

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION

1900 Beechwood Avenue

September 16, 2020

Application: New Construction—Outbuilding; Setback Determination

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Base Zoning: RS 7.5

Map and Parcel Number: 10416017500

Applicant: Martin Wieck, Nine12 Architects

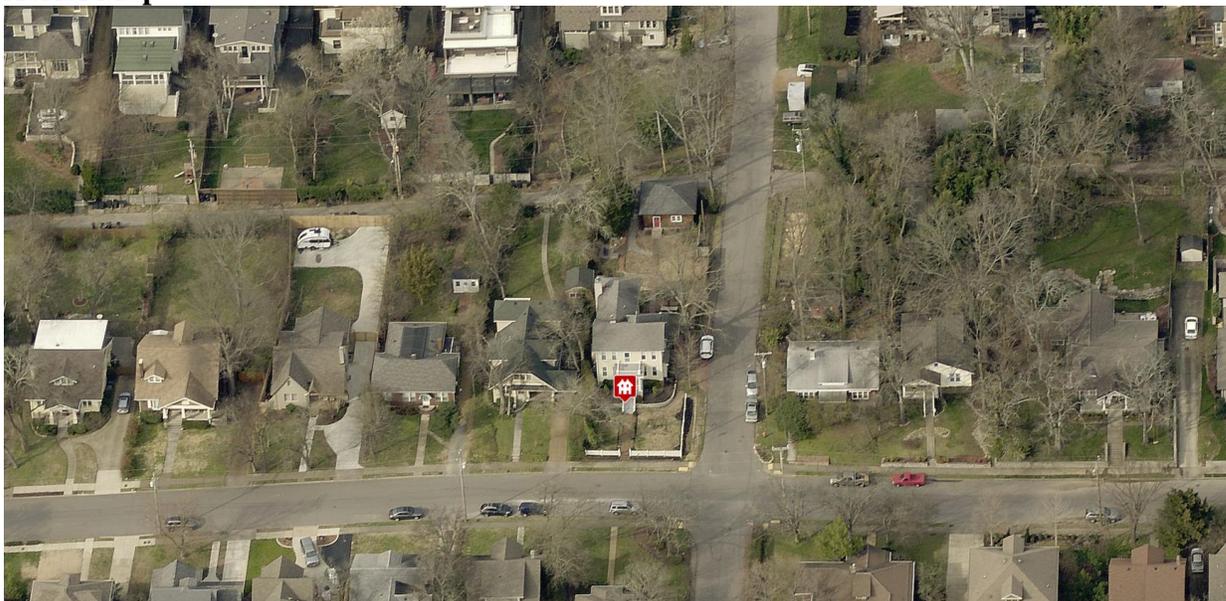
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Applicant proposes to add onto an existing outbuilding. The outbuilding requires both a rear and a side setback determination. Base zoning requires a ten foot (10') side setback from Altura Place, but the applicant proposes a side street setback of just three feet, eleven inches (3'11"). MHZC's design guidelines require a five foot (5') rear setback, and the applicant proposes a two foot, ten inch (2'10") rear property line.</p> <p>Recommendation Summary: Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none"> 1. The two-story portion of the outbuilding be five feet (5') from the rear property line; 2. Staff approve all windows and doors, masonry samples, the roof shingle color, and the metal roof color and design prior to purchase and installation; and 3. The HVAC be located behind the house or on either side, beyond the mid-point of the house. <p>With these conditions, staff finds that the project meets Section II.B.1.i. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay</p>	<p>Attachments A: Site Plan B: Elevations</p>
---	--

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. 1. GUIDELINES – New Construction

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

· *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*

· *The DADU may not exceed the maximums outlined previously for outbuildings.*

· *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

Density.
· *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

Ownership.

- a. *No more than one DADU shall be permitted on a single lot in conjunction with the principal*

structure.

b. The DADU cannot be divided from the property ownership of the principal dwelling.

- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- *The living space of a DADU shall not exceed seven hundred square feet.*

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: 1900 Beechwood Avenue is a c. 1900, two-story, Colonial Revival house that contributes to the historic character of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay (Figure 1). MHZC approved the existing one-story garage in 2008, which sits two feet, ten inch (2'10") from the rear property line and three feet, eleven inches (3'11") from the Altura Place side property line (Figure 2).



