rear Elevation

Date 9/13/2019  
Drawn by PN / MP

H4

Scale 3/16" = 1'-0"



1 Historic-Right Elevation  
3/16" = 1'-0"

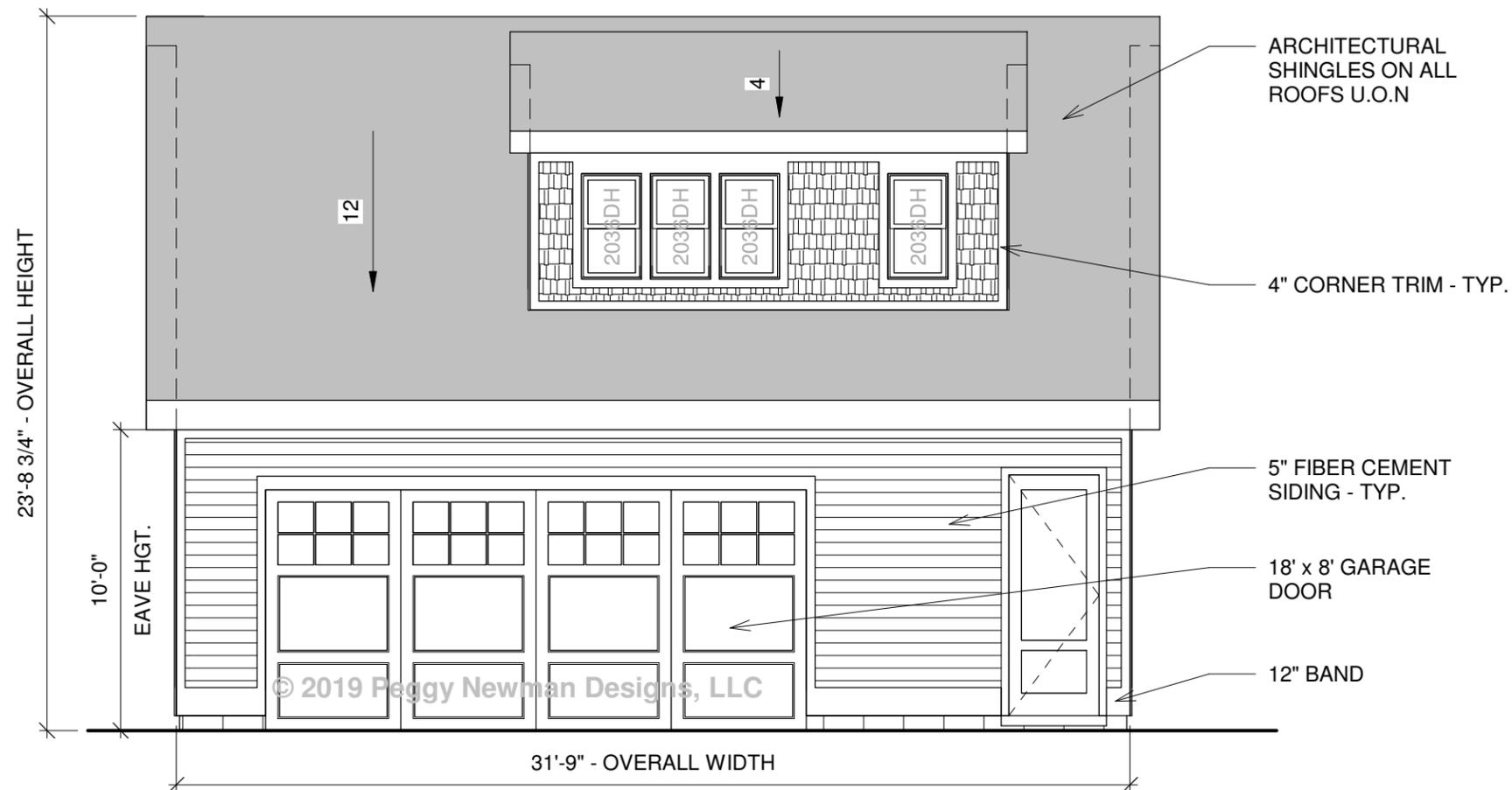
© 2019 Peggy Newman Designs, LLC



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1210 Stratford Ave.  
Nashville, TN 37216

