

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION

1807 Russell Street
September 16, 2020

Application: Setback Determination

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Base Zoning: R6

Map and Parcel Number: 08314007300

Applicant: Hunter Conley, Allard Ward Architects

Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: The request is for a setback determination to reduce the left side setback from five feet (5') to three feet (3') for an addition to the historic house. The addition was approved administratively in August 2020. A subsequent survey indicated the need for a setback determination.

Recommendation Summary: Staff recommends approval of the setback determination, finding that it meets II.B.3 of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*.

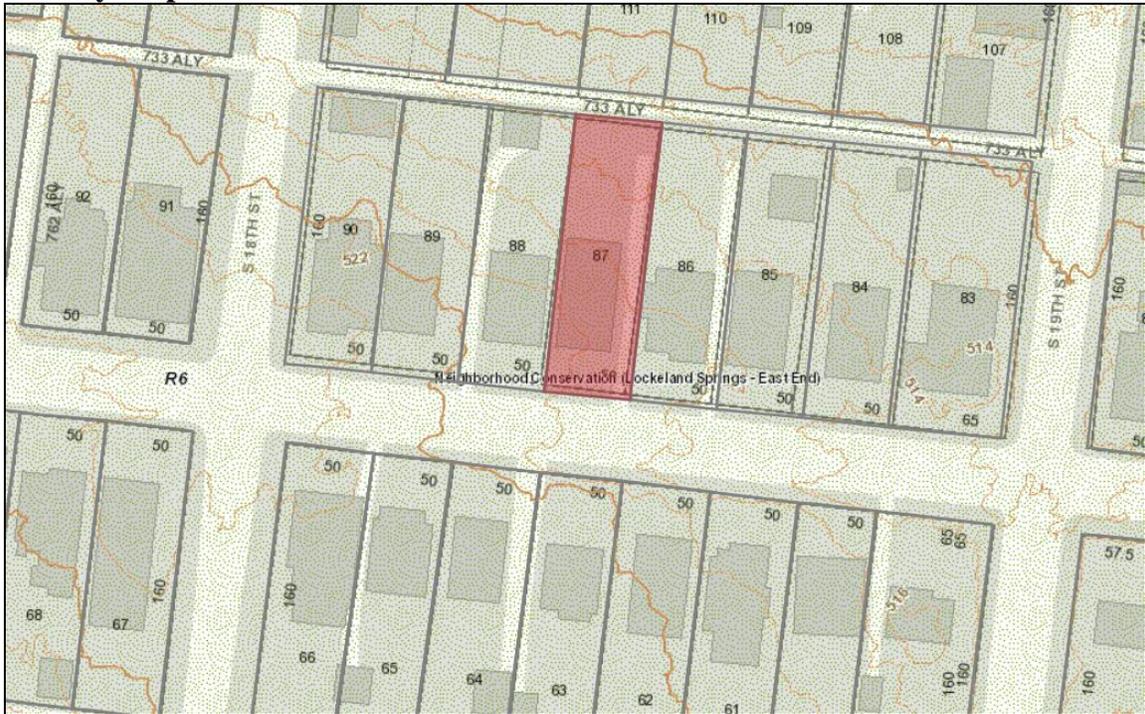
Attachments

A: Photographs

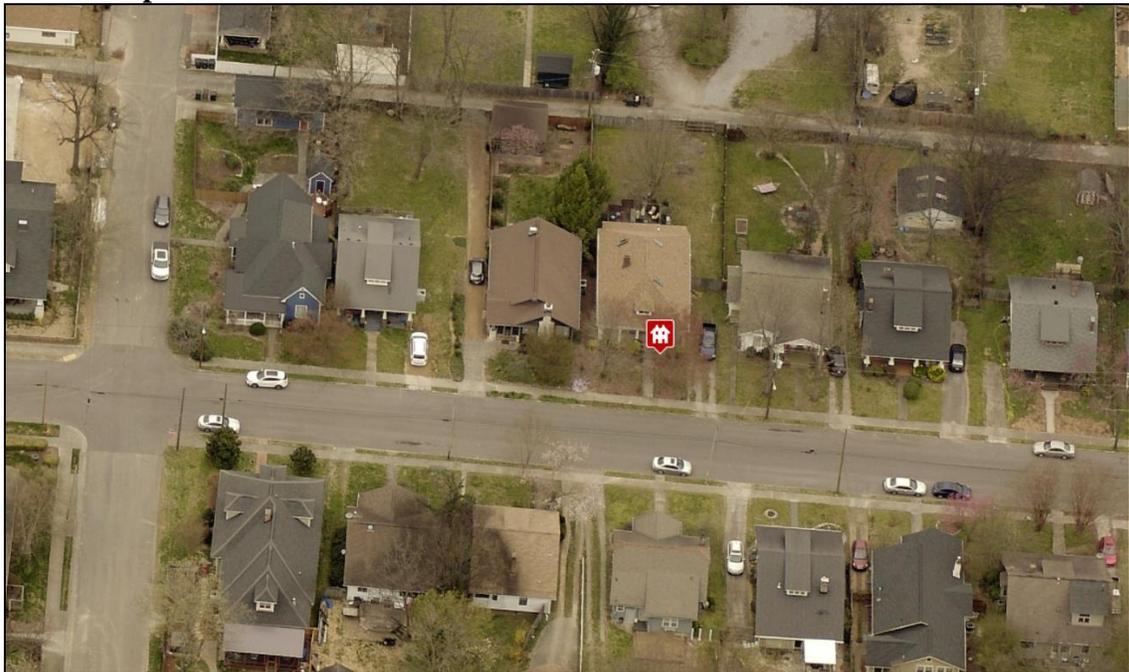
B: Site Plan

C: HCP 2020049035

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.
6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.

10. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie-into the existing roof must be at least 6" below the existing ridge line.

Background: The house located at 1807 Russell Street is a c. 1925 Victorian cottage that contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). The house sustained some damage from the March 2020 tornado (Figure 2 and 3).

In August 2020, staff administratively permitted a rear addition (HCP 2020049035) and a DADU (HCP 2020049026). Both projects met the design guidelines. Since the preservation permits were issued, the applicant received the survey, which shows the historic house located closer to the left-side property line than anticipated.



Figure 1. 1807 Russell Street, March 2020.



