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MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**  
**1822 5<sup>th</sup> Avenue North**  
**July 15, 2020**

**Application:** New Construction—Addition and Outbuildings  
**District:** Salemtown Neighborhood Conservation Zoning Overlay  
**Council District:** 19  
**Base Zoning:** R6-A  
**Map and Parcel Number:** 08108027100  
**Applicant:** Jeff Zeitlin, Developer  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> This application is for a rear addition and two carports at the rear of the lot.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the proposed addition and outbuildings, with the following conditions:</p> <ol style="list-style-type: none"> <li>1. The window and door selections shall be approved prior to purchase and installation; and</li> <li>2. The HVAC Units shall be located beyond the midpoint of the building, or at the rear</li> </ol> <p>With these conditions, staff finds that the application meets the design guidelines for New Construction in the Salemtown Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b>  <b>A:</b> Photographs  <b>B:</b> Site Plan  <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III. New Construction**

#### **A. Height**

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Primary buildings should not be more than 35' tall.

#### **B. Scale**

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

#### **C. Setback and Rhythm of Spacing**

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **D. Materials, Texture, Details, and Material Color**

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. The majority of historic buildings are frame with a lap siding with a maximum of a 5" reveal. Only a few historic examples are masonry.

- a. Inappropriate materials include vinyl and aluminum, T-1-1 type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
  - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding. (Few buildings were historically brick and there are no stone examples.)
    - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
    - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
    - Four inch (4") nominal corner boards are required at the face of each exposed corner.
    - Stone or brick foundations should be of a compatible color and texture to historic foundations.
    - When different materials are used, it is most appropriate to have the change happen at floor lines.
    - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
    - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
    - Texture and tooling of mortar on new construction should be similar to historic examples.
    - *Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*
3. Asphalt shingle and metal are appropriate roof materials for most buildings. Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

## **E. Roof Shape**

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range. See page 9 for examples of common roof forms.
2. Small roof dormers are typical throughout the district and are appropriate on one-story buildings only, unless located on the rear. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

## **F. Orientation**

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house or cut-away porches. Recessed entrances are not found in the overlay but in the greater Salem town neighborhood and may be appropriate in some instances. Simple hoods over the entrance are also appropriate.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.
4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two

driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

#### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### *Multi-unit Developments*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

### **G. Proportion and Rhythm of Openings**

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

### **H. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are*

reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Outbuildings: Height & Scale*

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

2. Historically, outbuildings were utilitarian in character. High-style accessory structures are not appropriate for Salemtown.

3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Salemtown, historic accessory buildings were between 8' and 14' tall.
- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

*Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials. There are no known examples of historic masonry accessory buildings; however, a concrete block building with a parge or stucco coating is appropriate.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
  - d. Stud wall lumber and embossed wood grain are prohibited.
  - e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.
6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.
- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
  - b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
  - c. Generally, attached garages are not appropriate.

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principal dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**I. Utilities**

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

**II. ADDITIONS**

**A. Location**

1. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

- a. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
  - b. Generally rear additions should inset one foot, for each story, from the side wall.
2. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.
- a. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.
  - b. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.
  - c. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

## **B. Massing**

1. In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as an extreme grade change or an atypical lot parcel shape or size. In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.

*When an addition ties into the existing roof, it should be at least 6" below the existing ridge.*

- a. When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above ridge of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

- b. When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

A rear addition that is wider should not wrap the rear corner. It should only extend from the addition itself and not the historic building.

*No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*

*Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*

2. Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.
3. Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep

or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset. Foundation height should match or be lower than the existing structure.

4. The height of the addition's roof and eaves must be less than or equal to the existing structure.
5. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

### **C. Roof Additions: Dormers, Skylights & Solar Panels**

1. Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories. The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.
  - a. Rear dormers should be inset from the side walls of the building by a minimum of 2'. The top of a rear dormer may attach just below the ridge of the main roof or lower.
  - b. Front and side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:
    - New dormers should be similar in design and scale to an existing dormer on the building.
    - If there are no existing dormers, new dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.
    - The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes the width of roof dormers relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.
    - Dormers should not be added to secondary roof planes.
    - Eave depth on a dormer should not exceed the eave depth on the main roof.
    - The roof form of the dormer should match the roof form of the building or be appropriate for the style.
    - The roof pitch of the dormer should generally match the roof pitch of the building.
    - The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)
    - Dormers should generally be fully glazed and aprons below the window should be minimal.
    - The exterior material cladding of side dormers should match the primary or secondary material of the main building.
2. Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).
3. Solar panels should be located at the rear of the building, unless this location does not provide enough sunlight. Solar panels should generally not be located towards the front of a historic building unless this is the only workable location.

D. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

E. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is

compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

F. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

G. Additions should follow the guidelines for new construction.

## **V. B. GUIDELINES**

### **1. Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### **2. Demolition is appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** The building at 1822 5th Avenue North is a one-story frame house, built c. 1925 and is a contributing structure in Salemtown.



Figure 1: 1822 5<sup>th</sup> Avenue North.

**Analysis and Findings:** The applicant proposes to enlarge the house with a rear addition and to construct two outbuildings. The new addition would serve as a second dwelling.

**Demolition:** A portion of the rear wall and part of the rear slope of the roof will be removed to accommodate the connection of the proposed addition. Because these portions of the house are only visible from the rear, they do not contribute strongly to the historic character of the house.

Staff finds that the proposed demolition of the outbuilding meets Section V.B.2 of the design guidelines for appropriate demolition and does not meet Section V.B.1 for inappropriate demolition.

**Location & Removability:** The new addition will be located at the rear of the historic house, with its walls stepped in from the houses side walls. Stepping in from the house in this way helps to distinguish the addition as new construction and maintain the integrity of the original from.

