

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
2809 27th Avenue South
July 15, 2020

Application: New Construction—Addition to an Outbuilding; Setback Determination

District: Hillsboro-West End Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 11703015300

Applicant: John Broderick

Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: Application is to construct an addition to an existing outbuilding and to reduce the right-side setback from five feet (5') to three feet, two inches (3' 2").

Recommendation Summary: Staff recommends approval of the project with the setback determination, finding that it meets Section II.B.h of the Hillsboro-West End Neighborhood Zoning Overlay Design Guidelines.

Attachments

A: Photographs

B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.
- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Background: The existing house and outbuilding located at 2809 27th Avenue South were approved by MHZC in February 2019 (Figures 1 and 2). The structures are non-contributing given their recent date of construction.



Figure 1. Recent infill at 2809 27th Avenue South.



Figure 2. Existing outbuilding.

Analysis and Findings: Application is to construct a single-story addition to the existing outbuilding, which does not include a dwelling unit. The request includes a setback determination to reduce the right-side setback from five feet (5') to three feet, two inches (3' 2").

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	n/a	Yes
Space between principal building and DADU/Garage	20'	45'
Rear setback	3'	24'-5"
L side setback**	5'	5'
R side setback**	5'	3'-2" **
How is the building accessed?	From the alley or existing curb cut	Existing driveway

** The outbuilding was approved in 2019 with a footprint of approximately six hundred seventy-seven square feet (677 sq. ft.). The proposed addition will add one hundred seventy-six square feet (176 sq. ft.) to the footprint for a total of eight hundred fifty-three square feet (853 sq. ft.). The minimum side setbacks for outbuildings with a footprint less than seven hundred square feet (700 sq. ft.) is three feet (3'); however, the minimum side setback increases to five feet (5') if the footprint exceeds seven hundred square feet (700 sq. ft.).

The addition will be located on the left-side of the outbuilding, which will meet the minimum side setback. The existing outbuilding, however, was constructed three feet, two inches (3'-2") from the right-side property line. Staff finds that the proposed setback determination could be appropriate in this case since the outbuilding will sit no closer to the right-side property line than it currently is located. In addition, the footprint of the proposed addition is small and single-story. For these reasons, staff finds that the requested setback determination can be appropriate in this case.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	26'-8"	25'	25'
Eave Height	15' average	17'	15'

	Lot is greater than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	1,000 sq. ft.	1,308 sq. ft.	853 sq. ft.

The proposed maximum ridge height and eave heights are unchanged from the February 2019 approval. As proposed, the addition is single-story with a maximum wall height of eight feet (8').

General requirements for outbuildings and DADUs:

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Shed	Yes
Primary roof slope	4/12	Yes

The existing outbuilding has a cross-gable roof form with a 9/12 pitch. Staff finds the shed roof form of the addition to be appropriate given its single-story scale.

Design Standards: The existing outbuilding is two stories, and the proposed addition will be one-story. The addition has a simple design that can be appropriate for a single-story addition. Staff finds that the proposed design meets Section II.B.h.1 of the design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood	Requires Additional Review?
Foundation	Concrete slab	Natural	Yes	No
Cladding	Hardie Plank Lap Siding	5" reveal, smooth	Yes	No
Roofing	Asphalt shingle	color to match existing	Yes	No
Trim	Wood or cement fiberboard	Smooth	Yes	No

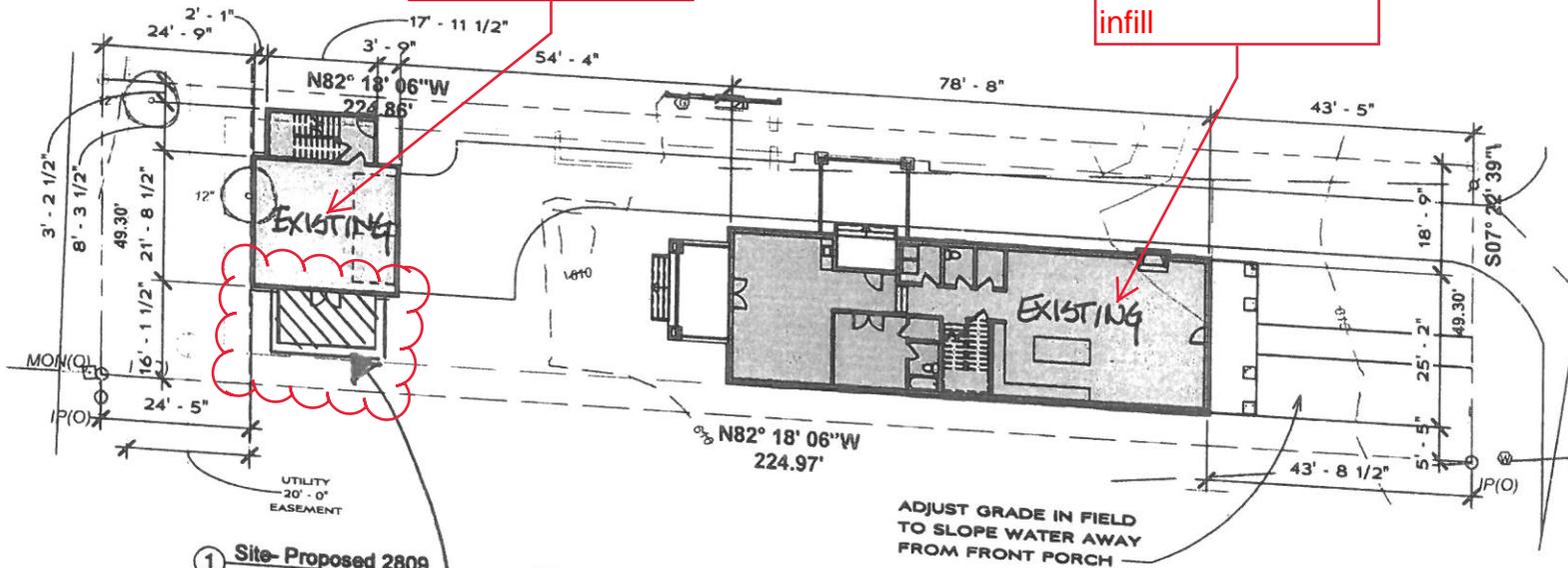
The materials for the addition will match those previously approved for the outbuilding. The addition will not include any new exterior windows or doors. Staff finds that the materials meet Section II.B.h.1 of the design guidelines.

