

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1516 Ordway Place
August 19, 2020

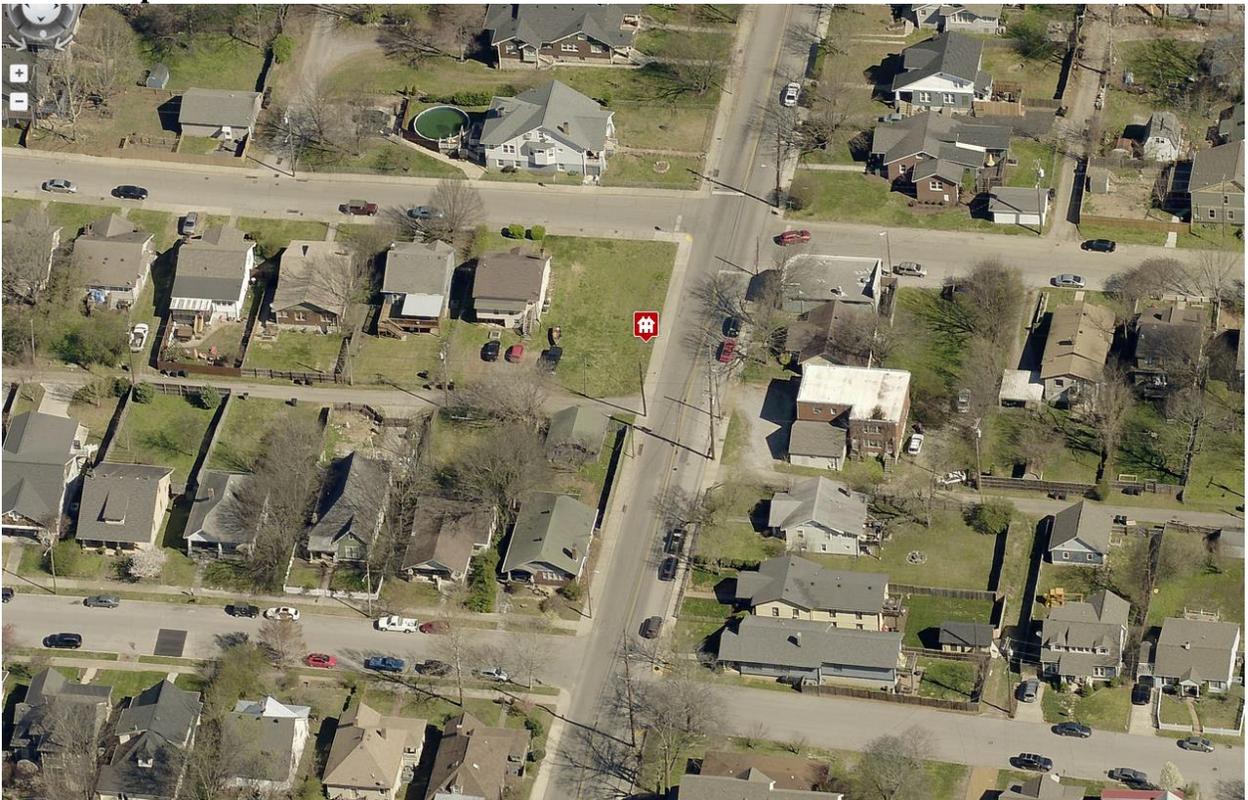
Application: New Construction: Infill Final SP Review
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08310001000
Base Zoning: Specific Plan (SP)
Applicant: Evan Brooks, Powell Architects
Project Lead: melissa.baldock@nashville.gov

<p>Description of Project: Application is to construct a mixed-use development on a vacant lot. The development of the site is bound by a Specific Plan (SP) zoning adopted in 2009. The SP allows for up to six residential units with a commercial space.</p> <p>Recommendation Summary: Staff recommends approval of the infill with the following conditions:</p> <ol style="list-style-type: none"> 1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field; 2. Staff recommends that on the right façade, the area of the foundation that is not brick and that is currently shown as open have a masonry foundation. On the rear façade, staff recommends that the foundation be open to create vehicular bays but otherwise have masonry piers. 3. Staff approve the final details, dimensions and materials of all windows and doors prior to purchase and installation; 4. Staff approve a brick sample; 5. Staff approve the railing design; 6. Staff approve the driveway and walkway materials; and 7. MHZC staff approve the location of the HVAC units and other utilities. <p>With these conditions, staff finds that the proposed infill meets Section II.B. of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay design guidelines.</p> <p>The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.</p>	<p>Attachments A: Photographs B: BL 2009-521 C: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.

For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side building walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the

historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.

6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate. Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips

where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic buildings*.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: 1516 Ordway Place is a vacant lot at the southwest corner of Ordway Place and North 16th Street. In 2009, the site was rezoned with a specific plan (SP) to allow for the development of a “two-story mixed-use building with six residential units and 1,167 sq. ft. of commercial/office spaces.” At that time, the Metro Historic Zoning Commission approved a two-story infill that met the parameters of the SP zoning (Figures 2, 3). That development was never constructed. In 2017 the then-owner also applied to construct infill on this lot per the 2009 SP. The Commission approved that design, but the infill was never constructed. A new owner is returning for consideration of a new, similar development.



Figure 1. The site at 1516 Ordway Place.

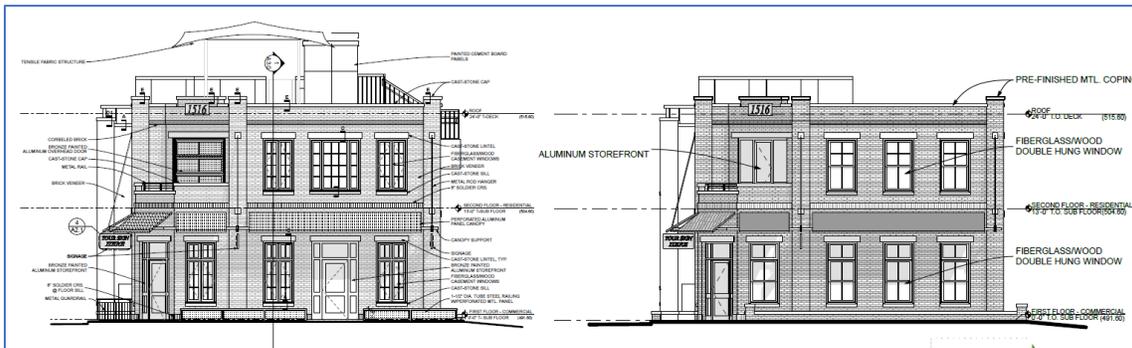


Figure 2. The Ordway Place elevation approved in 2009 is on the left and the one approved in 2017 is on the right.

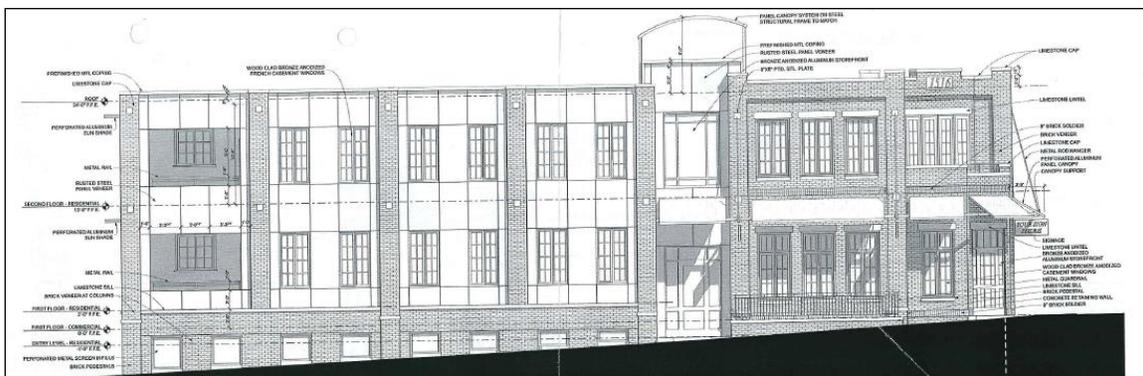


Figure 3. The North 16th Street façade approved in 2009.