Staff finds that that the location of the addition is appropriate and that by attaching in this manner, the impact of the addition would be reversible. Staff finds that the project meets sections IV.A and IV.F of the design guidelines.

**Design:** The character of the addition will be similar to that of the existing house with a roof form, window pattern, and exterior materials similar to the original building. The addition will be sufficiently differentiated by being inset from the original building.

Staff finds that the project meets section sections IV.B, IV.C, and IV.G of the design guidelines.

**Height & Scale:** The sides of the addition will be stepped in from the sides of the existing house; approximately thirteen inches (13”) on the right side and nineteen inches (19”) on the left side. After a span of four feet (4’) the left side wall will step one foot (1’) wider, which is still seven inches (7”) in from the original wall. The roof of the house will have a cross-gabled form with a ridge and eave height matching the original roof.

The footprint of the addition will be approximately thirteen hundred square feet (~1,300 sq. ft.) whereas the original building’s footprint size is approximately one thousand square feet (~1,00 sq. ft.). It’s generally not appropriate for additions to be more than

double the footprint of an historic house, however staff finds the scale of the proposed addition is compatible because it matches the height of the historic house and it is narrower, which helps to minimize its perceived scale.

Staff finds that the height and scale of the addition will be appropriate and that it will meet sections III.A, III.B, and IV.B of the design guidelines.

Setback & Rhythm of Spacing: With the addition stepped in from the sides of the house, the new construction meets the standard five foot (5’) setbacks from the side property lines, and the addition will not disrupt the perceived rhythm of spacing between adjacent buildings.

Staff finds that the project meets section III.C of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/Make</b>	<b>Approved or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Concrete Block, Parge Coated	Typical	Yes	
<b>Cladding</b>	Cement Fiberboard Clapboard	Smooth, Matching Exposure	Yes	
<b>Trim</b>	Wood, Cement Fiberboard	Smooth Faced	Yes	
<b>Roofing</b>	Asphalt Single	Color to Match Existing	Yes	
<b>Rear Porch Floor</b>	Concrete	Typical	Yes	
<b>Rear Porch Posts</b>	Wood	Pressure Treated	Yes	
<b>Windows</b>	Not Indicated	Not Indicated		X
<b>Doors</b>	Not Indicated	Not Indicated		X

Staff find that the known materials are appropriate and recommends that the window and door selections are submitted for approval prior to construction to ensure that the project meets Section III.D of the design guidelines.

Roof form: The primary roof on the addition will be a clipped gable, whereas the form of the original roof is a gable-on-hip. The pitch of the clipped gable will match the pitch of the original roof, and the form will help to reduce its silhouette outside that of the original house. Between these two primary roof components there will be a “saddle” shaped

connector with a 7.5/12 pitch, which is repeated on the rear-most component of the addition in a rear-facing gable.

The proposed roof forms are commonly found in the district and are compatible with the existing structure. Staff finds that the roofs of the addition meet Section II.B of the design guidelines.

Proportion and Rhythm of Openings: The submitted plans do not indicate any changes to the window and door openings on the existing house. There are no large expanses of wall space on the new construction without a window or door opening. In general, the windows on the proposed addition match the proportions of the existing windows, except for two square windows on the left elevation. Staff finds these windows will be compatible, as most windows exhibit a height to width ratio of 2:1 and the square windows are generally toward the rear.

Staff finds the project’s proportion and rhythm of openings will meet Section III.G.

Appurtenances & Utilities: The HVAC units are not indicated. Staff recommends that they shall be located beyond the midpoint of the building, or at the rear.

With the condition that the HVAC unit locations are approved, staff finds that the project meets Section III.I for site features.

Outbuildings: Two new outbuildings are proposed to be built at the rear of the lot.

*Design Standards:* The outbuildings have a simple, utilitarian design that is appropriate for outbuildings. The outbuilding’s forms, detailing, and roofs do not contrast with the primary structure and will be appropriately located at the rear of the lot.

Staff finds that the character of the outbuildings meet III.H.2 of the design guidelines.

Roof Shape:

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Primary Form	Front-Gable	Yes
Primary Roof Pitch	6:12	Yes

These roof the forms and pitches are similar to historic outbuildings, therefore Staff finds that the project meets Sections III.H.1 and III.H.3 of the design guidelines.

*Materials:*

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Concrete Slab	Typical	Yes	
<b>Cladding</b>	Cement Fiberboard Clapboard	Smooth, Matching Exposure	Yes	
<b>Trim</b>	Wood or Cement-fiber	Smooth Faced	Yes	
<b>Roofing</b>	Asphalt Shingle	Match Primary	Yes	
<b>Doors</b>	Glass Upper, Panel Below	Not Indicated		X
<b>Vehicle Doors</b>	Multi-light, Panel	Not Indicated		X

With the staff’s final approval of the door selections, staff finds that the known materials meet sections III.H.4 and III.H.5 of the design guidelines.

*General requirements for Outbuildings:* To meet the design guidelines, the answer to each of these questions should be “yes”, when applicable.

*Bulk and Massing*

	<b>YES</b>	<b>NO</b>
<b>If there are stairs, are they enclosed?</b>	N/A	
<b>If a corner lot, are the design and materials similar to the principle building?</b>	N/A	
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	N/A	
<b>If dormers are used, do they sit back from the wall below by at least 2’?</b>	N/A	
<b>Is the roof pitch at least 4/12?</b>	Yes	
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	N/A	
<b>Is the building located towards the rear of the lot?</b>	Yes	

Staff finds that the outbuilding meets section III.H of the design guidelines.