Figure 1. 1900 Beechwood Avenue



Figure 2. The existing garage, approved by MHZC in 2008.

Analysis and Findings: Applicant proposes to add onto the top and interior-side of an existing outbuilding. Although the rear and street-side setbacks will not change, there is enough of a change to the massing of the existing building that staff concluded a setback determination was needed. Base zoning requires a ten foot (10') side setback from Altura Place, but the applicant proposes a side street setback of just three feet, eleven inches (3'11"). MHZC's design guidelines require a five foot (5') rear setback, and the applicant proposes continuing with a two foot, ten inch (2'10") rear property line for the addition.

Outbuildings: The proposed outbuilding is not a Detached Accessory Dwelling Unit (DADU). Part of the outbuilding will be one story in height and part of it will be two-stories in height.

Massing Planning: The lot is larger than 10,000 square feet, at about ten thousand, five hundred, and forty square feet (10,540 sq. ft.).

	50% of first floor area of primary structure	Lot is larger than 10,000 square feet	Proposed Outbuilding
Maximum Square Footage	700 Sq. ft.	1,000 sq. ft. max	995 sq. ft.

	Potential maximums under Ordinance	Existing House	Proposed Outbuilding
Ridge Height	25' unless existing building is less	28'	~24'6"
Eave Height	17'	17'6"	17'

Staff finds that the height and scale of the proposed outbuilding to meet the design guidelines.

Roof Form:

Proposed Element	Proposed Outbuilding	Typical of district?
Primary form	Gable	Yes
Primary roof slope	~ 7/12	Yes

Staff finds that the proposed roof form meets Section II.B.1.i of the design guidelines for roof shape.

Materials:

	Proposed Outbuilding	Color/Texture	Needs final approval?
Foundation	Slab	Natural	No
Primary cladding	Hardie plank vertical siding, 4" reveal	Smooth	No
Secondary cladding	Brick	Unknown	Yes
Trim	Wood or cement fiberboard	Smooth	No

Primary Roofing	Not indicated	Unknown	Yes
Secondary Roofing	Standing seam metal	Unknown	Yes
Windows	Marvin Elevate	Typical	Yes
Doors	Not indicated	Unknown	Yes
Garage door	Not indicated	Unknown	Yes

With staff's final approval of all materials, including the brick sample, roof material and color, windows, doors, and garage door for the outbuilding, staff finds that the materials meet the design guidelines.

General requirements for Outbuildings:

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Site Planning & Setbacks:

	MINIMUM	PROPOSED OUTBUILDING
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	54'
Rear setback – garage doors face alley	5'	2'10''*
Altura Side Property Line	10'	3'11''*

Interior left-side setback	5'	5'
How is the building accessed?	-	From alley
Two different doors rather than one large door (if street facing)?	-	N/A

*There is an existing one-story outbuilding on the lot that does not meet the side-street and rear setback requirements. The addition to the outbuilding will also not meet the base zoning setback. Staff finds that the Altura Place setback of approximately three feet, eleven inches (3'11") to meet the design guidelines because this portion of the outbuilding is just one-story in height, and the existing footprint will only be increased by less than three feet (3'). In addition, the added depth will be added to the rear yard, towards the house, and will not affect the visibility along the alley.

On the alley, the width of the outbuilding will increase by about sixteen feet (16'), and the new portion will be two stories and will be just two feet, eleven inches from the rear property line. Because this part of the outbuilding includes a garage bay, is along a public alley, and is two-stories, staff recommends that the two-story portion of the structure be pushed back to meet the five foot (5') setback.

With the condition that the two-story portion of the outbuilding be at least five feet (5') from the rear property line, staff finds that the outbuilding's height, scale, roof form, dormers, materials, location, and setbacks to meet Section II.B.1.i. of the design guidelines.