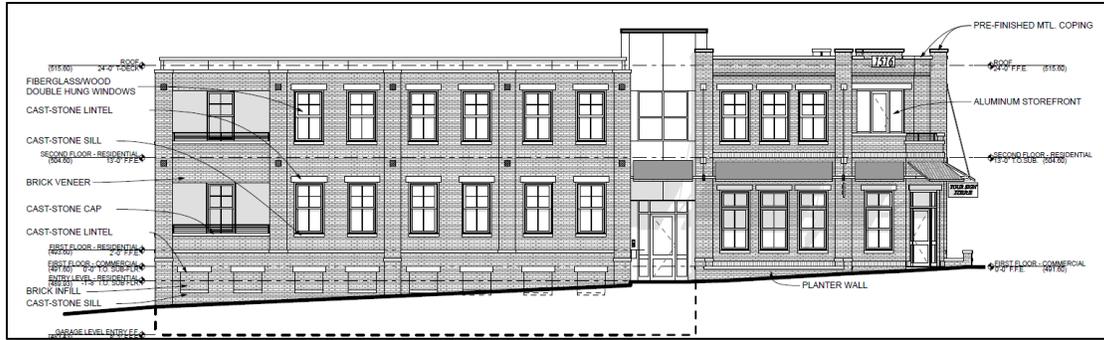


Figure 4. The North 16th Street façade approved in 2017.

Analysis and Findings: Application is to construct a mixed-use development on a vacant lot. The development of the site is bound by a Specific Plan zoning adopted in 2009. The SP allows for up to six residential units with a commercial space.

Height & Scale: The site drops approximately four feet, ten inches (4’10”) from the front of the lot to the rear on the 16th Street elevation and eight feet (8’) on the right/west side. The proposed infill will be two stories with a raised basement at the rear. At the front of the structure, facing Ordway Place, the infill is approximately twenty-six feet (26’) to the parapet. This matches the height of the plans MHZC approved in 2009 and 2017 and is consistent with the SP.

The site slopes down towards the back of the lot. Therefore, at the rear, the structure is approximately thirty-three feet (33’) tall. The 16th Street side façade contains an entry to the residential units. The current proposal does not include roof access, so there is no stair or elevator bulkhead on the roof.

The proposed footprint of the infill has not changed since the 2009 approval. It will be thirty-six feet (36’) wide along Ordway Place, and forty feet (40’) wide starting at the entry bay along 16th Street. The infill will be ninety-five feet (95’) deep.

The infill will be larger than the historic context. The commercial structure across the street on the southeast corner of 16th and Ordway Place is one story and approximately sixteen feet (16’) tall. There is a two-story, flat roofed, commercial structure across 16th Street that is twenty feet (20’) tall. The residential structures in the immediate vicinity are largely one and one-half stories in height with gabled or hipped roofs. They range in height from eighteen to twenty-eight feet (18’- 28’). Staff finds that, given the SP zoning, which permits a two-story structure, and given the Commission’s previous approval of an infill on the lot with identical height and scale, that the proposed infill’s height and scale are appropriate.

On the right side and rear, the raised basement is only supported by small posts. Although this may be structurally sound, staff finds that visually the lack of a more solid foundation is not typical for historic commercial and mixed use buildings of this size.

Staff recommends that on the right façade, the area of the foundation that is not brick and that is currently shown as open have a masonry foundation. On the rear façade, which will be highly visible because it is a corner lot, staff recommends that the foundation be open to create vehicular bays but otherwise have masonry piers.

Staff recommends that a condition of approval be that staff must verify the construction height of the foundation and floor systems in the field to ensure that the finished floor line of the new construction is compatible with the historic context. Staff also recommends that a condition of approval be that the foundation be more solid on the right and rear façade, as described above. With these conditions, staff finds that the proposed infill meets Sections II.B.1. and II.B.2. of the design guidelines.

Setback & Rhythm of Spacing: The proposed setbacks are the same as what MHZC approved in 2009. The infill will be approximately four feet (4') back from the sidewalk line along Ordway Place. Along 16th Street, the portion of the infill closest to Ordway Place will be five feet (5') from the sidewalk line, and the rear portion of the infill will be one foot (1') from the sidewalk line. The infill will be approximately three feet (3') from the right/west side property line. The rear property line angles so that the infill sits between ten and twelve feet (10'-12') from the rear property line.

Staff finds these proposed setbacks to be appropriate for a commercial structure on a commercial corner and finds that the project meets Section II.B.3. of the design guidelines.

Materials: The materials have changed since the 2009 approval but are similar to the 2017 approval. Staff finds that the known materials meet the design guidelines.

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Primary Foundation	Brick to grade	Not indicated	Yes	Yes
Secondary Foundation	Concrete Block with Cement Skim Coat	Typical	Yes	No
Primary Cladding	Brick	Not indicated	Yes	Yes
Secondary Cladding	Cement fiberboard panels	Smooth	Yes	No
Trim	Cement fiberboard	Smooth	Yes	No

Roofing	Rubber membrane or similar (not visible)	Not indicated	Yes	No
Lintels and sills	Brick	Not indicated	Yes	Yes
Residential Windows	Not indicated	Not indicated	Unknown	Yes
Storefront	Aluminum storefront system	Not indicated	Yes	Yes
Side/rear doors	Aluminum storefront system	Not indicated	Yes	Yes
Awnings	Fabric	Typical	Yes	No
Railing	Steel Rail	Unknown	Yes	Yes
Driveway	Not indicated	Not indicated	Unknown	Yes
Walkway	Not indicated	Not indicated	Unknown	Yes

Staff recommends approval of a brick sample, all windows and doors, the railing design, and the driveway and walkway materials prior to purchase and installation.

With the staff’s approval of all final material choices, staff finds that the known materials meet Section II.B.4. of the design guidelines.

Roof form: The roof form will be flat, which is appropriate for a mixed-use corner structure. The commercial structures across the street also have flat roofs.

Staff finds that the proposed flat roof form meets Section II.B.5. of the design guidelines.

Orientation: The entrance to the commercial part of the building will be at the corner of Ordway and North 16th Street. The corner will be chamfered, which is common for commercial corner buildings. The entrance to the residential units will be on 16th Street, not quite midway down the building. Vehicular access to the site will be via the alley at the rear. Because of the slope of the site, the attached garage, which provides parking for six cars, is located at basement level. Balconies are located at the chamfered corner above the commercial unit entrance, and at the rear of the 16th Street façade. Similar balconies were approved as part of the 2009 submission.

Staff finds that the proposed orientation meets Section II.B.6. of the design guidelines.

Proportion and Rhythm of Openings: The infill’s windows are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large

expanses of wall space without a window or door opening. The windows on the second story are either shorter or the same size as those on the first floor, which is appropriate.

Staff finds the project's proportion and rhythm of openings to meet Section II.B.7. of the design guidelines.