*Site Planning:*

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Space between principal building and DADU/Garage</b>	20'	22'
<b>Rear setback</b>	5'	10'
<b>L side setback**</b>	5'	3'
<b>R side setback**</b>	5'	3'
<b>How is the building accessed?</b>	From the alley	Yes

Staff finds that the location of the proposed outbuilding is compatible with the location of outbuildings historically and that it meets the setback and site planning requirements of section III.H of the design guidelines.

*Massing Planning:*

	<b>Lot is less than 10,000 square feet</b>	<b>50% of first floor area of principle structure</b>	<b>Proposed footprint</b>
<b>Max. Square Footage</b>	750 sq. ft.	1,250 sq. ft.	722 sq. ft. Total

	<b>House Heights</b>	<b>Potential maximum per guidelines.</b>	<b>Proposed (up to the lesser number to the left)</b>
<b>Ridge Height</b>	20'-5"	25'	15'
<b>Eave Height</b>	10'	10'	9'

Staff finds that the location, height, scale, roof form, setbacks, and materials of the proposed outbuildings will meet Section III.H of the design guidelines for outbuildings.

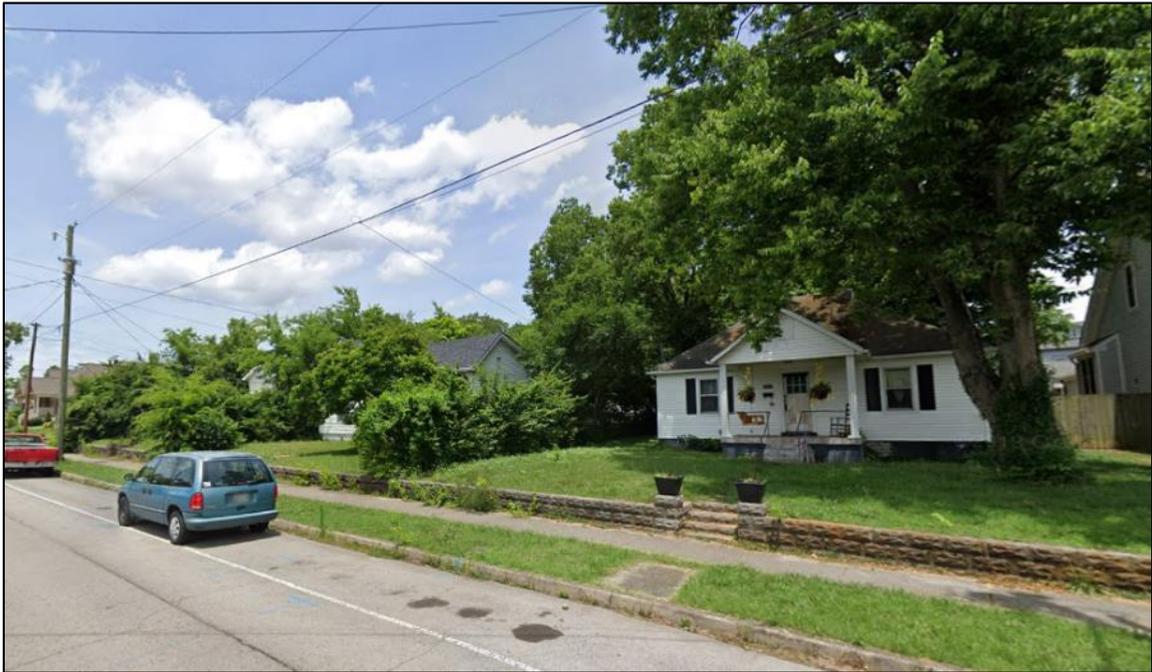
*Appurtenances & Utilities:* New driveways at the rear of the lot will be added to connect the carports to the rear alley. No other changes to the utilities or appurtenances were noted. The project meets Section III.I for site features.

**Recommendation:** Staff recommends approval of the proposed addition and outbuildings, with the following conditions:

3. The window and door selections shall be approved prior to purchase and installation; and
4. The HVAC Units shall be located beyond the midpoint of the building, or at the rear

With these conditions, staff finds that the application meets the design guidelines for New Construction in the Salemtown Neighborhood Conservation Zoning Overlay.