Historic-Right Elevation		H5
Date	9/13/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"



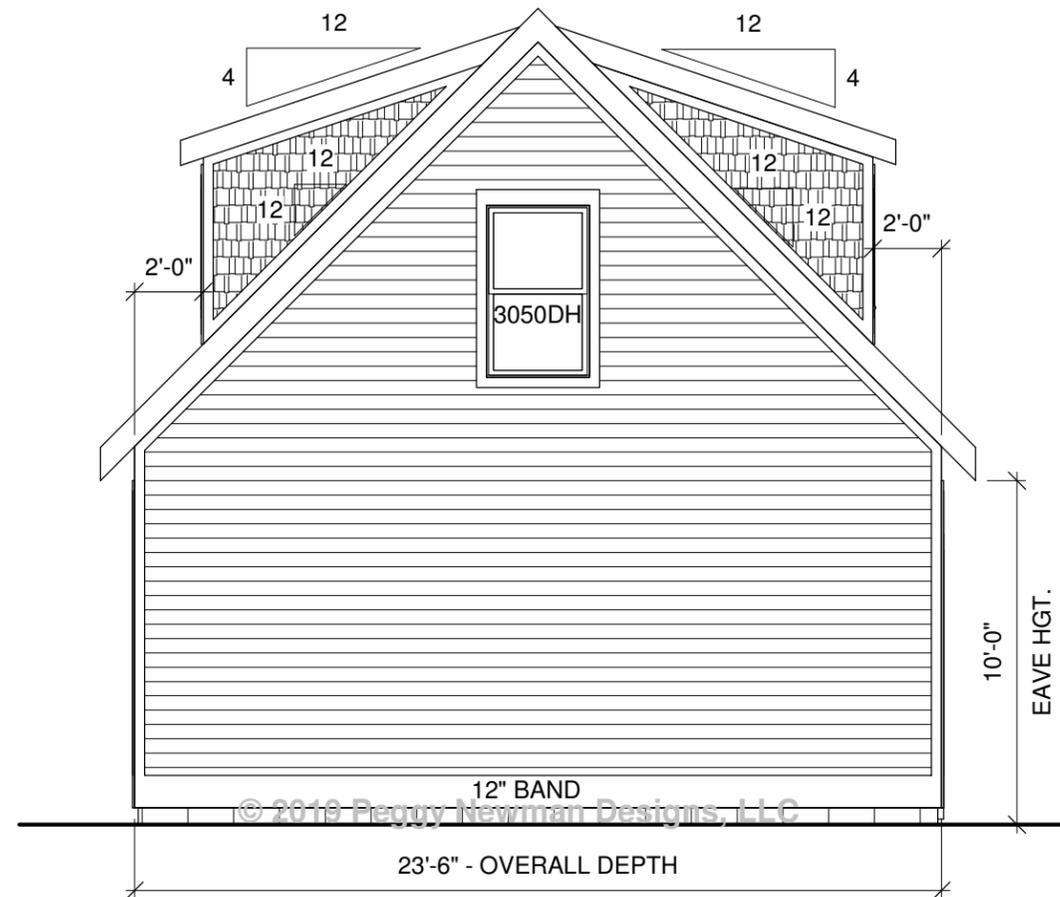
1 Historic - Garage Front Elevation  
 3/16" = 1'-0"



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1210 Stratford Ave.  
 Nashville, TN 37216

Historic - Garage Front Elevation		H6
Date	9/13/2019	
Drawn by	PN / MP	Scale 3/16" = 1'-0"



① Historic - Garage Left Elevation  
3/16" = 1'-0"