Appurtenances & Utilities: Staff recommends that the HVAC units and other utilities be located on the roof, or in a location approved by MHZC staff.

Recommendation Summary: Staff recommends approval of the infill with the following conditions:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff recommends that on the right façade, the area of the foundation that is not brick and that is currently shown as open have a masonry foundation. On the rear façade, staff recommends that the foundation be open to create vehicular bays but otherwise have masonry piers.
3. Staff approve the final details, dimensions and materials of all windows and doors prior to purchase and installation;
4. Staff approve a brick sample;
5. Staff approve the railing design;
6. Staff approve the driveway and walkway materials; and
7. MHZC staff approve the location of the HVAC units and other utilities.

With these conditions, staff finds that the proposed infill meets Section II.B. of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Additional Site Photos:



1516 Ordway Place from across 16th Street, looking north



1516 Ordway Place from rear alley, looking north

Context Photos:



Sweet 16 Bakery, across the street, at the southeast corner of North 16th Street and Ordway Place.



Northeast corner of North 16th Street and Ordway Place, catty-corner from the site.



North west corner of North 16th Street and Ordway Place.



1514 Ordway Place, contributing house to the right of the lot.



Commercial structures at 307 North 16th Street, across the street and slightly south of this site.

ORDINANCE NO. BL2009-521

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from CN to SP zoning for property located at 1516 Ordway Place, at the southwest corner of Ordway Place and North 16th Street (0.12 acres), to permit a two-story mixed-use building with six residential dwelling units and 1,167 sq. ft. of commercial/office spaces, located within the Five Points Redevelopment District and the Lockeland Springs Neighborhood Conservation Overlay, all of which is described herein (Proposal No. 2009SP-012-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from CN to SP zoning for property located at 1516 Ordway Place, at the southwest corner of Ordway Place and North 16th Street (0.12 acres), to permit a two-story mixed-use building with six residential dwelling units and 1,167 sq. ft. of commercial/office spaces, located within the Five Points Redevelopment District and the Lockeland Springs Neighborhood Conservation Overlay, as being Property Parcel No. 010 as designated on Map 083-10 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Sheet No. 083 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to residential, financial institution, general office, medical office, personal care service and retail.

Section 4. Be it further enacted that, a final corrected copy of the amended SP plan incorporating the conditions of approval by the Planning Commission and Council shall be provided to the Planning Department prior to the filing of any additional development applications for this property, and in any event no later than 120 days after the effective date of the enacting ordinance. The corrected copy provided to the Planning Department shall include printed copy of the preliminary SP plan and a single PDF that contains the plan and all related SP documents. If a final corrected copy of the SP plan incorporating the conditions therein is not provided to the Planning Department within 120 days of the effective date of the enacting ordinance, then the final corrected copy of the SP plan shall be presented to the Metro Council as a new amendment to this SP prior to approval of any grading, clearing, grubbing, final site plan, or any other development application for the property.

Section 5. Be it further enacted, that minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the

plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved in the plan that is part of this ordinance.

Section 6. Be it further enacted, that for any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG zoning district as of the date of the applicable request or application.

Section 7. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Sponsored by: Mike Jameson

[View Sketch](#)

**Amendment No. 1
To
Ordinance No. BL2009-521**

Madam President:

I move to amend Ordinance No. BL2009-521 as follows:

I. By substituting the SP plan referenced in Section 1 with the new SP plan dated October 16, 2009, which is on file with the Metropolitan Planning Department.

II. By adding the following provision at the end of Section 4:

“The amended SP plan shall be consistent with the rendering attached hereto and incorporated herein as Exhibit A.”

III. By renumbering the existing Section 7 as Section 8, and adding the following new Section 7:

“Section 7. Notwithstanding any other provisions of this ordinance or the SP Plan to the contrary, the following conditions shall be applicable to the development approved herein:

1. No alcoholic beverage sales or service shall be permitted on the premises.
2. The hours of operation of the retail use shall be restricted to 8:00 a.m. until 8:00 p.m.
3. Indoor signs shall be illuminated only during the hours of operation.
4. Commercial uses shall be limited to office, personal care services, retail, and financial establishments. No check cashing or cash advance establishments shall be permitted on the premises.
5. All lighting shall be directed toward the interior of the property. No lighting measuring one-quarter foot candle or greater shall be visible beyond the property line.”

Sponsored by: Mike Jameson

[View Exhibit](#)

LEGISLATIVE HISTORY	
Introduced:	August 6, 2009
Passed First Reading:	August 6, 2009

Referred to:	Planning Commission Planning & Zoning Committee
Passed Second Reading:	September 1, 2009
Deferred to October 20, 2009:	September 15, 2009
Amended:	October 20, 2009
Passed Third Reading:	October 20, 2009
Approved:	October 23, 2009
By:	
Effective:	November 2, 2009

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16TH AND ORDWAY

1516 ORDWAY PLACE
NASHVILLE, TN, 37206



16TH AND ORDWAY

1516 ORDWAY PLACE
NASHVILLE, TN, 37206

CONSTRUCTION DOCUMENTS

REVISIONS		
1	ADD 1	8/10/2020



5/11/20

PROJECT #: 18151

ISSUED: 05-11-2020

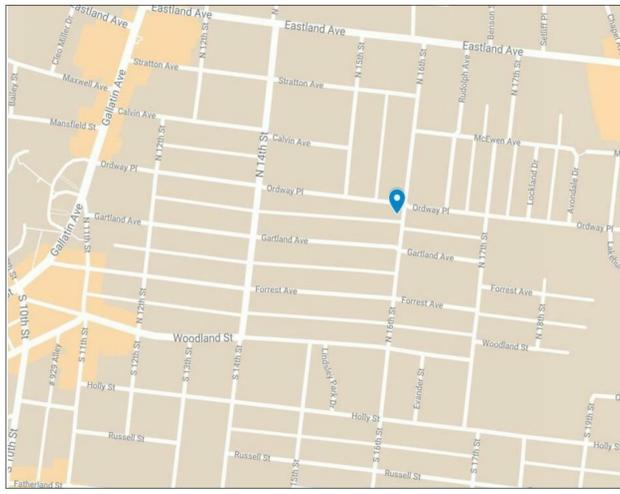
DRAWN BY: Author

COVER SHEET

G001

16TH AND ORDWAY

1516 ORDWAY PLACE
NASHVILLE, TN, 37206



1 SITE LOCATION MAP
1/2" = 1'-0"

ARCHITECT	MPE:	STRUCTURAL:
POWELL ARCHITECTURE + CONSTRUCTION STUDIO 904 MAIN ST., SUITE A1 NASHVILLE TN, 37214 O: 615.320.5000 F: 615.226.0106 CONTACT: EVAN BROOKS evan@powellarchitects.com	I.C. THOMASSON ASSOCIATES, INC. 2590 KRAFT DRIVE, SUITE 500 NASHVILLE, TN 37204 615.346.3400 CONTACT JOE BARNES jbarnes@icthomasson.com	EMC STRUCTURAL ENGINEERS P.C. 4525 TROUSDALE DRIVE NASHVILLE TN 37204 CONTACT NICK DEBLASIS, P.E. deblasis@emcnashville.com