Figure 2. 1807 Russell Street, March 2020.



Figure 3. 1807 Russell Street, March 2020.

Analysis and Findings: The request is for a setback determination to reduce the left-side setback for the addition from five feet (5') to three feet (3').

Setback & Rhythm of Spacing: The applicant proposes a left-side setback of three feet (3'). The left rear corner of the historic house sits approximately two feet (2') from property line. The proposed addition steps in two feet (2') from the left rear corner of the historic house for the entire depth of the addition. In this case, not only is the historic house located close to the side property line, but also the house is situated on the lot at a bit of an angle. This angle is the reason why the house is approximately two feet (2') from the property line at its closest point while the addition will be approximately three feet (3') from the property line at its closest point. (Figure 4)

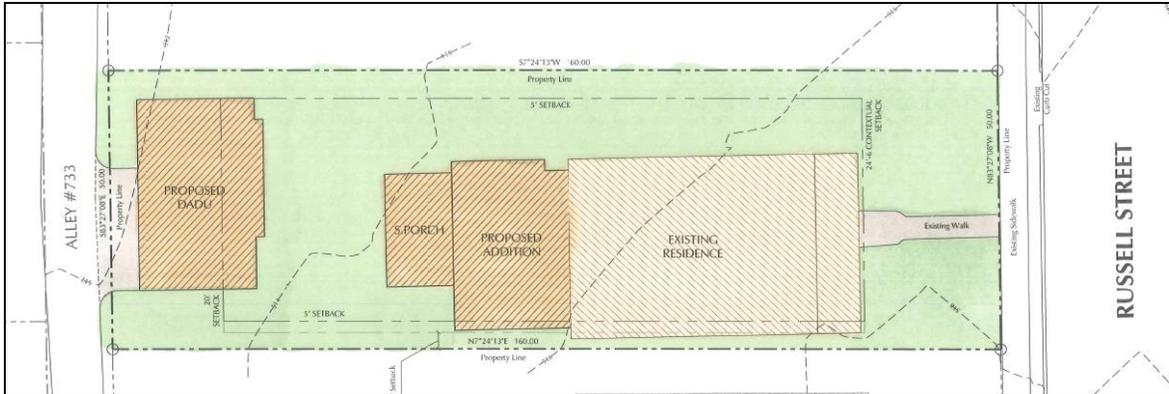


Figure 4. Site plan.

Staff finds the request to be appropriate and in keeping with decisions by the Commission given the location of the historic house on the lot, the appropriate inset of the addition, and the location of the addition which is no closer to the property line than the historic house. The addition and DADU meet all other zoning setbacks.

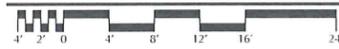
Staff recommends approval of the setback determination and finds that the project meets Section II.B.3.

Recommendation: Staff recommends approval of the setback determination, finding that it meets II.B.3 of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*.

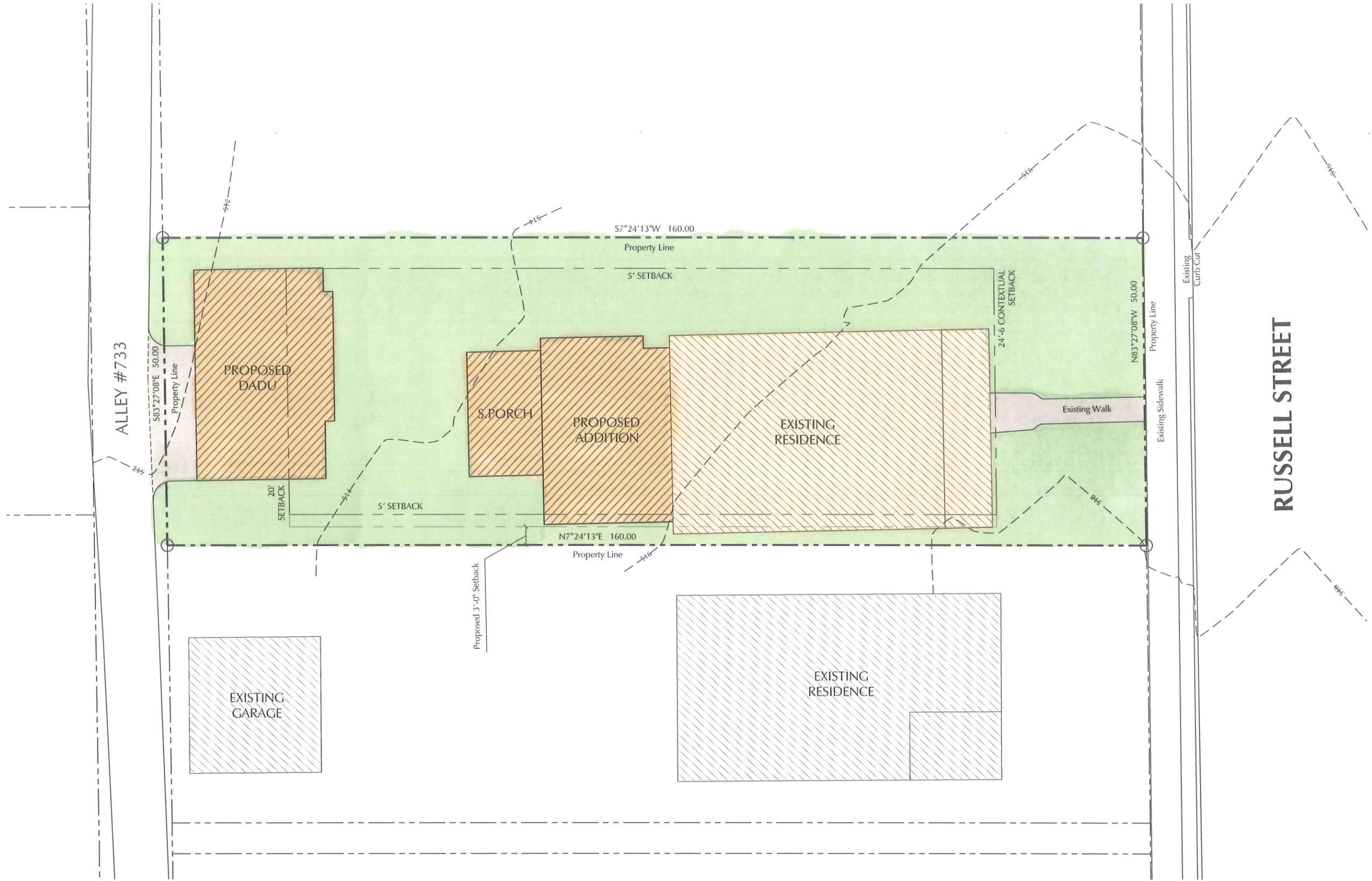


1

Site Layout Plan



Scale: 1/16"=1'-0"