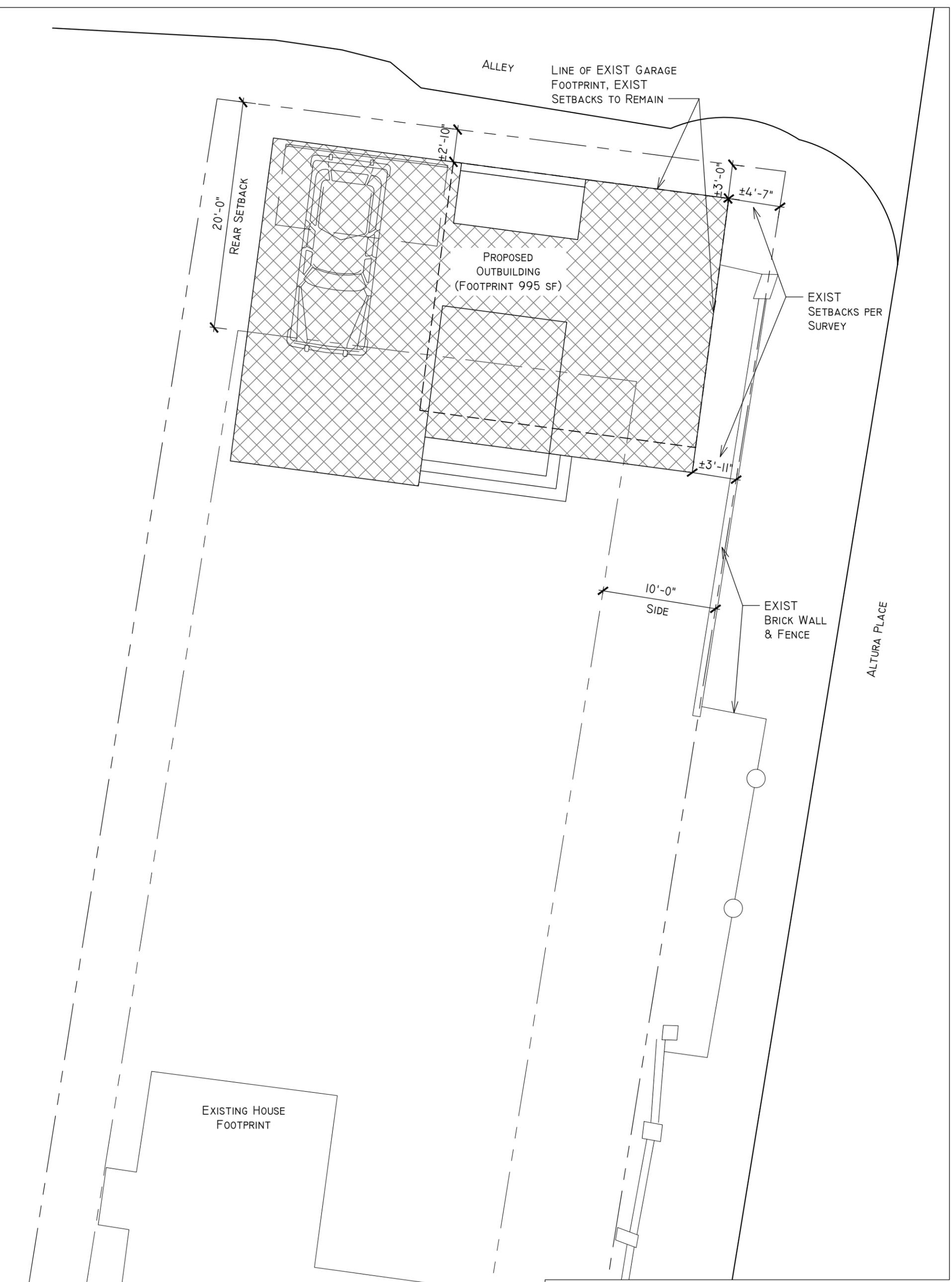
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The two-story portion of the outbuilding be five feet (5') from the rear property line;
2. Staff approve all windows and doors, masonry samples, the roof shingle color, and the metal roof color and design prior to purchase and installation; and
3. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the project meets Section II.B.1.i. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

THESE DRAWINGS SHALL NOT BE REPRODUCED OR REUSED W/O THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. ALL DESIGNS & INTELLECTUAL PROPERTY SHALL REMAIN EXCLUSIVELY OWNED BY THE ARCHITECT.