ABBREVIATIONS

AB ANCHOR BOLT	(DW) DISHWASHER	LB (OR #) POUND	RECEP RECEPTACLE
ABV ABOVE	E EAST	LH LEFT HAND	REF REFERENCE
AC AIR CONDITIONING	EA EACH	LN LINEAR	(REF) REFRIGERATOR
ACOUS ACOUSTICAL	EJ EXPANSION JOINT	LKR LOCKER	REFL REFLECTED
ACT ACOUSTIC CEILING TILE	EL ELEVATION	LL LIVE LOAD	REINF REINFORCED
ADDN ADDITION	ELEC ELECTRIC	LONG'L LONGITUDINAL	RESIL RESILIENT
ADJ ADJUSTABLE	ELEV ELEVATOR	LVR LOUVER (S)	REQD REQUIRED
AFF ABOVE FINISHED FLOOR	EMER EMERGENCY	LT LIGHT	RH RIGHT HAND OR ROBE HOOK
AGGR AGGREGATE	ENCL ENCLOSURE	LTG LIGHTING	RM ROOM
AL ALUMINUM	ENG ENGINEER	LTWT LIGHT WEIGHT	RD ROUND OR ROAD
ALT ALTERNATE	EQ EQUAL	LP LOW POINT	RO ROUGH OPENING
ANGLE	EQUIP EQUIPMENT	MAINT MAINTENANCE	REV REVISION OR REVERSE
ANOD ANODIZED	E/W EACH WAY	MATL MATERIAL	RTU ROOFTOP UNIT
AP ACCESS PANEL	EMWC ELECTRIC WATER COOLER	MAX MAXIMUM	S SCOUR
APP'D APPROVED	EXCAV EXCAVATED	MED MEDIUM	S4S SURFACED FOUR SIDES
APPROX APPROXIMATE	EXH EXHAUST	MECH MECHANICAL	SAN SANITARY
ARCH ARCHITECT OR ARCHITECTURAL	EXIST EXISTING	MEMB MEMBRANE	SC SEALED CONCRETE OR SOLDIER COURSE
ASPH ASPHALT	EXP EXPANSION	MTL METAL	SCWD SOLID CORE WOOD DOOR
AUTO AUTOMATIC	EXPOS EXPOSED	MEZZ MEZZANINE	SD SOAP DISPENSER
AVG AVERAGE	EXT EXTERIOR	MFG MANUFACTURING	SCHED SCHEDULE
ANUN ANNUNCIATOR	FA FIRE ALARM	MFR MANUFACTURER	SCHM SCHEMATIC
BC BRICK COURSE(S)	FABR FABRICATE	MGR MANAGER	SECT SECTION
BD BOARD	FC FIRE CODE	MIN MINIMUM	SEL SELECT
BTW BETWEEN	FD FLOOR DRAIN	MIRR MIRROR	SERV SERVICE
BLDG BUILDING	FDC FIRE DEPARTMENT CONNECTION	MISC MISCELLANEOUS	SH SHELF OR SHELVING
BLK BLOCK	FDN FOUNDATION	ML METAL LATH	SHT SHEET
BLKG BLOCKING	FE FIRE EXTINGUISHER	MTO MASONRY OPENING	SPEC'L SPECIAL
BM BEAM OR BENCH MARK	FEC FIRE EXTINGUISHER CABINET	MTD MOUNTED	SPECS SPECIFICATION(S)
BOTT BOTTOM	FF FINISH FLOOR	MULL MULLION	SPKR SPEAKER
BE BOTTOM ELEVATION	FF FLAT HEAD	(MW) MICROWAVE	SQ SQUARE
B/O BOTTOM OF	FHC FIRE HOSE CABINET	NEG NEGATIVE	SF (OR) SQ.FT. SQUARE FEET
BRK BRICK	FHR FIRE HOSE RACK	NIC NOT IN CONTRACT	SND SANITARY NAPKIN DISPENSER
BRKT BRACKET	FIN FINISH	NOM (OR #) NUMBER	SOLS SOLID SURFACE
BRZ BRONZE	F/B FACE OF BRICK	NOM NOMINAL	SPED SPECIAL EDUCATION
BSMT BASEMENT	F/C FACE OF CONCRETE	NRC NOISE REDUCTION COEFFICIENT	SS STAINLESS STEEL
BUR BUILT UP ROOFING	F/F FACE OF FINISH	NTS NOT TO SCALE	S/S SERVICE SINK
BW BOTH WAYS	F/M FACE OF MASONRY	(O) OVEN	ST STAIR
BGB BEARING	F/O FACE OF	OC OVERALL	STC SOUND TRANSMISSION CLASS
CAB CABINET	F/SH FACE OF SHEATHING	OA ON CENTER	STD STANDARD
C/C CENTER TO CENTER	F/S FACE OF STUD	OD OUTSIDE DIAMETER	STL STEEL
CEM CEMENT	F/W FACE OF WALL	OFD OVER FLOW DRAIN	STOR STORAGE
CG CORNER GUARD	FP FIREPROOFING	OFF OFFICE	STRUC STRUCTURAL
CHAN CHANNEL	FR FRAME	OH OPPOSITE HAND	SURF SURFACE
CJ CONTROL JOINT	FRMG FRAMING	OPNG OPENING	SURR SURROUND
CLK CAULKING	FRT FIRE RETARDANT TREATED	OPP OPPOSITE	SUSP SUSPENDED
CL CENTER LINE	FS FULL SIZE	SYM SYMMETRICAL	SYST SYSTEM
CLG CEILING	FT FOOT OR FEET	SPL SPLASH	SYM SYMMETRICAL
CLG CLOSET	FTG FOOTING	SIM SIMILAR	T TREAD
CLR CLEAR	F/F FACE TO FACE	T TAN TANGENT	T&B TOP AND BOTTOM
CO CLEAR OPENING OR CLEAN OUT	FR FUTURE	TECH TECHNICAL	TEL TELEPHONE
COL COLUMN	GA GAUGE	TEMP TEMPERED	TEMP TEMPORARY
CONC CONCRETE	GALV GALVANIZED	THK THICK(NESS)	THK THICK(NESS)
CONN CONNECT OR CONNECTION	GL GLASS	TOC TOP OF CURB OR CONCRETE	TOC TOP OF CURB OR CONCRETE
CONST CONSTRUCTION	GR GUARDRAIL	TOF TOP OF STEEL	TOF TOP OF STEEL
CONT CONTINUOUS	GB GRAB BAR	TOP TOP OF PAVEMENT	TOM TOP OF MASONRY
CONT'D CONTINUED	GWB/GYPSUM BOARD	TOW TOP OF WALL	TPH TOILET PAPER HOLDER
CONTR CONTRACTOR	HP HIGH POINT	TYP TYPICAL	TVP TELEVISION
COR CORNER	HD HEAD	T/O TOP OF	(UCR) UNDER COUNTER REFRIGERATOR
CORR CORRUGATED	HDBD HARDBOARD	PR PAIR	UL UNDERWRITERS LABORATORY
CRF CARPET	HT HEIGHT	PRCST PRECAST	UNFIN UNFINISHED
CNTR (T) COUNTER (TOP)	HM HOLLOW METAL	PRJ PROJECT	UTIL UTILITY
CRS COURSE(S)	HP HIGH POINT	PTD PAPER TOWEL DISPENSER OR PAINTED	VERT VERTICAL
CSK COUNTERSUNK / SINK	HDWR HARDWARE	PRT PARTITION	VEST VESTIBULE
CTR CENTER	HDWD HARDWOOD	PM PROPOSED MODIFICATION	VNR VENER
CW COLD WATER	HORIZ HORIZONTAL	PROD PRODUCTION, PRODUCT	VOL VOLUME
CT CERAMIC TILE	HR HOUR	PROP PROPERTY	VWC VINYL WALL COVERING
CMU CONCRETE MASONRY UNIT	HTG HEATING	PT PRESSURE TREATED OR PORCELAIN	W WEST
CF/CI CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	HVAC HEATING, VENTILATION AND AIR CONDITIONING	PT TILE OR POST TENSIONED	W/ WITH (SPELL OUT WHEN AT END OF LINE)
DA DOUBLE-ACTING	HW HOT WATER	PVC POLYVINYL CHLORIDE	(W) WASHER
DBL DOUBLE	ID INSIDE DIAMETER	PWR POWER	WAP WIRELESS ACCESS POINT
DEPT DEPARTMENT	INCL INCLUDE (D) (ING)	QT QUARRY TILE	WC WATER CLOSET OR WALL COVERING
DET DETAIL	INFO INFORMATION	RAD RADIUS	WD WOOD
DF DRINKING FOUNTAIN	INSUL INSULATION	QUAN QUANTITY	WH WATER HEATER OR WALL HUNG
(D) DRYER	INT INTERIOR	R RISER	W/IN WITHIN
DD DECK DRAIN	JC JANITOR CLOSET	(RA) RANGE	WLD WELDED
DIA DIAMETER	JB JUNCTION BOX	R/A RETURN AIR	
DIAG DIAGONAL	JST JOIST	RAD RADIUS	
DIM DIMENSION	JT JOINT	RB RESILIENT BASE	
DISP DISPOSER OR DISPENSER	KIT KITCHEN	RD ROOF DRAIN	
DIV DIVISION	KP KICK PLATE	REBAR REINFORCING BAR	
DK DARK	LAB LABORATORY		
DN DOWN	LAM LAMINATE		
DO DOOR OPENING	LAT LATERAL		
DR DOOR	LAV LAVATORY		
DS DOWNSPOUT			
DSP DRY STANDPIPE			
DWG DRAWING			
DWR DRAWER			
DL DEAD LOAD			