AS1.0

Drawings:
Site Layout Plan
Date:
08.20.20

ALLARD WARD
ARCHITECTS
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Addition and Renovations to:
1807 Russell Street
1807 Russell Street
Nashville, Tennessee 37206

MHZC PRESERVATION APPLICATION -
NOT FOR CONSTRUCTION



3859306
3859306

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2020049035

Entered on: 06-Aug-2020

Historic District: Lockeland Springs-East End

Site Address

1807 RUSSELL ST
NASHVILLE TN, 37206

Parcel Owner

APG RENTALS, LLC
10182 OLD HIGHWAY 60
DUDLEY, MO 63936

Purpose: Construct rear addition with 873 sq. ft. footprint including screened porch; see HCP 2020049026 for DADU

ROOFING

- Roofing material shall be asphalt composite shingles. Color shall match existing or if not, it shall be approved by the MHZC prior to purchase.
- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall have single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. Double and triple windows shall have a 4" to 6" mullion between.
- Door manufacturer and type must be approved by MHZC staff prior to installation.
- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.
- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.
- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique

facts and circumstances of this particular application.

- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.
- Removal of cladding, windows and roofing on the existing building all-together is “partial-demolition” and must be reviewed by the MHZC prior to work taking place.
- Approval of design should not be considered approval of a particular use.
- THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Allard Ward Architecture

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL - HZ

HVAC LOCATION - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ

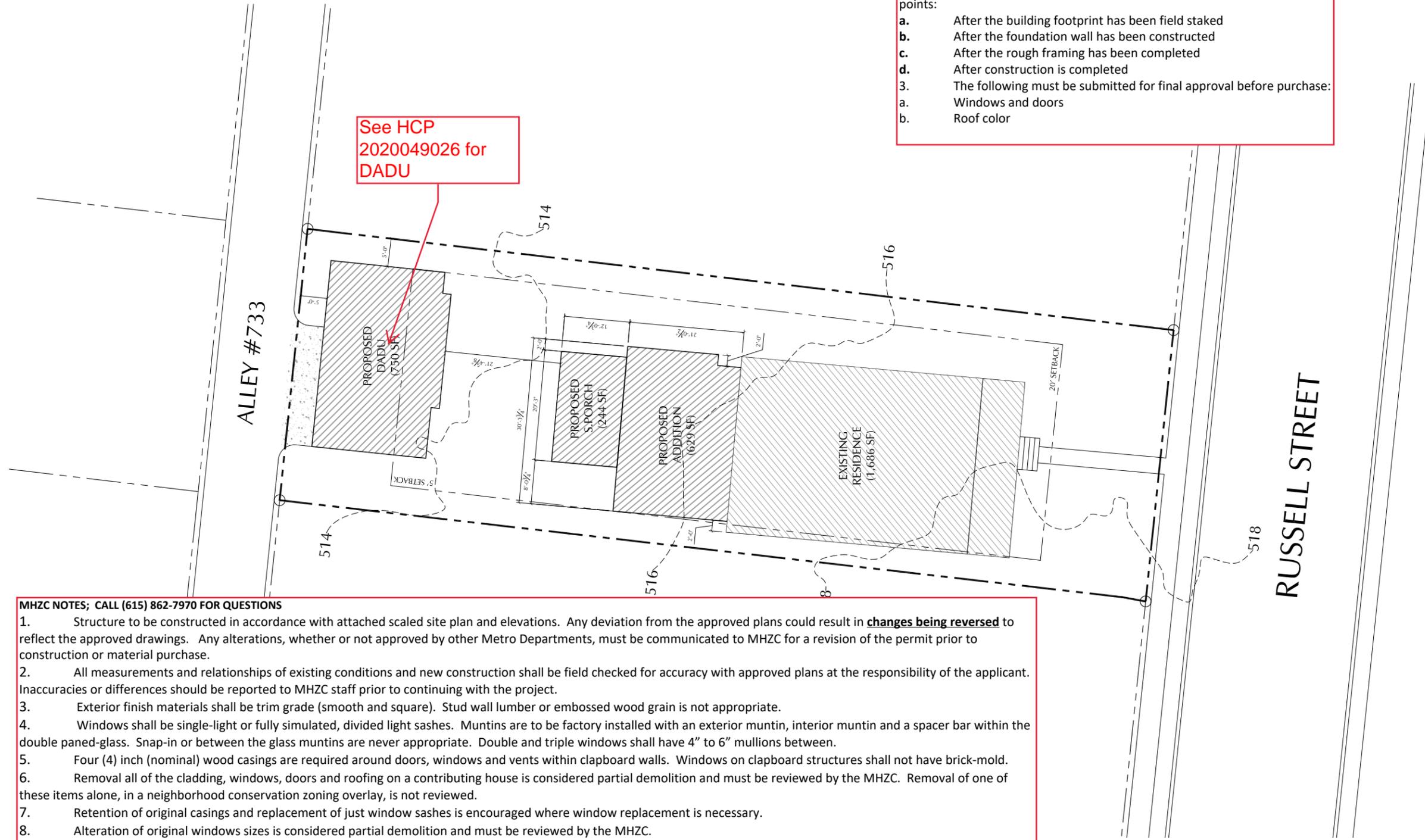
FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

PROGRESS INSPECTION – HZ

FINAL INSPECTION - HZ

Issued Date: 06-Aug-2020 **Issued By:** Melissa Sajid



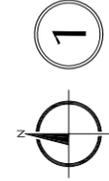
See HCP
2020049026 for
DADU

MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
 - d. After construction is completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