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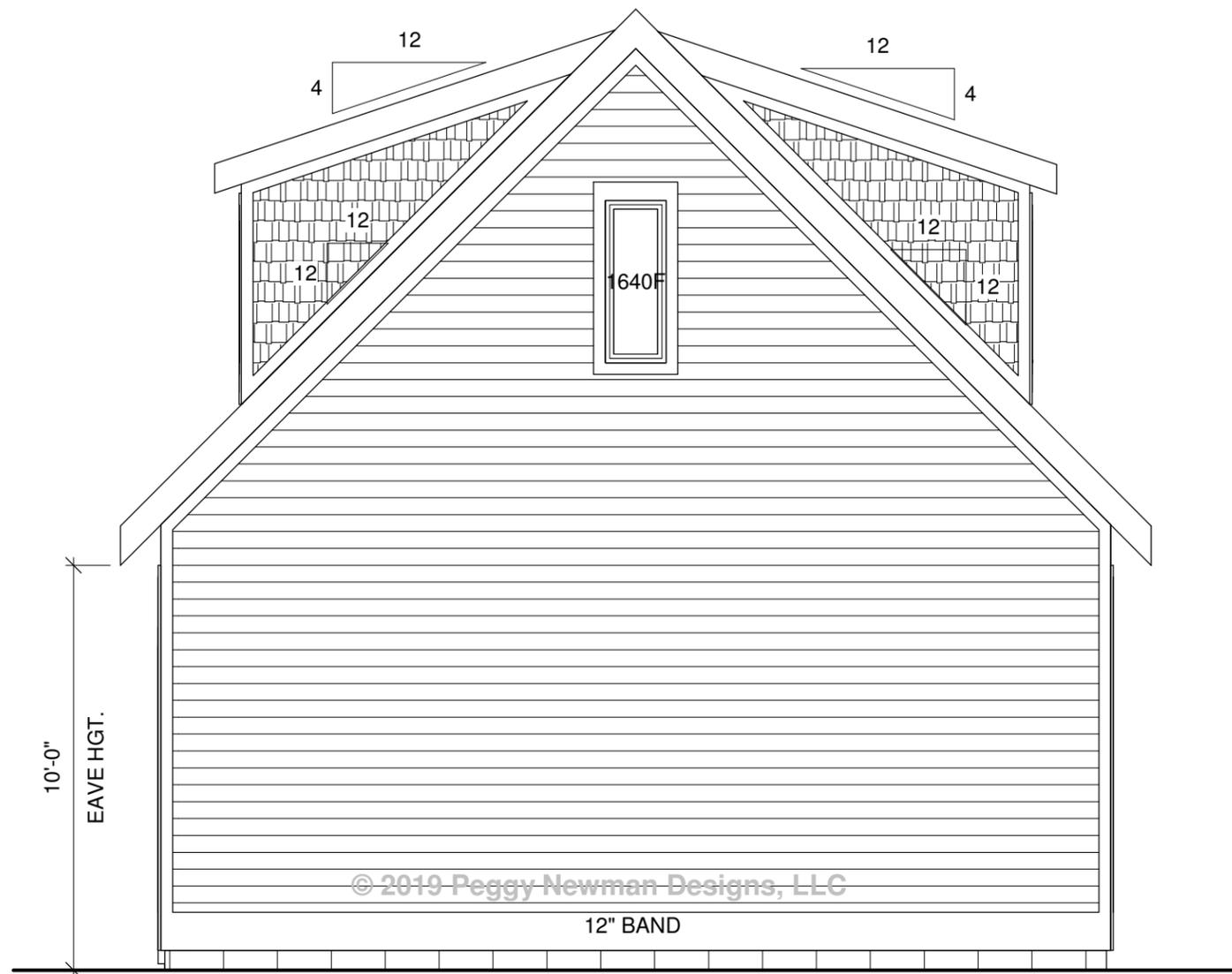
1210 Stratford Ave.  
Nashville, TN 37216

Historic - Garage Left Elevation

Date 9/13/2019  
Drawn by PN / MP

H7

Scale 3/16" = 1'-0"