© 2020 NINE12 DESIGN, INC. - ALL RIGHTS RESERVED





ARCHITECTURAL SITE PLAN
 SCALE: 1/8"=1'-0"
NOT FOR CONSTRUCTION

SITE PLAN

01

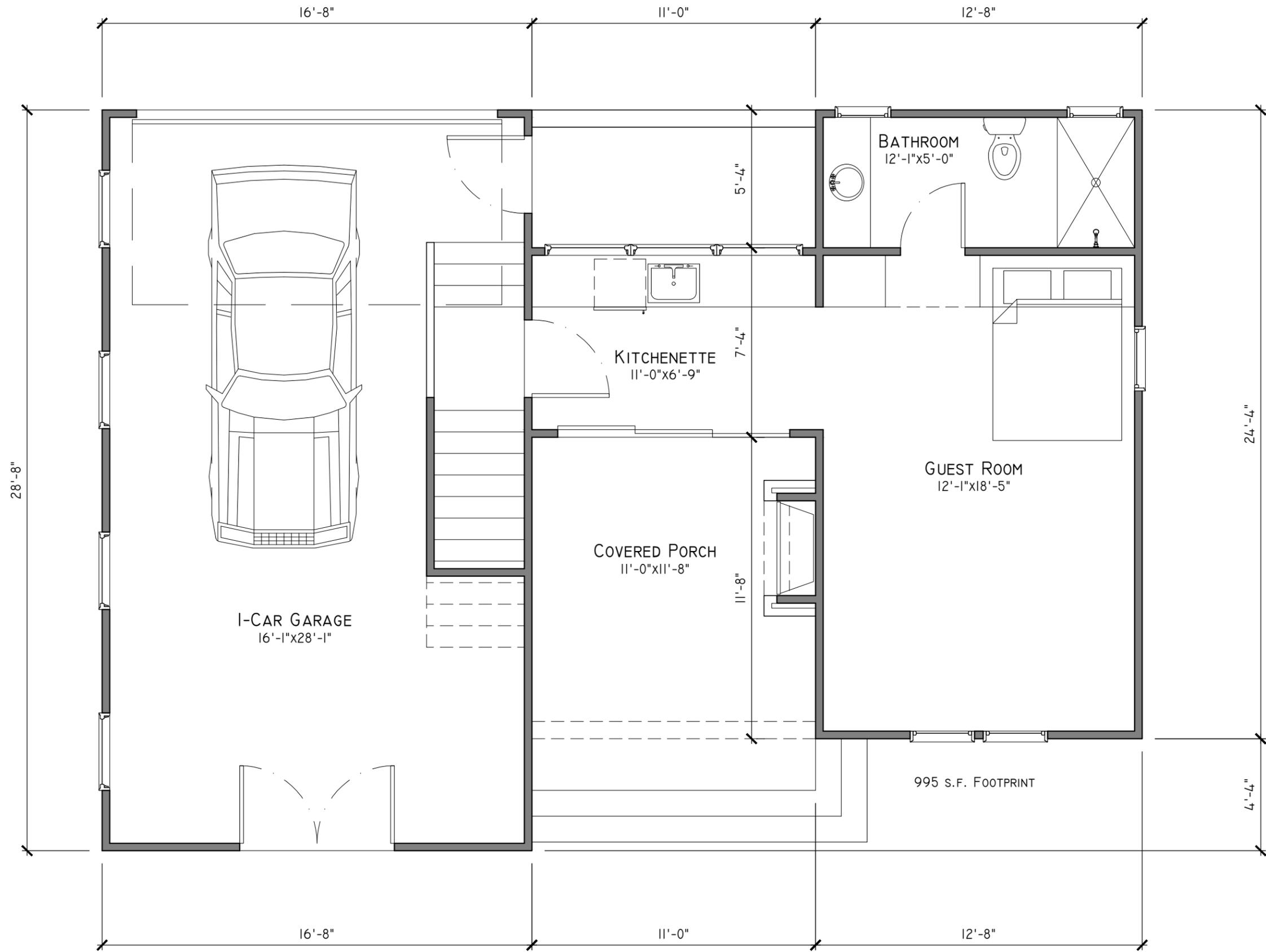
INFO@NINE12ARCHITECTS.COM
 615.761.9902
 WWW.NINE12ARCHITECTS.COM



NINE12 ARCHITECTS PROJECT #20184

NEW OUTBUILDING AT:
1900 BEECHWOOD AVE
 NASHVILLE, TN 37212

REV:	DATE:	DESC:
0	08.18.20	MHZC SUBMISSION



NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	08.18.20	MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20184
 NEW CONSTRUCTION - OUTBUILDING AT:
1900 BEECHWOOD AVE.
 NASHVILLE, TN 37212