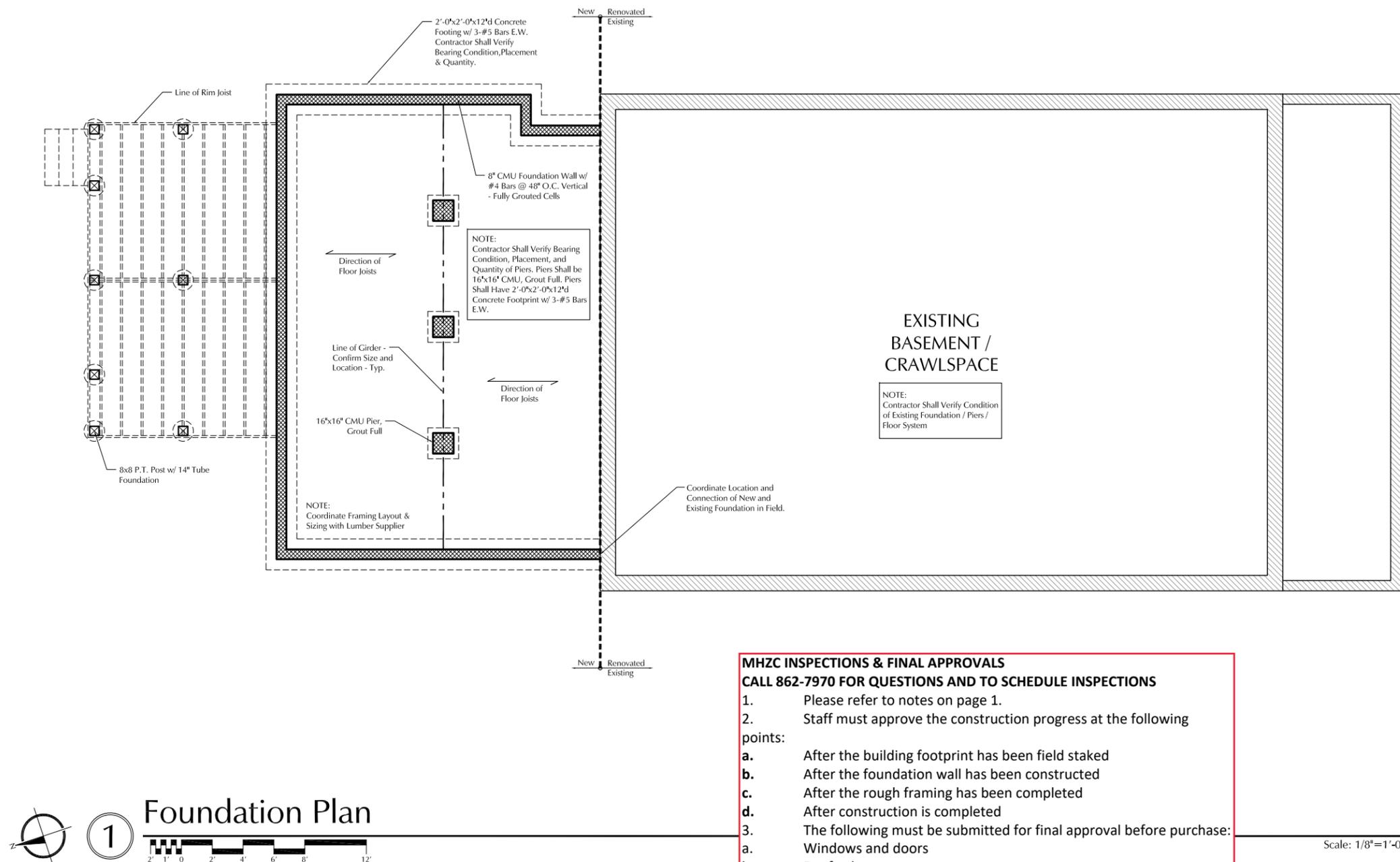


Site Layout Plan

Scale: 1/8"=1'-0"

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

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1 Foundation Plan

- MHZC INSPECTIONS & FINAL APPROVALS**
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 3. The following must be submitted for final approval before purchase:
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 - b. Roof color

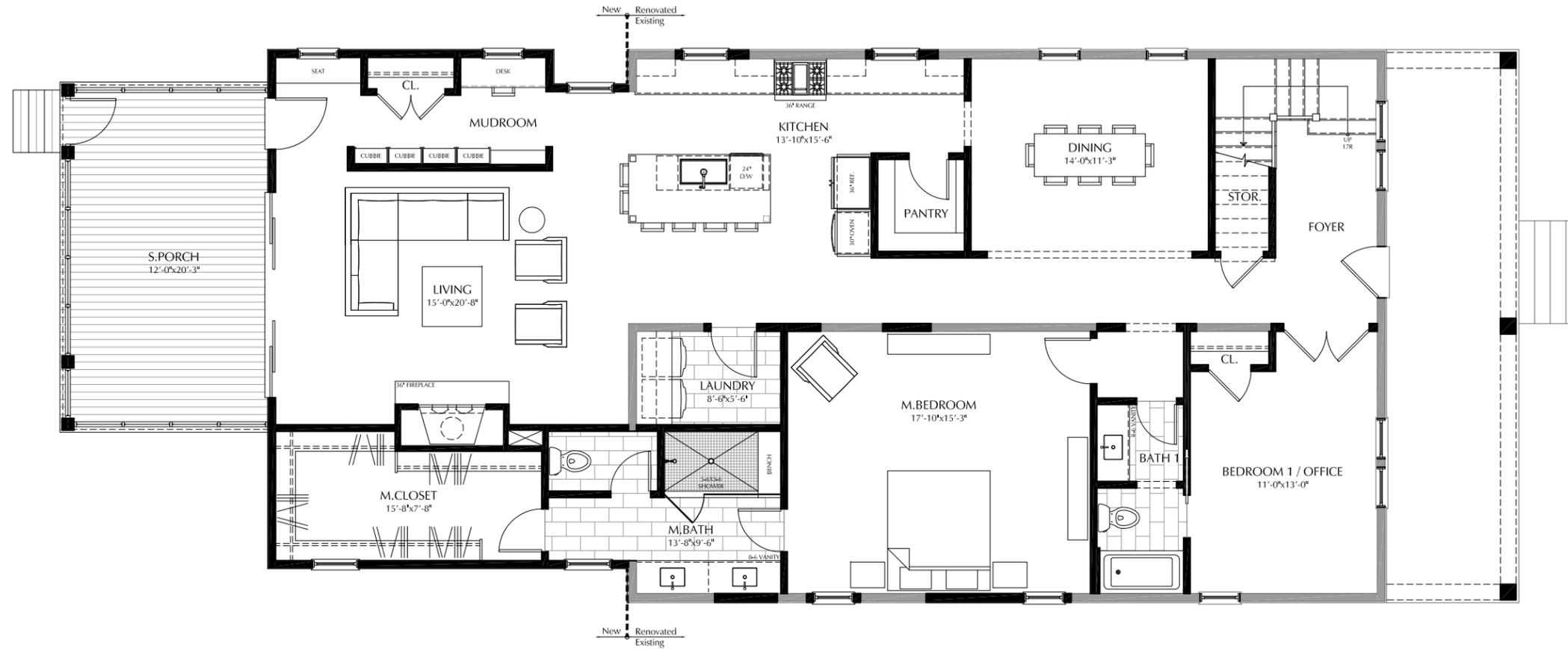
Addition and Renovations to:
1807 Russell Street
1807 Russell Street
Nashville, Tennessee 37206