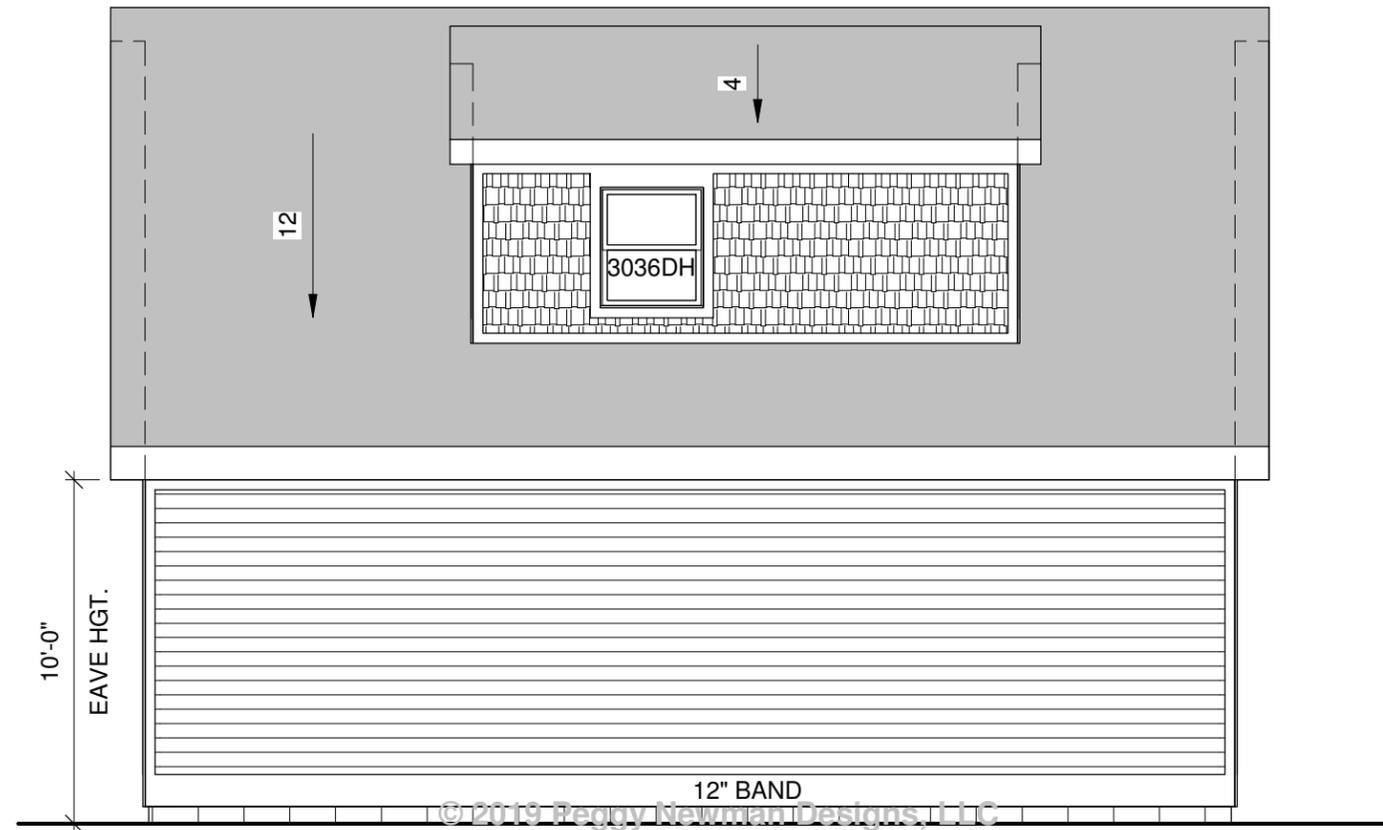
① Historic - Garage Right Elevation  
1/4" = 1'-0"



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1210 Stratford Ave.  
Nashville, TN 37216

Historic - Garage Right Elevation		<b>H8</b>
Date	9/13/2019	
Drawn by	PN / MP	Scale 1/4" = 1'-0"



① Historic - Garage Rear Elevation  
3/16" = 1'-0"