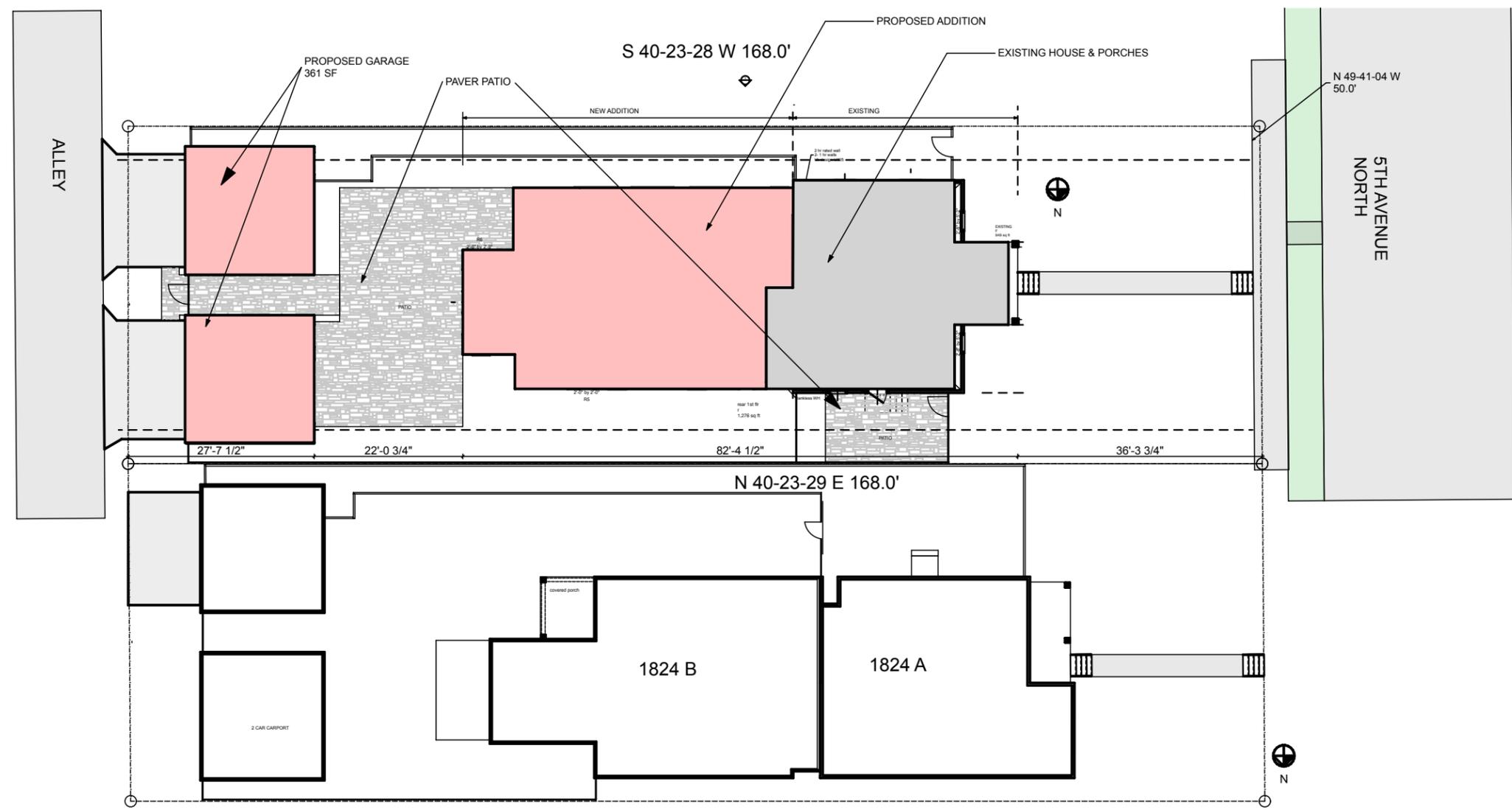
**ATTACHMENT A: PHOTOGRAPHS**



1822 5<sup>th</sup> Avenue North (at right) and the context looking North.



1822 5<sup>th</sup> Avenue North (at left) and the context looking South.



1

**SITE PLAN - PROPOSED**

SCALE: 1" = 20'



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SUITE 200  
NASHVILLE, TN 37204  
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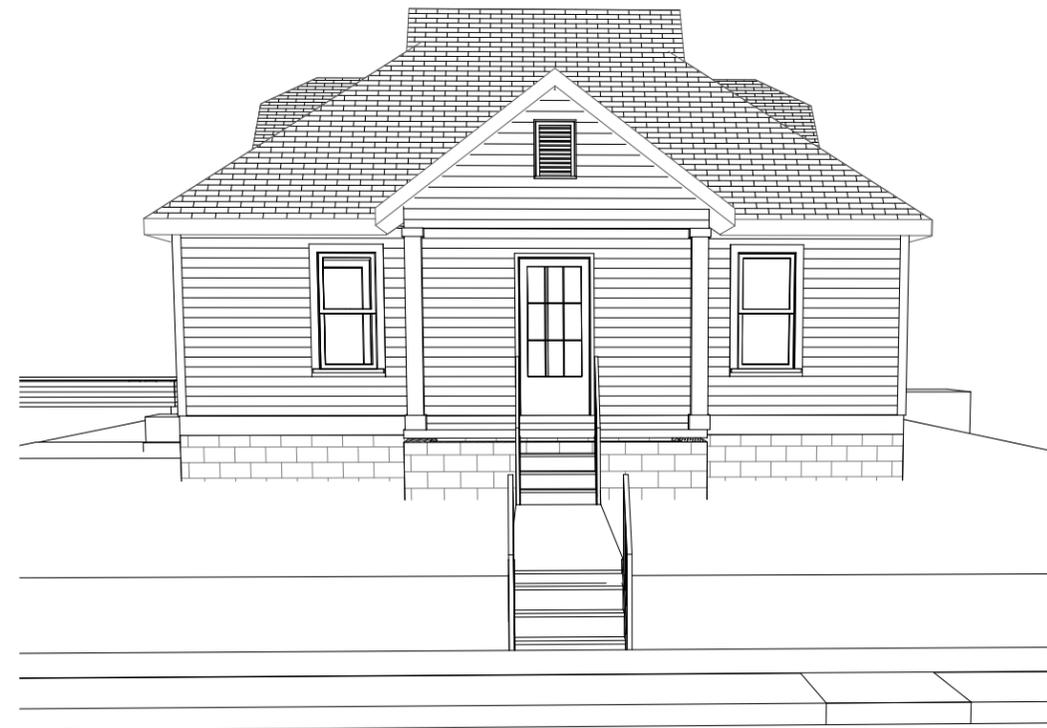
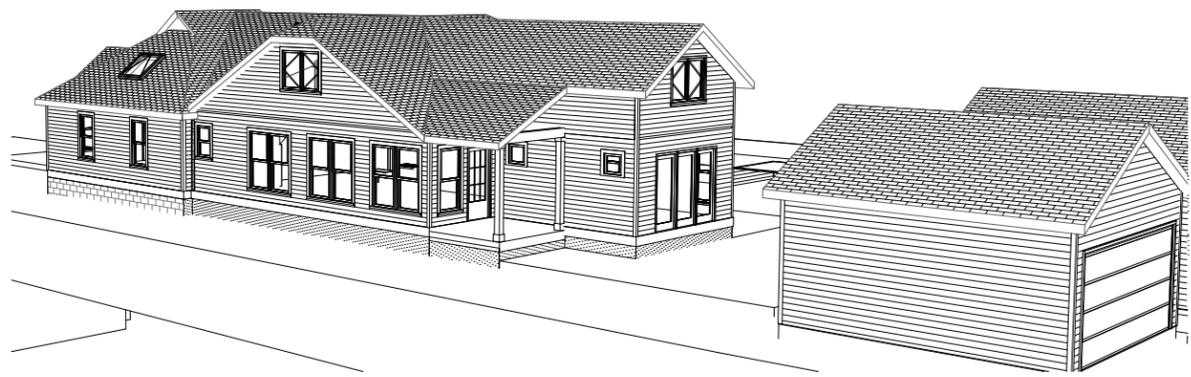
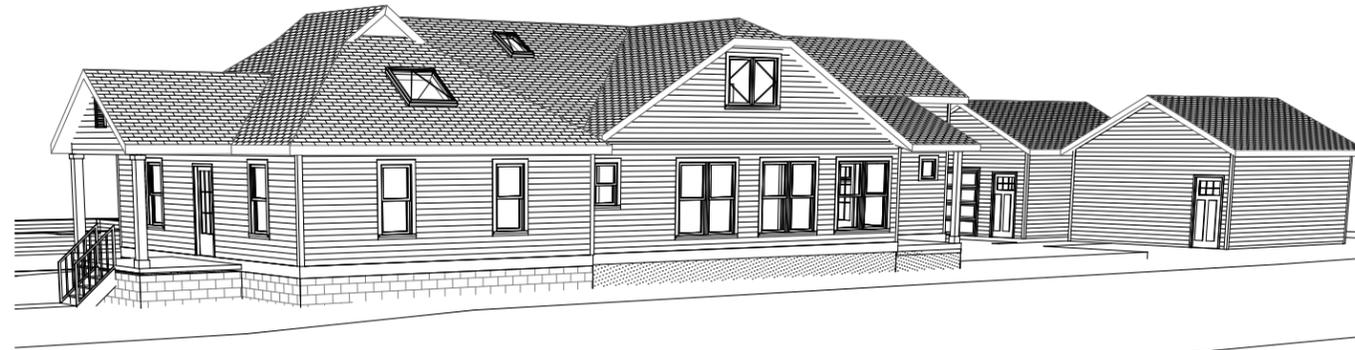
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SITE PLAN