ANNOTATION SYMBOLS

	BUILDING SECTION
	PARTIAL BUILDING SECTION
	DETAIL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	LEVEL INDICATOR
	NORTH ARROW
	NEW DOOR WITH DOOR TAG
	EXISTING DOOR TO REMAIN
	NEW PARTITION
	EXISTING PARTITION
	DEMO WALL
	PARTITION TAG
	WINDOW TAG
	STOREFRONT SYSTEM TAG
	LIGHTING FIXTURE TAG
	KEYNOTE TAG
	REVISION TAG

GENERAL NOTES

- This document is provided for basic construction purposes only. The architect does not warrant any material, equipment, hardware, etc. Whether implied or explicitly called out on drawings.
- Job site safety is the sole responsibility of the contractor.
- The contractor shall review and coordinate the scheduling of all construction with the architect and submit a detailed construction schedule prior to doing work.
- All general notes apply to the scope of this total project regardless of whether or not they are keyed on every sheet to a specific detail.
- The general contractor shall ensure that all construction meets or exceeds applicable codes and standard practices, including all federal, state and local building and accessibility requirements and regulations. The contractor shall be responsible for any violations of the same and shall make all work acceptable to the public department involved without extra charge.
- The contractor shall verify dimensions and site conditions before starting work. The architect shall be notified of any discrepancy. Contractor shall include items not noted in these documents yet are required to complete the scope of work in the contractor's lump sum price.
- All items depicted graphically, whether noted or not, are part of the contractor's scope of work and shall be provided at no extra charge.
- All permits (Occupancy, electrical, plumbing and all others) required by state and local codes, except those acquired by subcontractors, are to be secured by the general contractor. Provide copies to the architect without extra charge. All permits acquired by subcontractors shall be submitted to the general contractor for record.
- Each trade shall verify all requirements pertaining to work performed in the project and obtain any required permits. All subcontractors shall direct questions, changes or requests through the general contractor. The general contractor shall submit all request changes or questions to the architect.
- If unanticipated mechanical, plumbing electrical, structural elements of any other conditions are encountered which might conflict with the intended function, contract the architect immediately for clarifications.
- For the entire length of contact work, contractor shall provide and maintain all exits, exit lighting, fire protection devices and alarms to conform to local building code requirements.
- Provide "Cutting and patching" into existing construction for the installation or performance of other work and subsequent filling and patching required to restore surfaces to their original condition. Do not cut and patch work exposed on the building's exterior or its occupied spaces in a manner which would, in the architect's opinion, result in lessening the building's aesthetic qualities. Do not cut and patch work in a manner that would result in substantial visual evidence of cut and patch work. Remove and replace work, judged by the architect to be cut and patched in a visually unsatisfactory manner without extra charge.
- Provide all submittals for architect's review.
- The contractor shall promptly remedy any damage and/or loss to property (All materials and equipment incorporated in the work described herein) caused in whole or in part by the contractor. A subcontractor, or anyone directly or indirectly employed by any of them.
- Do not scale drawings. If dimensions are in question, obtain clarification from the architect before continuing with construction.
- Remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, some of which may not be verifiable without destroying otherwise adequate or serviceable portions of the building. The architect and the architect's consultants are not responsible for conditions discovered during construction that differ from those indicated. The contractor upon making such a discovery, shall immediately notify the architect and obtain a clarification prior to proceeding with the work in question.
- Contractor shall provide all close-out documentation required by the building management.
- Refer to engineering construction documents for mechanical, plumbing, fire protection and /or electrical work.
- In the event a contractor, supplier or others request copies of electronic media, such as CAD files from the architect, a release shall be executed by the receiving firm.

SHEET INDEX

Sheet Number	Sheet Name	Discipline	Permit Set	Rev 1
00-GENERAL				
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G002	PROJECT INDEX	00-GENERAL	x	X
G003	CODE COMPLIANCE	00-GENERAL	x	X
G004	ACCESSIBILITY DETAILS	00-GENERAL	x	
G005	UL ASSEMBLIES	00-GENERAL	x	
G005.1	UL ASSEMBLIES	00-GENERAL	x	
G005.2	UL ASSEMBLIES	00-GENERAL	x	
01-CIVIL				
C0.0	COVER SHEET	01-CIVIL	x	
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN	01-CIVIL	x	
C2.0	LAYOUT & UTILITY SERVICE PLAN	01-CIVIL	x	
C3.0	GRADING & DRAINAGE PLAN	01-CIVIL	x	
C4.0	INITIAL & FINAL EPSC PLAN	01-CIVIL	x	
C6.0	EPSC DETAILS	01-CIVIL	x	
C6.1	DETAILS	01-CIVIL	x	
C6.2	DETAILS	01-CIVIL	x	
02-ARCHITECTURAL				
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A002	DOOR DETAILS	02-ARCHITECTURAL	x	
A003	DOOR LEGEND & NOTES	02-ARCHITECTURAL	x	
A004	WINDOW DETAILS & SCHEDULE	02-ARCHITECTURAL	x	
A005	CASEWORK DETAILS	02-ARCHITECTURAL	x	
A006	STAIR DETAILS	02-ARCHITECTURAL	x	
A101	ARCHITECTURAL SITE PLAN	02-ARCHITECTURAL	x	
A111	FLOOR PLANS	02-ARCHITECTURAL	x	
A112	FLOOR PLANS-NOTED	02-ARCHITECTURAL	x	
A113	REFLECTED CEILING PLANS	02-ARCHITECTURAL	x	
A201	EXTERIOR ELEVATIONS	02-ARCHITECTURAL	x	
A202	EXTERIOR ELEVATIONS	02-ARCHITECTURAL	x	
A301	BUILDING SECTIONS	02-ARCHITECTURAL	x	
A302	BUILDING SECTIONS	02-ARCHITECTURAL	x	
A311	SECTION DETAILS	02-ARCHITECTURAL	x	
A400	ENLARGED PLANS AND ELEVATIONS	02-ARCHITECTURAL	x	
A401	ENLARGED PLANS AND ELEVATIONS	02-ARCHITECTURAL	x	
A402	ENLARGED PLANS AND ELEVATIONS	02-ARCHITECTURAL	x	
A403	ENLARGED PLANS AND ELEVATIONS	02-ARCHITECTURAL	x	
A404	ENLARGED PLANS AND ELEVATIONS	02-ARCHITECTURAL	x	
A701	FINISH PLANS	02-ARCHITECTURAL	x	
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E102	ELECTRICAL LEGEND	ELECTRICAL	x	
E103	ELECTRICAL SITE PLAN	ELECTRICAL	x	
E104	ELECTRICAL SITE LIGHTING PLAN	ELECTRICAL	x	
E105	ELECTRICAL LIGHTING PLAN	ELECTRICAL	x	
E106	ELECTRICAL POWER PLAN	ELECTRICAL	x	
MECHANICAL				
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M301	HVAC NEW CONSTRUCTION PLAN	MECHANICAL	x	
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PLUMBING				
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P202	PLUMBING UNDERGROUND PLAN	PLUMBING	x	
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STRUCTURAL				
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S112	ROOF FRAMING PLAN	STRUCTURAL	x	
S201	SECTIONS AND DETAILS	STRUCTURAL	x	
S202	SECTIONS AND DETAILS	STRUCTURAL	x	
S301	SECTIONS & DETAILS	STRUCTURAL	x	
S302	SECTIONS & DETAILS	STRUCTURAL	x	
S401	FRAMING SECTIONS & DETAILS	STRUCTURAL	x	