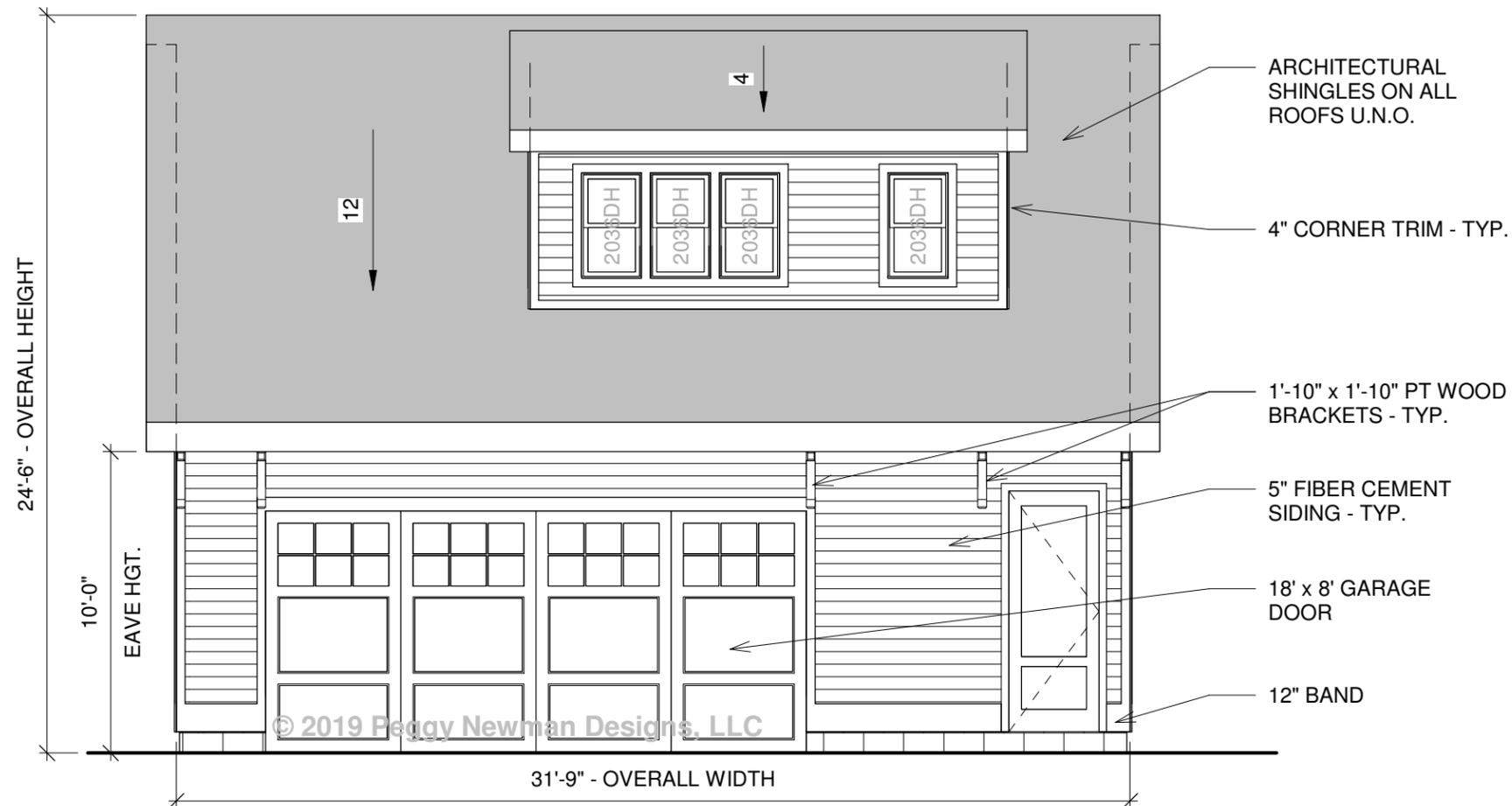


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1210 Stratford Ave.  
Nashville, TN 37216

Historic - Garage Rear Elevation	
Date	9/13/2019
Drawn by	PN / MP
<b>H9</b>	
Scale 3/16" = 1'-0"	





① Historic - Garage Front Elevation  
3/16" = 1'-0"