Staff finds that the propose outbuilding's height, scale, placement, setbacks, materials, and design meet Section II.B.h.1. of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the setback determination, finding that it meets Section II.B.h of the Hillsboro-West End Neighborhood Zoning Overlay Design Guidelines.

See HCP
2019007832 for
outbuilding

See HCP
2019007826 for
infill



① Site-Proposed 2809
1" = 20'-0"



PROPOSED
STORAGE
ROOM
(11x16)

MAIN LEVEL -	1982 SF
UPPER LEVEL -	2002 SF
GARAGE -	677 SF
GARAGE UPPER -	520 SF



2809 27TH AVE S
 BUILDER'S SET
 SITE PLAN
 3-05-19
 1758
 A0.1
 MANUEL ZEITLIN ARCHITECTS

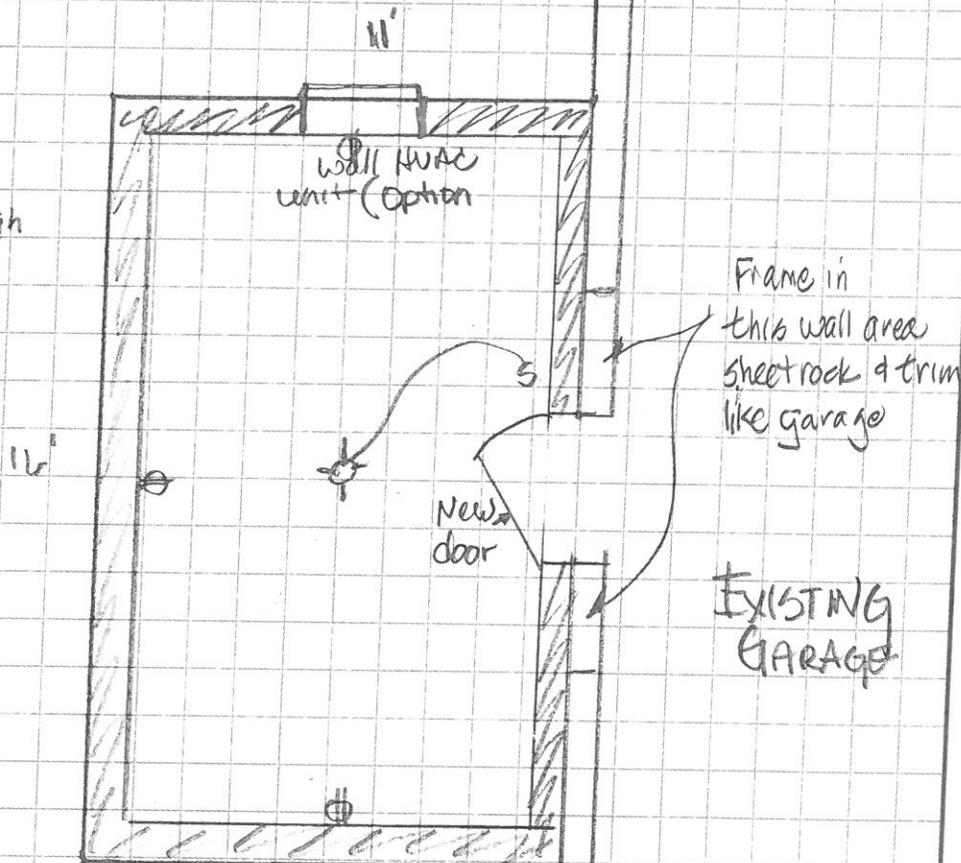
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 516 HAGAN ST. SUITE 100 NASHVILLE, TN 37203

JOB: James & Tracey Cooper 2809 27th Ave S,

DATE: 2-6-80.

Turndown Conc. Slab
4 walls Cmu block 8' high
Core Filled w/ rebar

New 3'-6" metal door



No windows or doors;
air unit - will look like
vent

2x6 rafters
w/ shingles

Poured Conc ceiling

Gutters & d.s. to match

Exterior: Hardi Siding
to match existing