ALLARD WARD ARCHITECTS
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Drawings:
Foundation Plan
Date:
08.03.20

MHHC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHHC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHHC staff prior to continuing with the project.



1

First Floor Plan



**MHHC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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Scale: 1/8"=1'-0"

Addition and Renovations to:

1807 Russell Street

1807 Russell Street

Nashville, Tennessee 37206

ALLARD WARD
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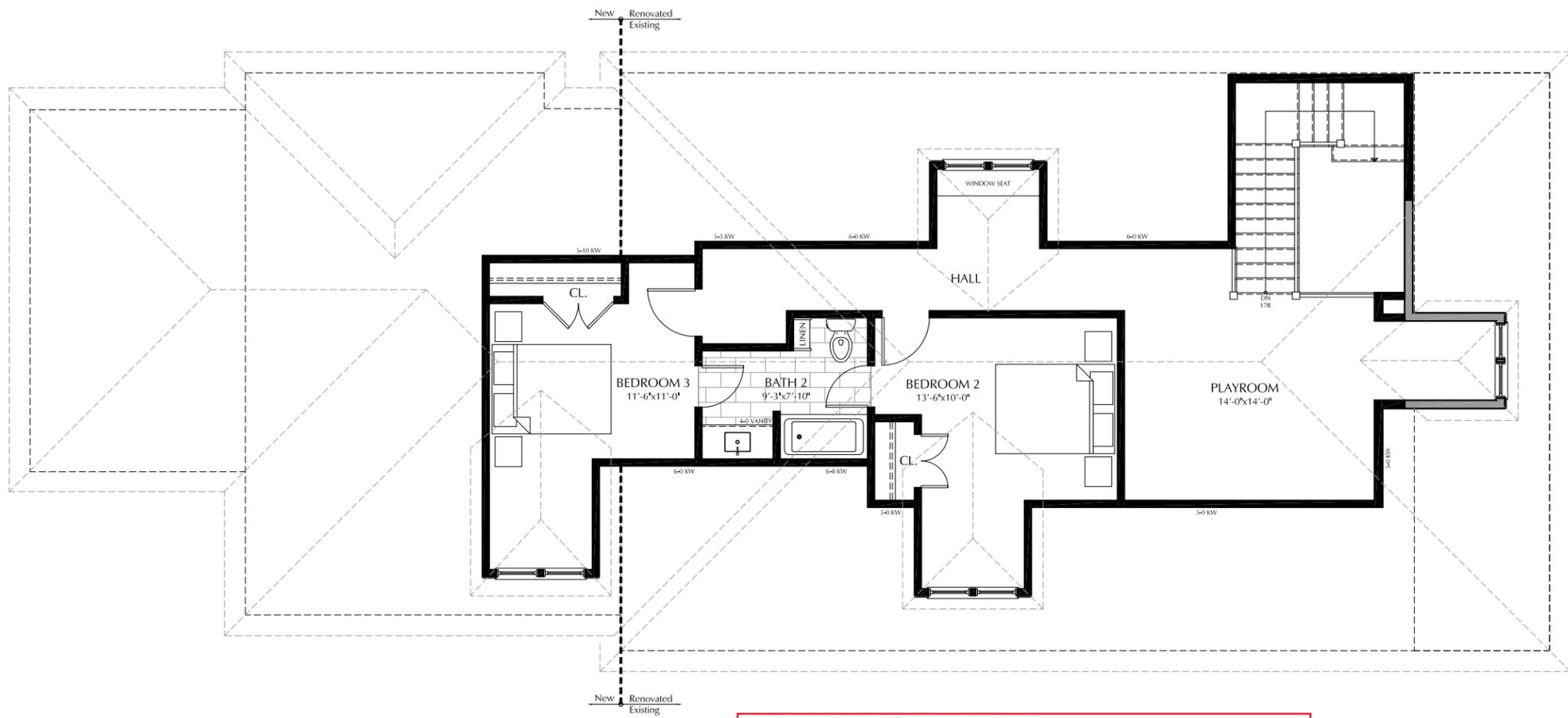
Drawings:
First Floor Plan
Date:
08.03.20

A1.1

MHHC PRESERVATION APPLICATION -
NOT FOR CONSTRUCTION

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

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1

Second Floor Plan



MHZC INSPECTIONS & FINAL APPROVALS
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 - Roof color

Scale: 1/8"=1'-0"

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 allardward.com
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 Second Floor Plan
 Date:
 08.03.20