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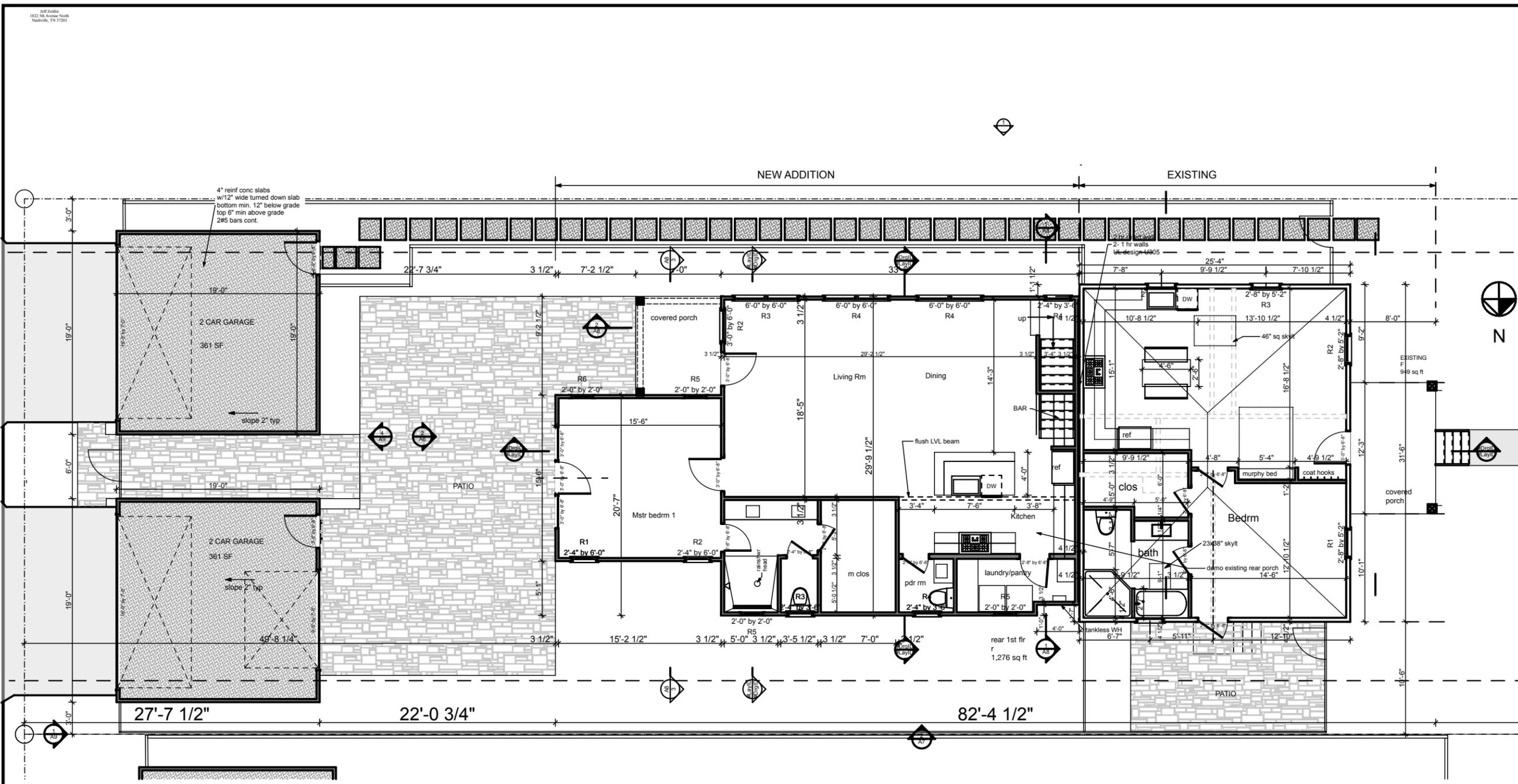
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3D VIEWS