16TH AND ORDWAY
 1516 ORDWAY PLACE
 NASHVILLE, TN, 37206
 CONSTRUCTION DOCUMENTS

REVISIONS

1	ADD 1	8/10/2020
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5/11/20

PROJECT #: 18151

ISSUED: 05-11-2020

DRAWN BY: Author

PROJECT INDEX

G002

G002

BUILDING DATA

PROJECT ADDRESS
1516 ORDWAY PLACE NASHVILLE, TN 37206

GENERAL PROJECT DESCRIPTION
NEW 2 STORY MIXED USE BUILDING APPROX. 8,000 SQFT. TWO COMMERCIAL SHELL SPACES WITH ONE TYPE B ACCESSIBLE DWELLING UNIT ON THE FIRST FLOOR. 3 APARTMENTS ON THE 2ND FLOOR.

APPLICABLE CODES
2012 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS*
2012 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS*
2012 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS*
2012 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS*
2012 INTERNATIONAL FIRE CODE (WITH LOCAL AMENDMENTS)
2012 LIFE SAFETY CODE (NFPA 101)
2011 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ICC/ANSI A-117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
1998 METROPOLITAN COMPREHENSIVE ZONING ORDINANCE**

USE GROUP (IBC 2012 TABLE 304)

R2 - RESIDENTIAL
B - BUSINESS
U - UTILITY AND MISCELLANEOUS

ALLOWABLE HEIGHTS AND AREAS (IBC 2012 TABLE 503)

	ALLOWABLE	ACTUAL
BUILDING HEIGHT	3 STORIES/60'	33'
BUILDING AREA	14,000 SF PER FLOOR	8,000 SF TOTAL

*REFER TO CH 406.3.2 FOR AREA INCREASE AT GROUP U - PRIVATE GARAGE

CONSTRUCTION TYPE (IBC 2012 TABLE 601)

V-B

FIRE ALARM

YES
FULLY SPRINKLERED
NFPA 13R SYSTEM TO BE PROVIDED

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS (IBC 2012 TABLE 601)

	RATING	DESIGN
PRIMARY STRUCTURAL FRAME	0 HR	N/A
EXTERIOR BEARING WALLS	0 HR	N/A
EXTERIOR NONBEARING WALLS	0 HR	N/A
INTERIOR NONBEARING WALLS	0 HR	N/A
INTERIOR NON-LOAD BEARING WALLS	0 HR	N/A
FLOOR CONSTRUCTION + SECONDARY MEMBERS	0 HR	N/A
ROOF CONSTRUCTION + SECONDARY MEMBERS	0 HR	N/A

INTERIOR FINISHES (TABLE 803.9 AND SECTION 803.1)

EXIT PASSAGEWAY	CLASS B
CORRIDORS	CLASS B
ROOMS/ENCLOSED SPACES	CLASS C

EGRESS REQUIREMENTS

TRAVEL DISTANCE:
200' MAX. TRAVEL TO EXIT PER IBC TABLE 1016.2
20' MAX. DEAD END CORRIDOR PER IBC 1018.4

MEANS OF EGRESS:
MIN CORRIDOR WIDTH PER IBC TABLE 1018.2 SHALL BE 44"
MIN CLEAR OPENING OF MEANS OF EGRESS DOORS PER IBC 1008.1.1 SHALL BE 32"
MIN NUMBER OF EXITS PER IBC TABLE 1015.1 - X PROVIDED: X

OCCUPANCY CALCULATIONS (TABLE 1004.1.1)

SPACE TYPE	FUNCTION	LOAD FACTOR
TYPE B - RESIDENTIAL	DWELLING	200 SF / OCCUPANT
OFFICE	BUSINESS	100 SF / OCCUPANT
ACCESSORY/STORAGE	ACCESSORY STORAGE	300 SF / OCCUPANT

SP ZONING REQUIREMENTS

- NO ALCOHOLIC BEVERAGE SALES OR SERVICE SHALL BE PERMITTED ON THE PREMISES.
- THE HOURS OF OPERATIONS OF RETAIL USE SHALL BE RESTRICTED TO 8AM UNTIL 8PM.
- INDOOR SIGNS SHALL BE ILLUMINATED ONLY DURING THE HOURS OF OPERATION.
- COMMERCIAL USES SHALL BE LIMITED TO OFFICE, PERSONAL CARE SERVICES, RETAIL, AND FINANCIAL ESTABLISHMENTS. NO CHECK CASHING OR CASH ADVANCE ESTABLISHMENTS SHALL BE PERMITTED ON THE PREMISES.
- ALL LIGHTING SHALL BE DIRECTED TOWARD THE INTERIOR OF THE PROPERTY. NO LIGHTING MEASURING OVER ONE-QUARTER FOOT CANDLE OR GREATER SHALL BE VISIBLE BEYOND THE PROPERTY LINE.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND APPLICABLE REQUIREMENTS OF THE MUG ZONING DISTRICT AS OF THE DATE OF THE REQUEST OR APPLICATION.