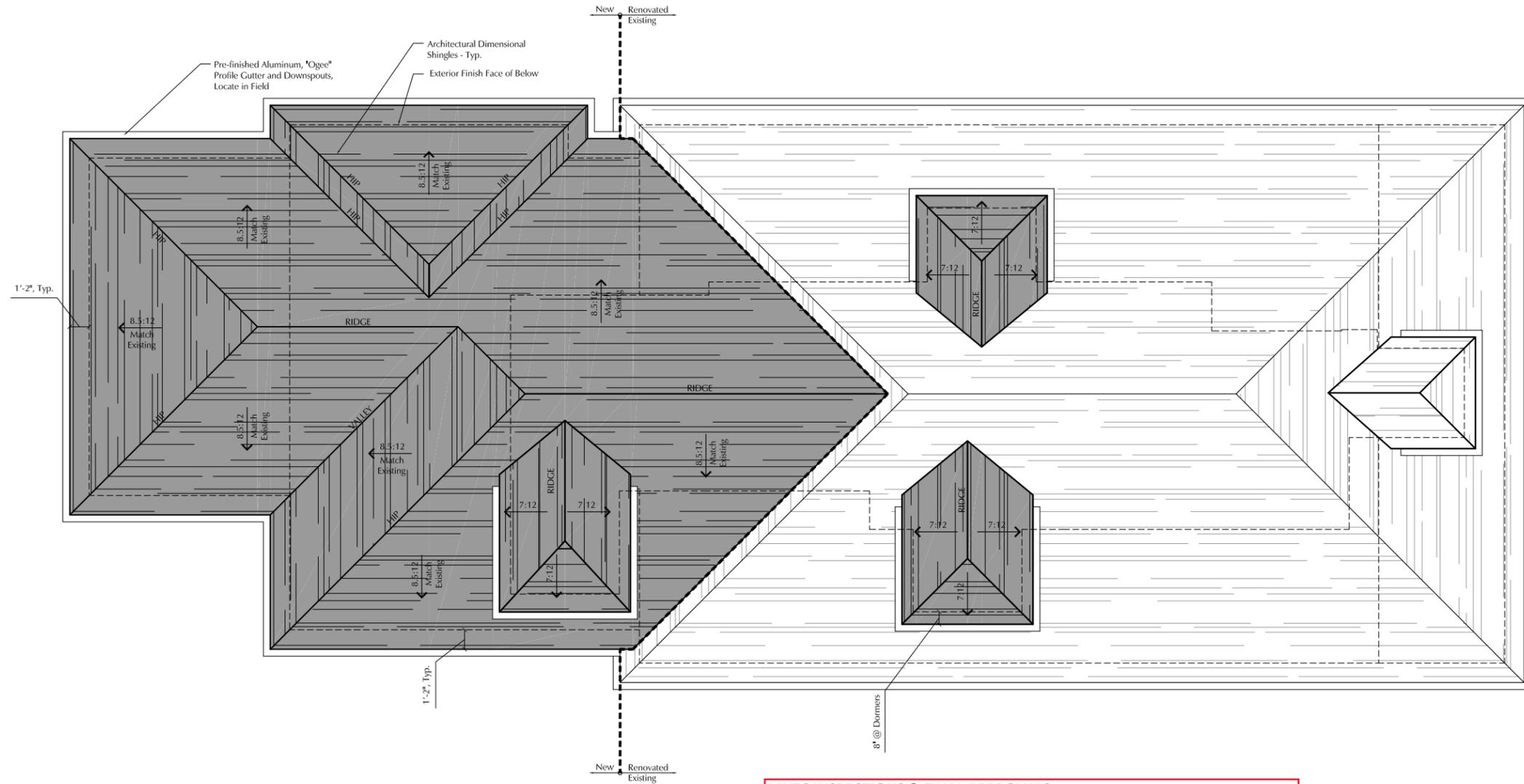
A1.2

Addition and Renovations to:
1807 Russell Street
 1807 Russell Street
 Nashville, Tennessee 37206

MHZC PRESERVATION APPLICATION -
 NOT FOR CONSTRUCTION

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1

Roof Plan



- MHZC INSPECTIONS & FINAL APPROVALS**
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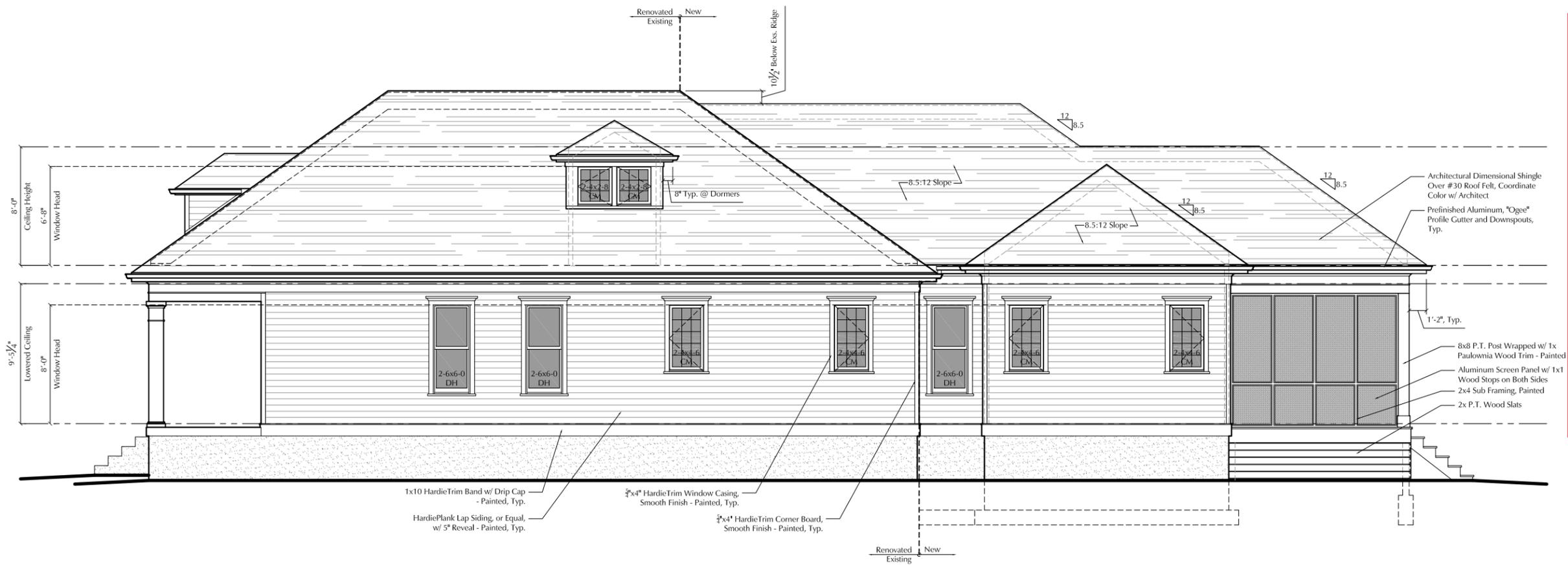


Drawings:
 Roof Plan
 Date:
 08.03.20

A1.3

Addition and Renovations to:
1807 Russell Street
 1807 Russell Street
 Nashville, Tennessee 37206

MHZC PRESERVATION APPLICATION -
 NOT FOR CONSTRUCTION



2 East Elevation



Scale: 1/8"=1'-0"

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Exterior Elevations May Not be Representative of Actual Site Conditions. Verify and Coordinate All Drawings w/ Grading in Field.