**1** 1st FLOOR  
SCALE: 1" = 10'

FLOOR AREA REAR HALF	
Zone Name	Calculated Area
rear 1st flr	1,276
rear 2nd flr	846
	2,122 sq ft

FLOOR AREA FRONT HALF	
Zone Name	Calculated Area
EXISTING	949
	949 sq ft

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1ST FLR PLAN



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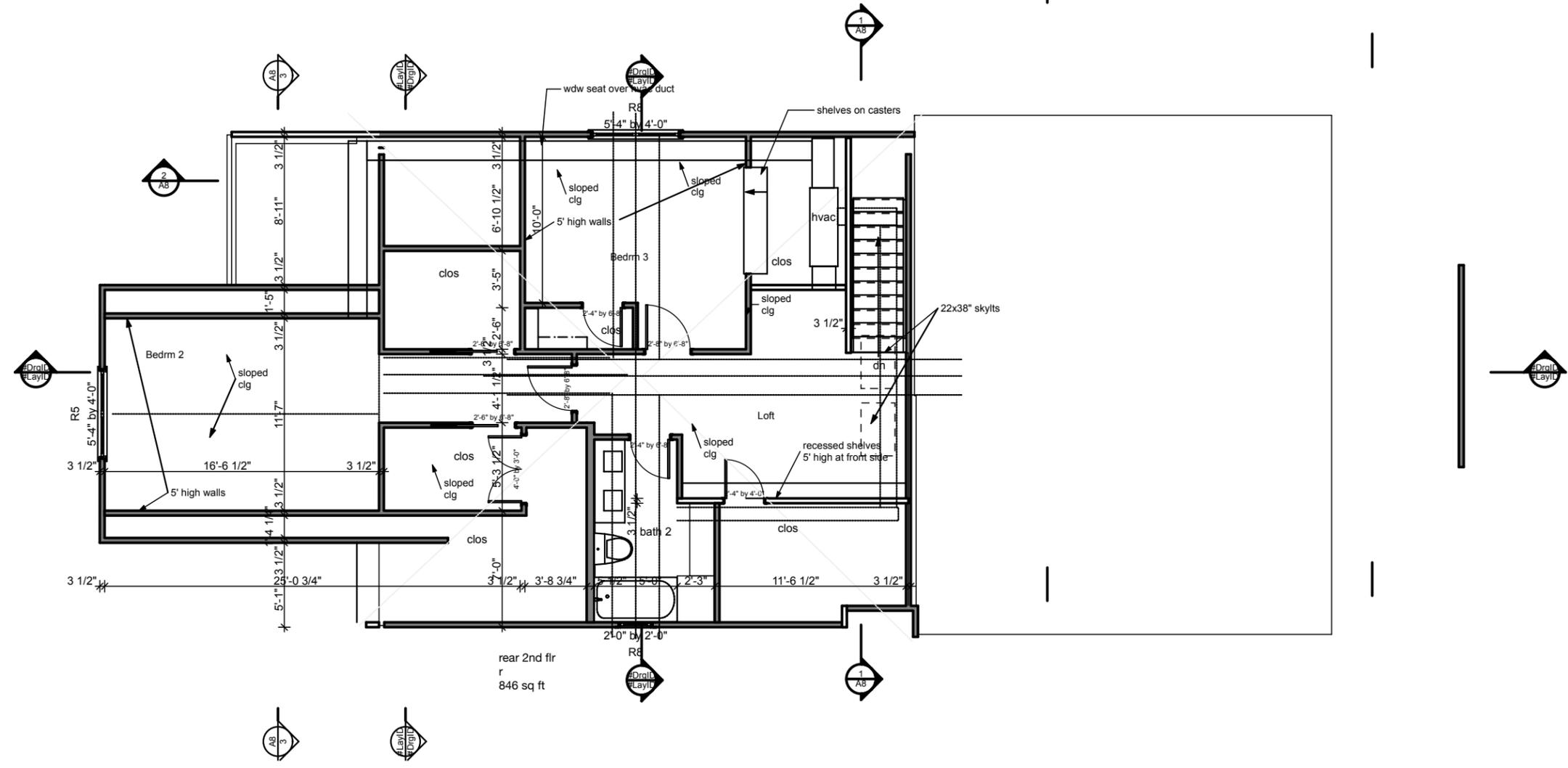
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2ND FLR PLAN

A4



1

2ND FLR PLAN

SCALE: 1/8" = 1'-0"