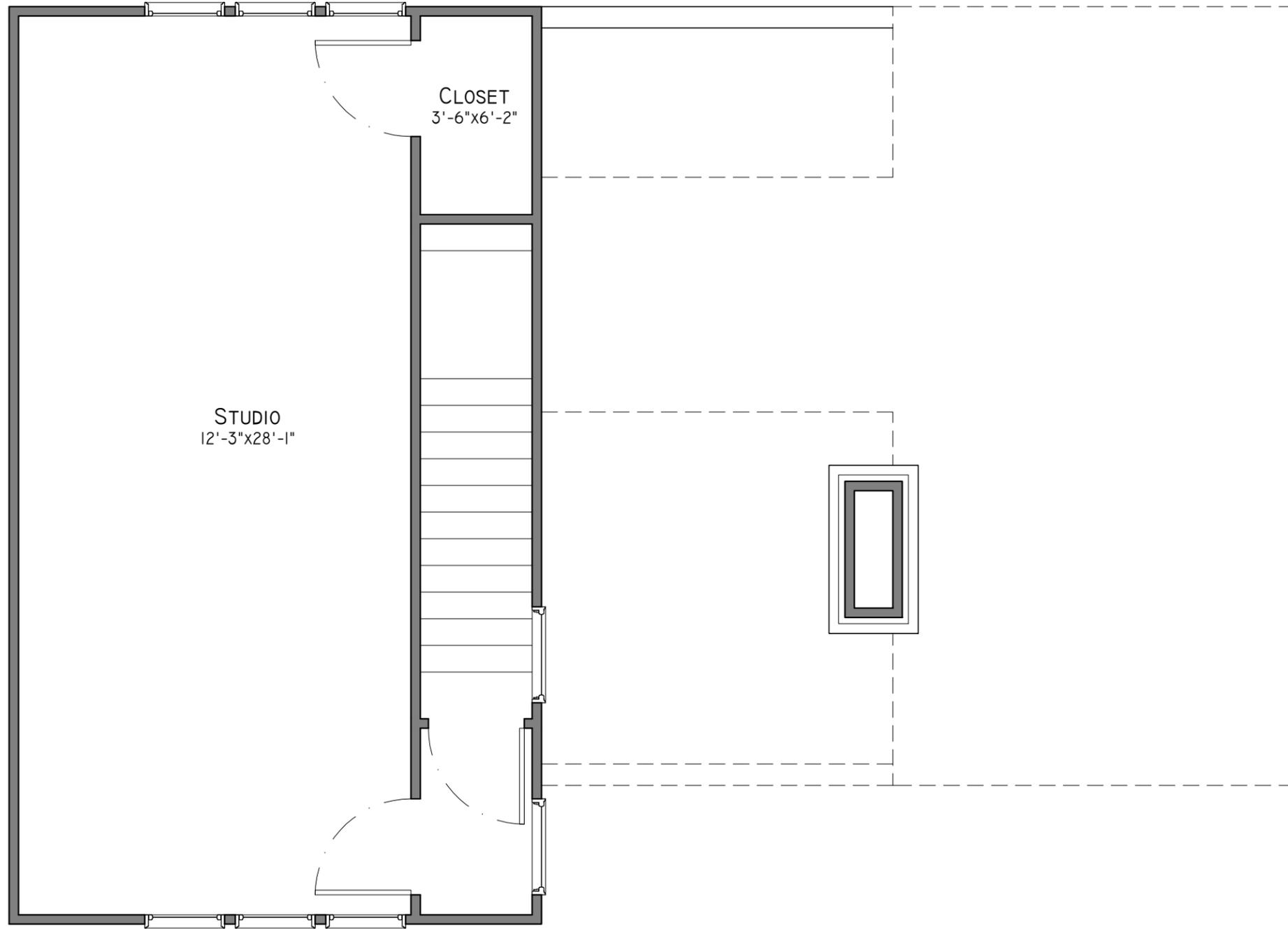
INFO@NINE12ARCHITECTS.COM
 615.761.9902
 WWW.NINE12ARCHITECTS.COM