CHAPTER 29 - PLUMBING SYSTEMS

TABLE 2902.1 MINIMUM NUMBER OF REQUIRE PLUMBING FIXTURES

	Water Closets		Lavatories		Urinals	Drinking Fountains*		Other
	Req'd	Design	Req'd	Design		Req'd	Design	
MEN	1 per 75	2	1 per 200	2	2	-	-	1 service sink
WOMEN	1 per 75	3	1 per 200	2	-	-	-	

REVISIONS

1	ADD 1	8/10/2020
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PROJECT #: 18151

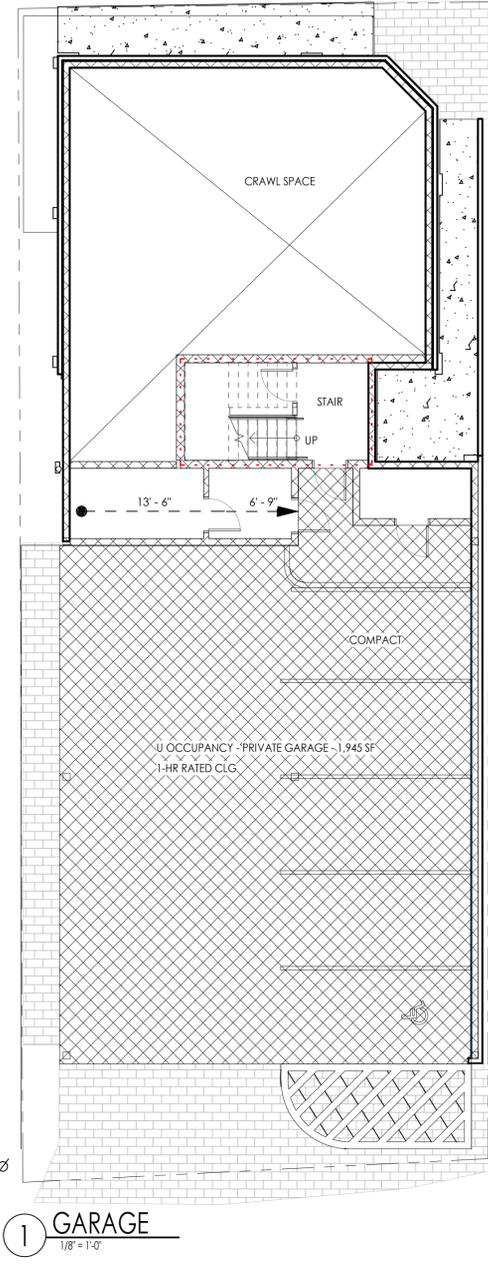
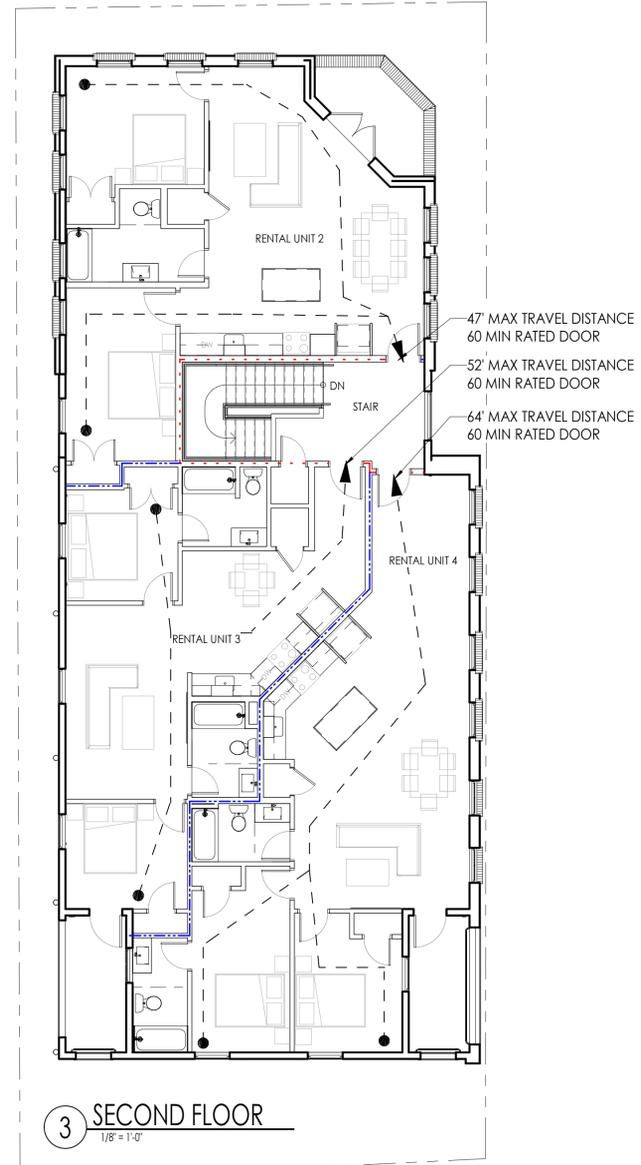
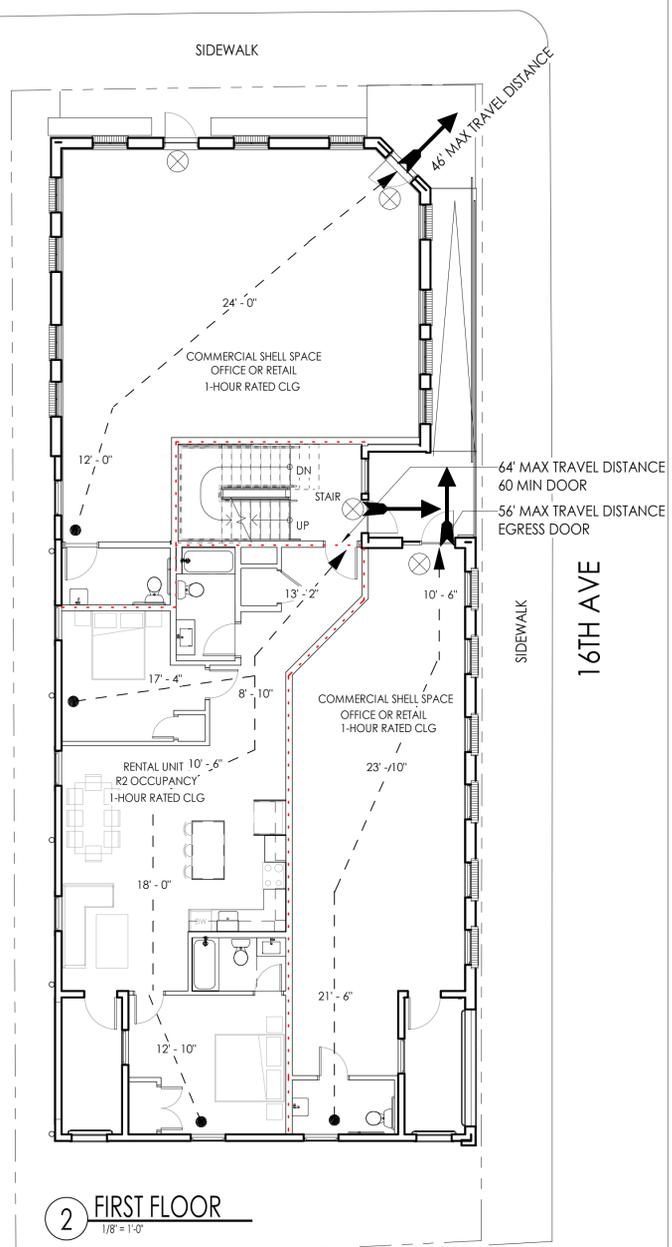
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CODE COMPLIANCE