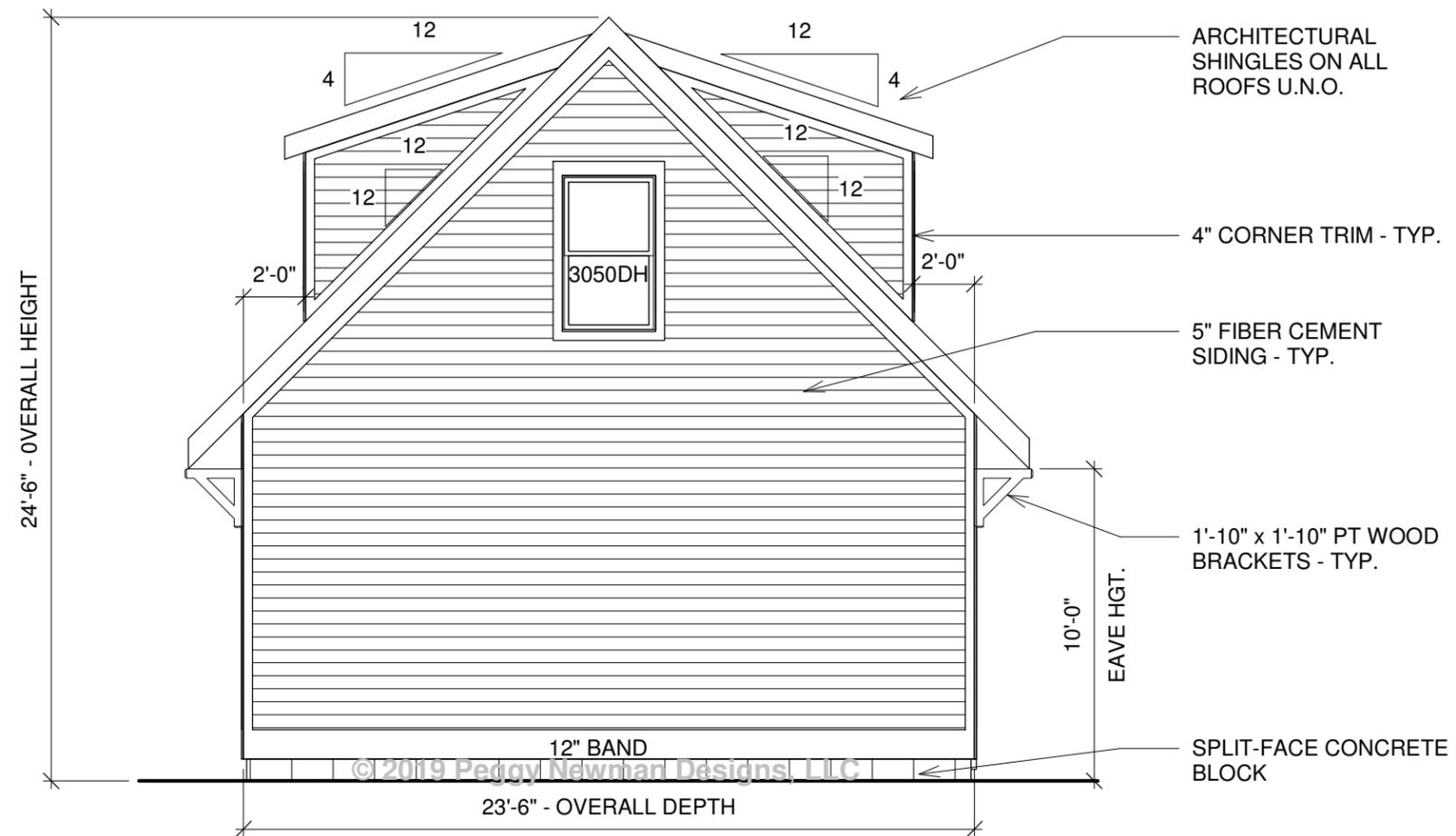


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1210 Stratford Ave.  
Nashville, TN 37216

Historic - Garage Front Elevation		H6
Date	7/5/2020	
Drawn by	PN / MP	Scale 3/16" = 1'-0"