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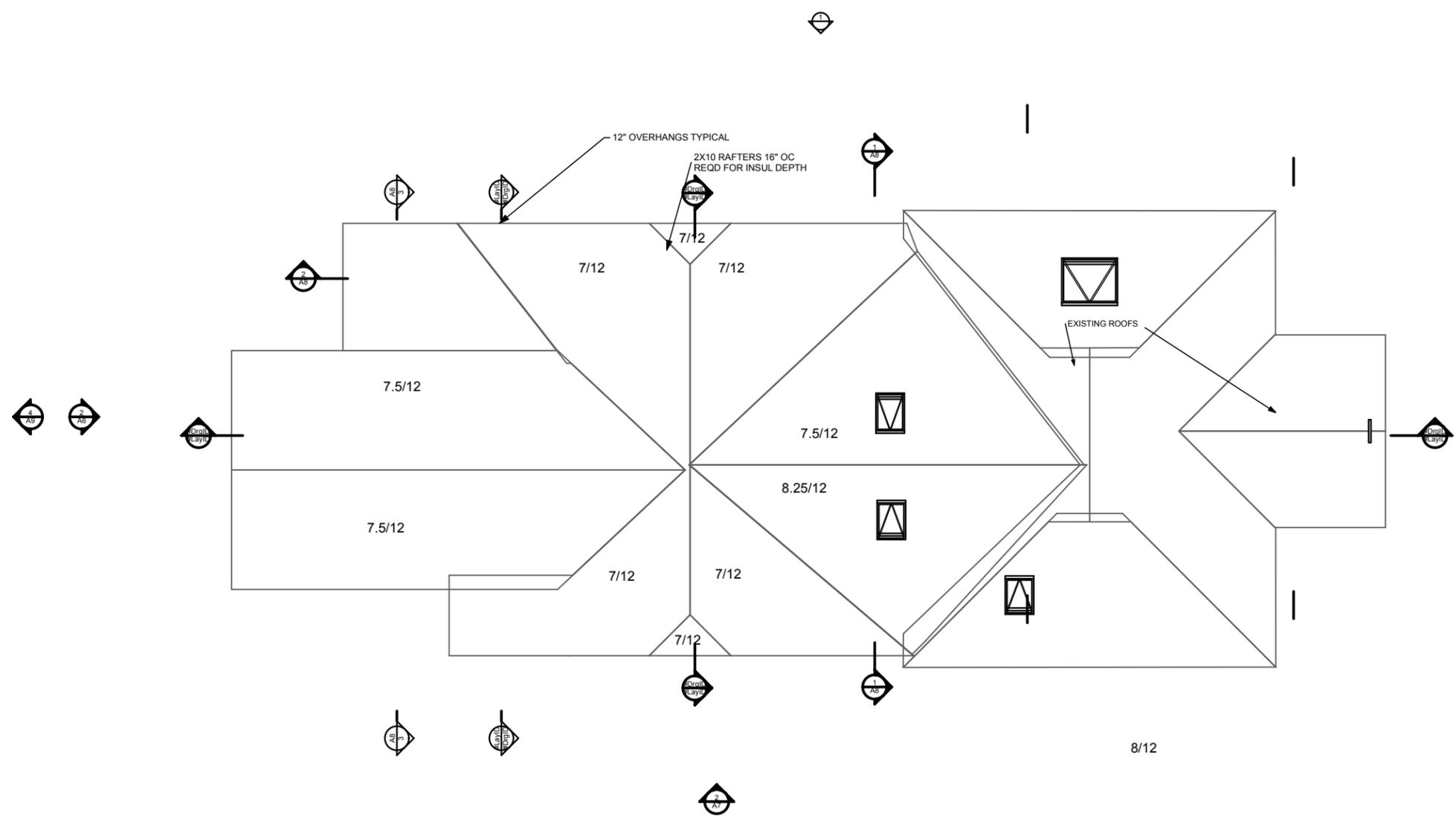
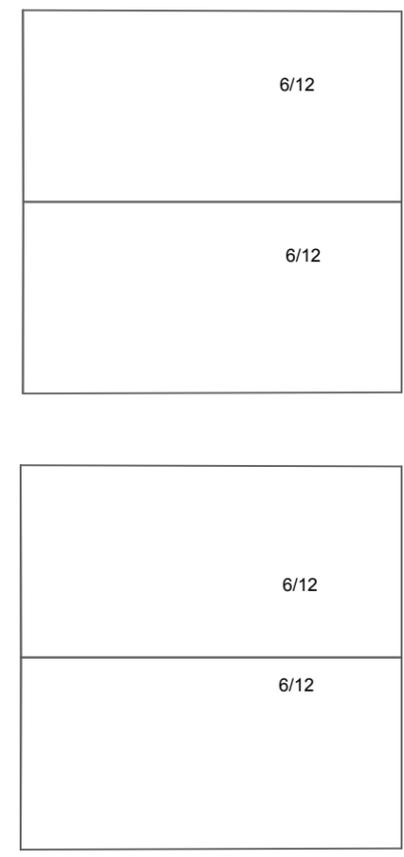


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ROOF PLAN

A5



1

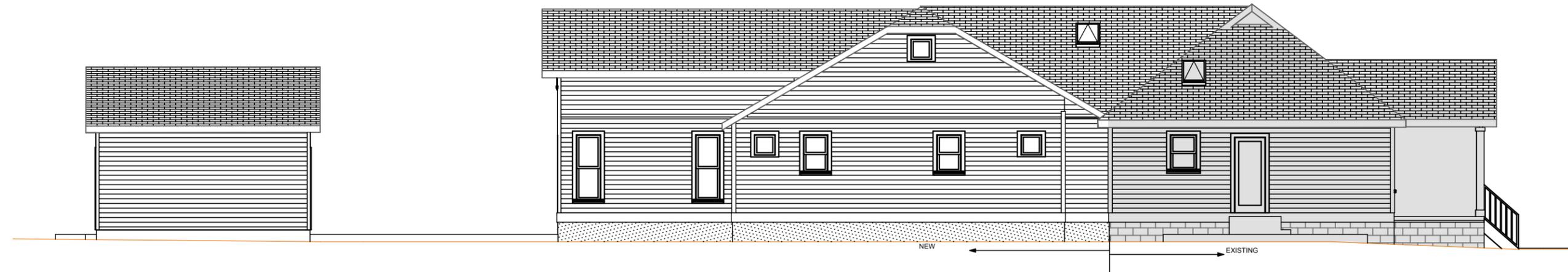
# ROOF PLAN

SCALE: 1" = 10'