1 South Elevation



Scale: 1/8"=1'-0"

MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

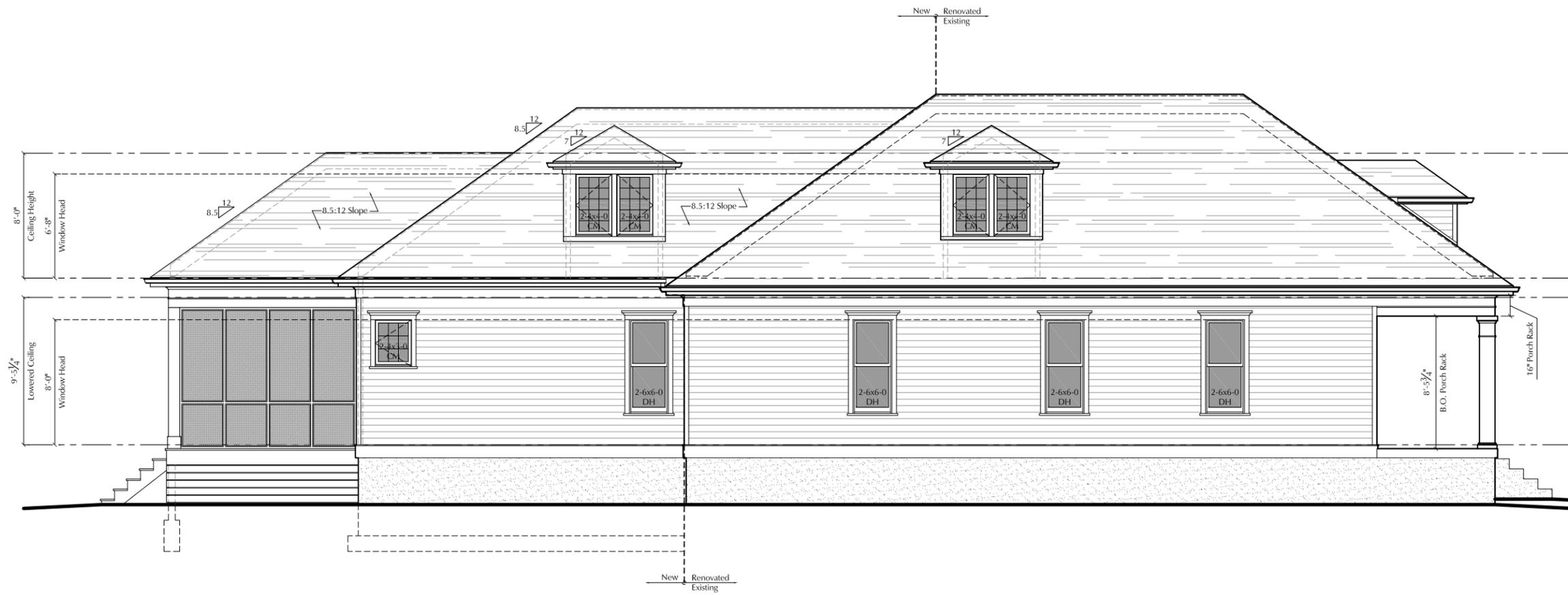
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 - Roof color

Addition and Renovations to:
1807 Russell Street
 1807 Russell Street
 Nashville, Tennessee 37206

ALLARD WARD
 ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 Elevations
 Date:
 08.03.20

A2.1



2 West Elevation



Scale: 1/8"=1'-0"

MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

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MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

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1 North Elevation



Scale: 1/8"=1'-0"

Addition and Renovations to:
1807 Russell Street
 1807 Russell Street
 Nashville, Tennessee 37206

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 Elevations
 Date:
 08.03.20