FLOOR PLANS

02



SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



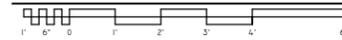
NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	08.18.20	MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20184
 NEW CONSTRUCTION - OUTBUILDING AT:
1900 BEECHWOOD AVE.
 NASHVILLE, TN 37212

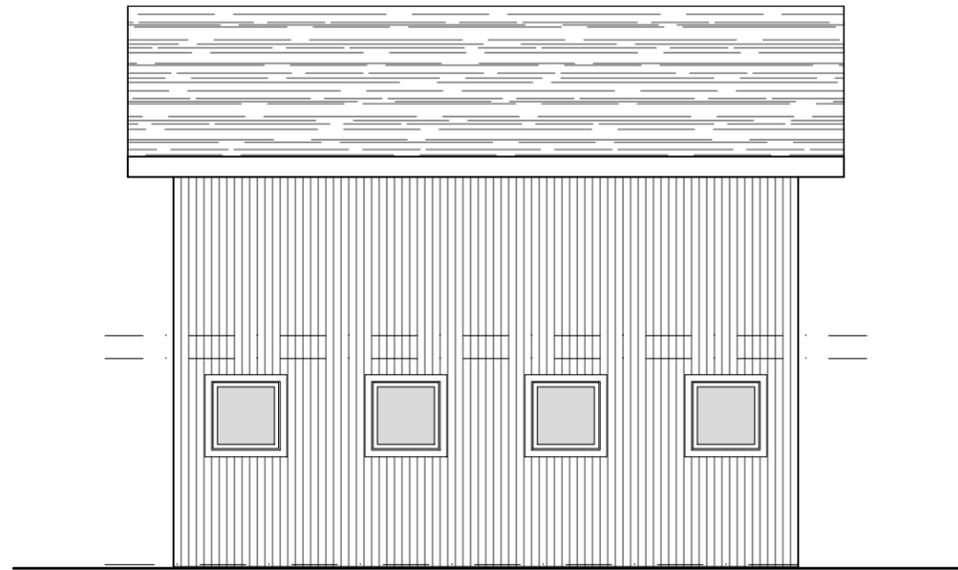


INFO@NINE12ARCHITECTS.COM
 615.761.9902
 WWW.NINE12ARCHITECTS.COM

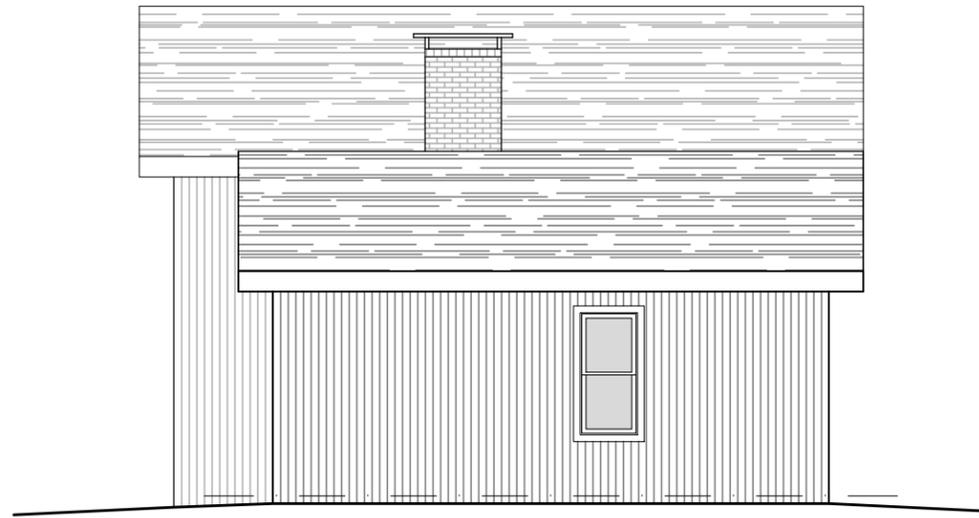


SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

FLOOR PLANS

03



4 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	08.27.20	MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20184
 NEW CONSTRUCTION - OUTBUILDING AT:
 1900 BEECHWOOD AVE.
 NASHVILLE, TN 37212



INFO@NINE12ARCHITECTS.COM
 615.761.9902
 WWW.NINE12ARCHITECTS.COM

EXTERIOR ELEVATIONS

04