July 2020 Proposed Eave Correction



1 Historic - Garage Left Elevation  
3/16" = 1'-0"

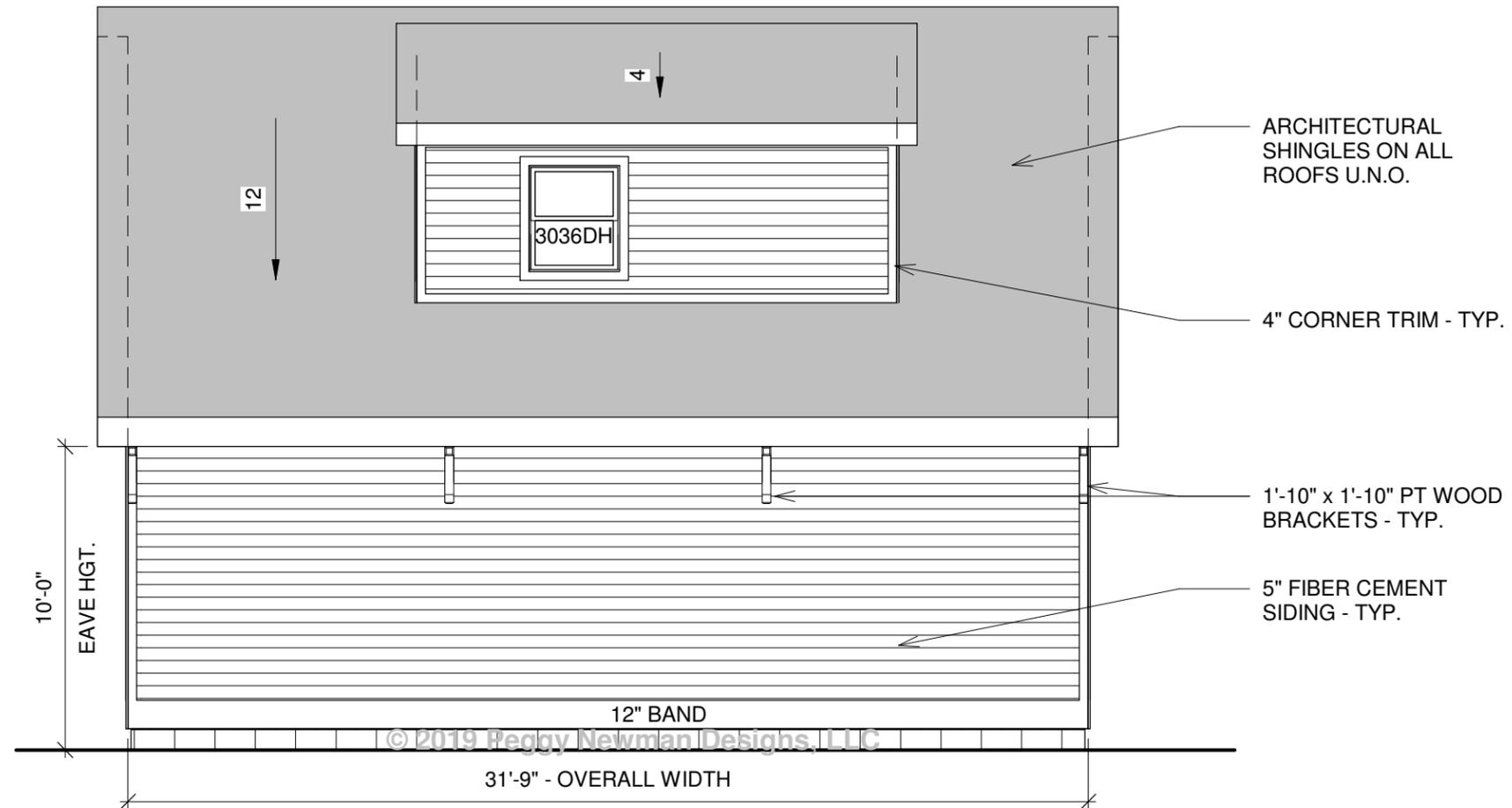


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1210 Stratford Ave.  
Nashville, TN 37216

Historic - Garage Left Elevation		H7
Date	7/5/2020	
Drawn by	PN / MP	Scale 3/16" = 1'-0"





① Historic - Garage Rear Elevation  
3/16" = 1'-0"



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Historic - Garage Rear Elevation		H9
Date	7/5/2020	
Drawn by	PN / MP	Scale 3/16" = 1'-0"