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**1** RIGHT ELEVATION  
SCALE: 1" = 10'



**2** LEFT ELEVATION  
SCALE: 1" = 10'

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ELEVATIONS 1



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**2** REAR ELEVATION  
SCALE: 1/8" = 1'-0"



**1** FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

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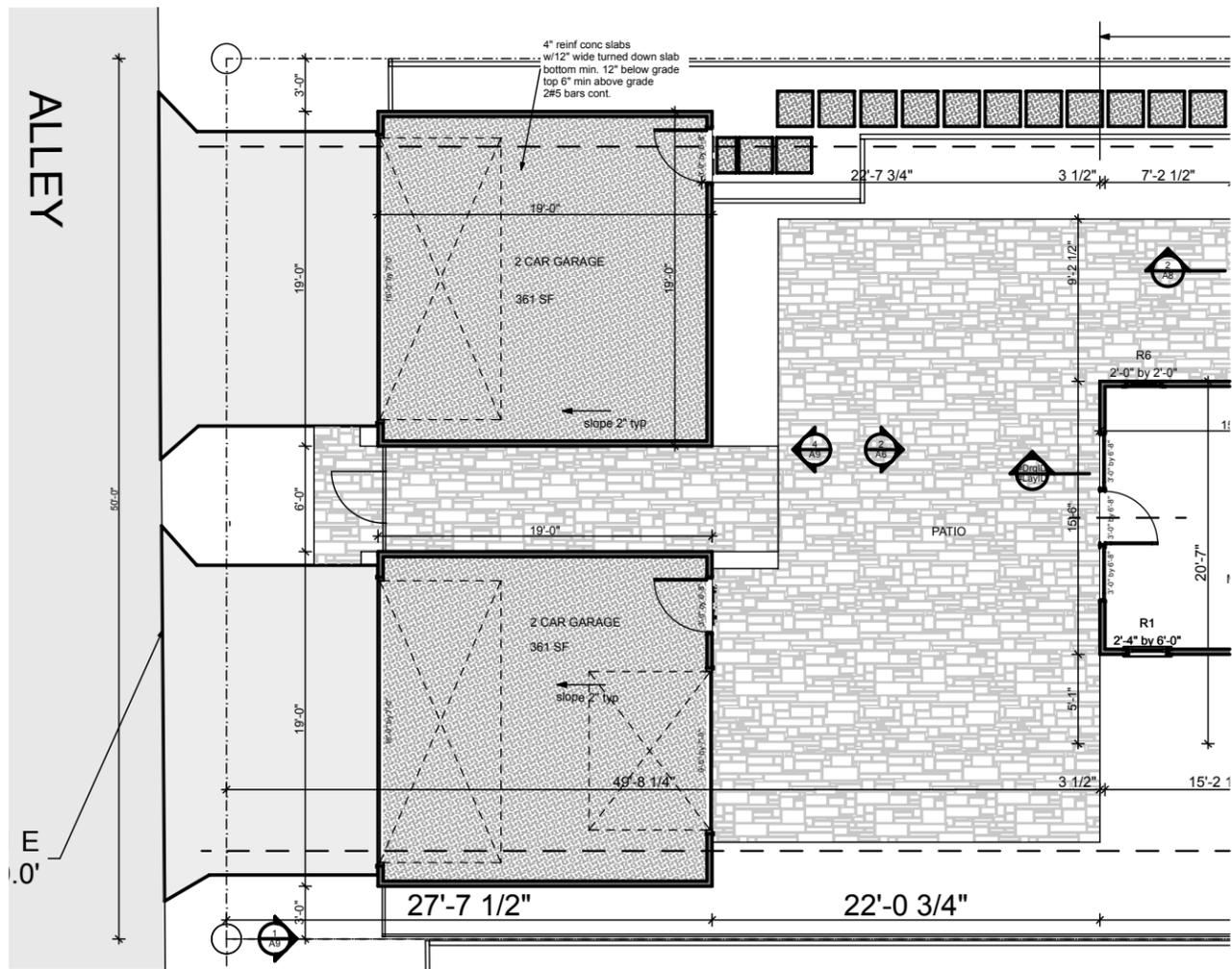
ELEVATIONS 2



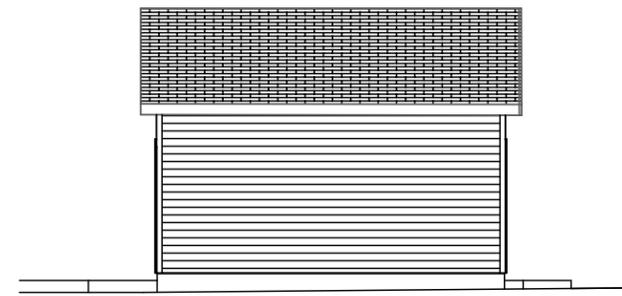
**4 FRONT ELEV - GARAGES**  
SCALE: 1" = 10'



**1 REAR ELEV - GARAGES**  
SCALE: 1" = 10'



**2 SITE PLAN**  
SCALE: 1" = 10'



**3 SIDE ELEVATIONS**  
SCALE: 1" = 10'



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GARAGES