A2.2

MHZC PRESERVATION APPLICATION -
 NOT FOR CONSTRUCTION

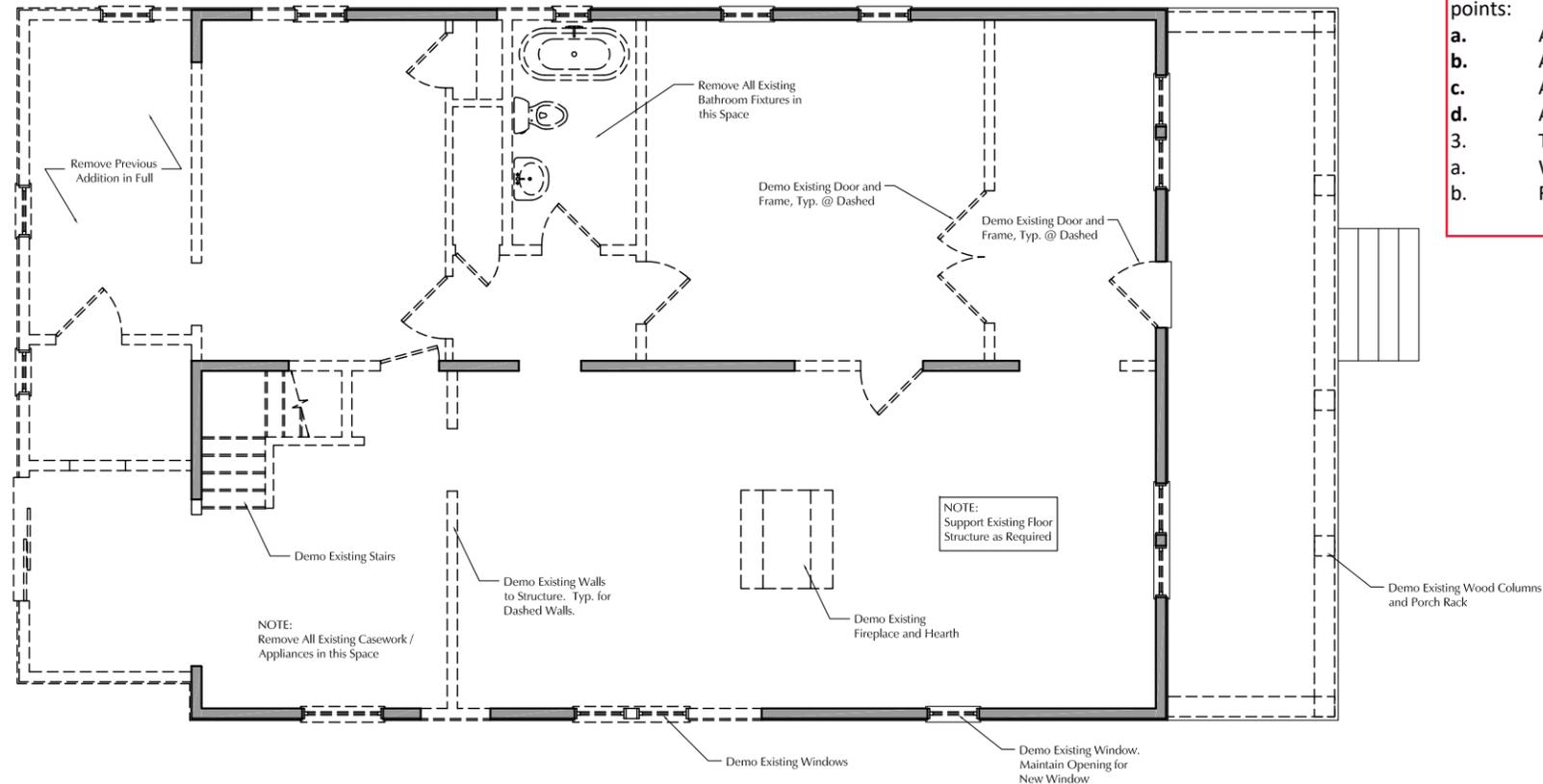
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MHZC INSPECTIONS & FINAL APPROVALS

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2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
 - d. After construction is completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



1

First Floor Plan



Scale: 1/8"=1'-0"

Addition and Renovations to:

1807 Russell Street

1807 Russell Street
Nashville, Tennessee 37206



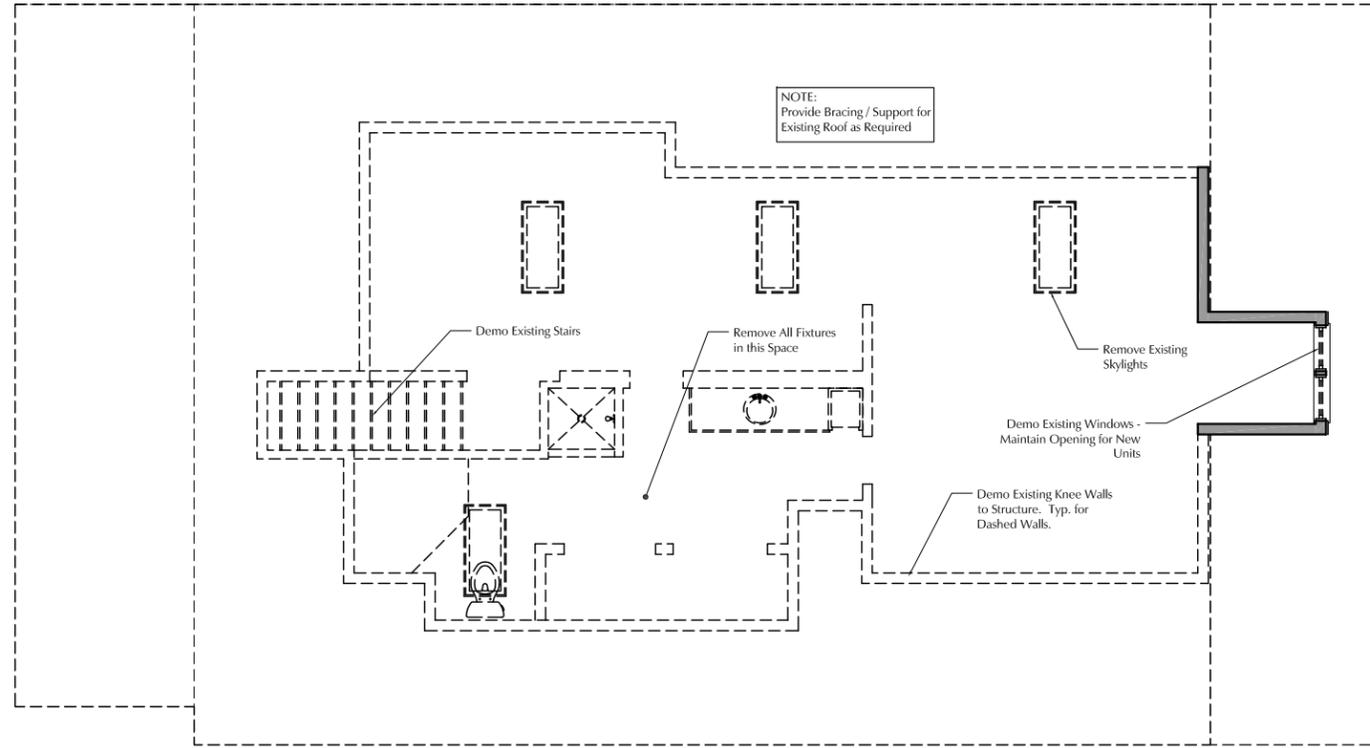
Drawings:
First Floor Demo, Plan
Date:
08.03.20

D1.1

MHZC PRESERVATION APPLICATION -
NOT FOR CONSTRUCTION

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.



MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
 - d. After construction is completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



1

Second Floor Demo. Plan



Scale: 1/8"=1'-0"

Addition and Renovations to:

1807 Russell Street

1807 Russell Street

Nashville, Tennessee 37206



Drawings:	
Second Floor Demo. Plan	
Date:	08.03.20

D1.2

MHZC PRESERVATION APPLICATION -
NOT FOR CONSTRUCTION