G003

ORDWAY PLACE

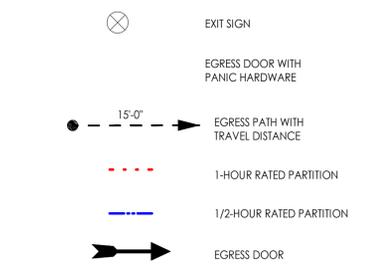


LIFE SAFETY PLANS

GENERAL NOTES

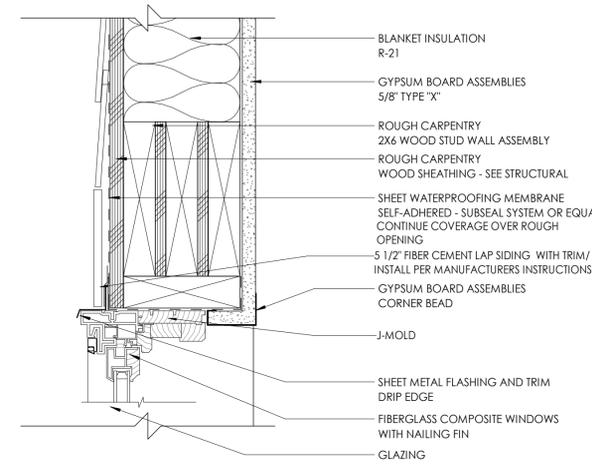
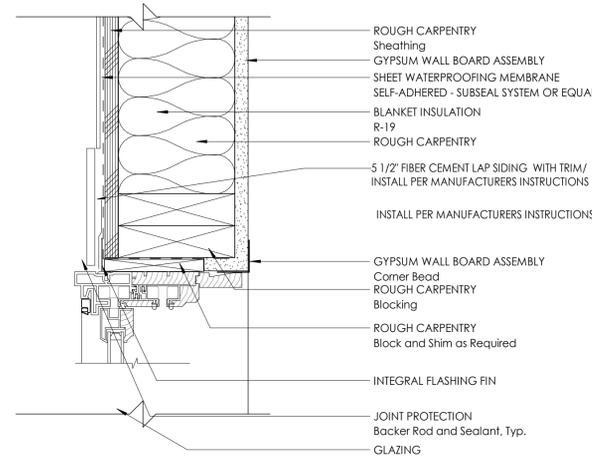
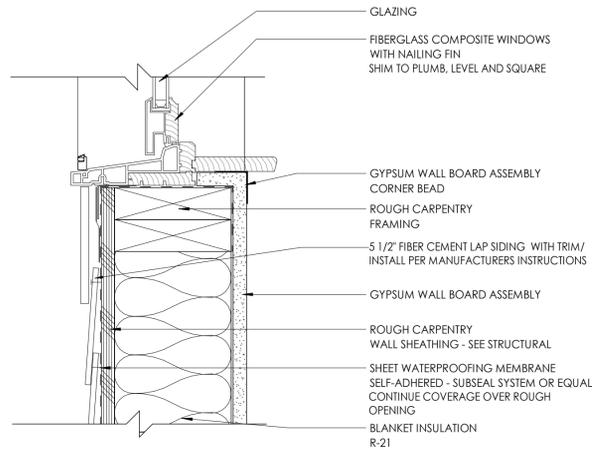
- SEE ELECTRICAL DRAWING FOR LIFE SAFETY & EMERGENCY LIGHTING.
- SEE ELECTRICAL DRAWING FOR FIRE ALARM, HORN, STROBE PULL STATIONS AND ZONES.
- FIRE PROTECTION DESIGN TO BE SUBMITTED DURING CONSTRUCTION BY THE GENERAL CONTRACTOR IN THE FORM OF SHOP DRAWINGS FOR JURISDICTION APPROVAL.
- G.C. TO PROVIDE & INSTALL FIRE EXTINGUISHERS PER NFPA 10. VERIFY AND COORDINATE FINAL QUANTITIES, LOCATIONS, & INSTALLATION W/ LOCAL AHJ.
- ALL FIRE EXTINGUISHERS SHALL HAVE A GROSS WEIGHT NOT TO EXCEED 40 LBS AND ARE TO BE MOUNTED ON MOUNTING BRACKETS SO THAT TOP OF UNIT IS NO MORE THAN 4'-0" A.F.F.

LIFE SAFETY LEGEND



WINDOW NOTES

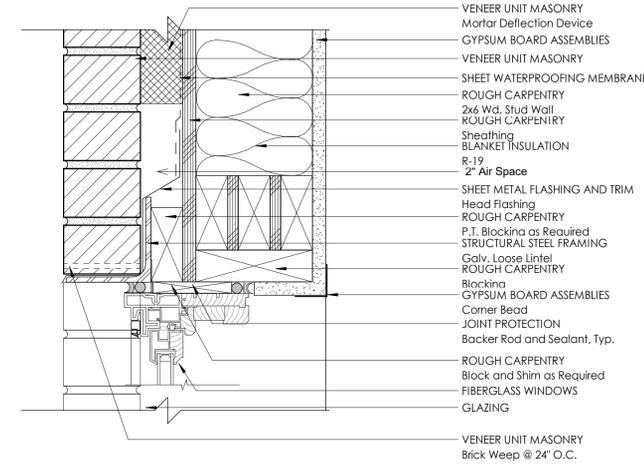
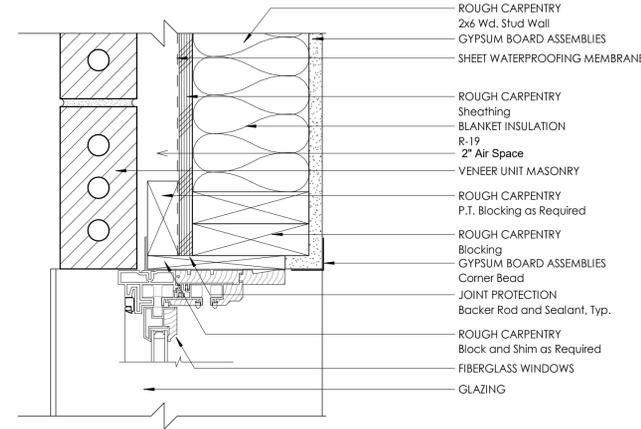
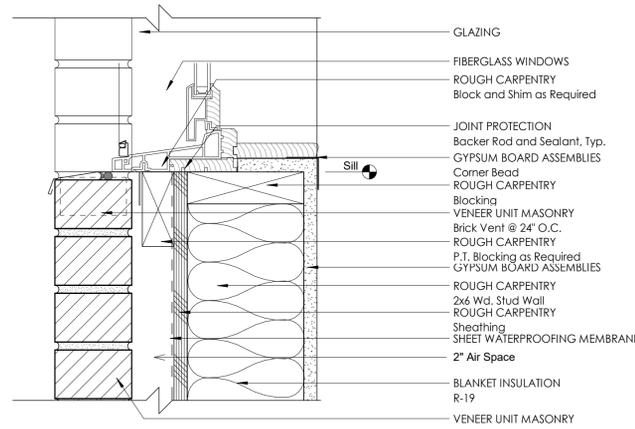
1. ALL WINDOWS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
2. ALL WINDOWS TO BE FINISHED OIL RUBBED BRONZE EXTERIOR AND WHITE INTERIOR.
3. ALL WINDOW GRILLES TO BE SIMULATED DIVIDED LIGHT.
4. ALL WINDOW FINISHES TO BE SUBMITTED TO DESIGN TEAM FOR APPROVAL BEFORE ORDERING



6 WINDOW SILL DETAIL @ FIBER CEMENT PANEL
3'-1-0"

4 WINDOW JAMB DETAIL @ FIBER CEMENT PANEL
3'-1-0"

2 WINDOW HEAD DETAIL @ FIBER CEMENT PANEL
3'-1-0"



5 WINDOW SILL DETAIL @ BRICK
3'-1-0"

3 WINDOW JAMB DETAIL @ BRICK
3'-1-0"

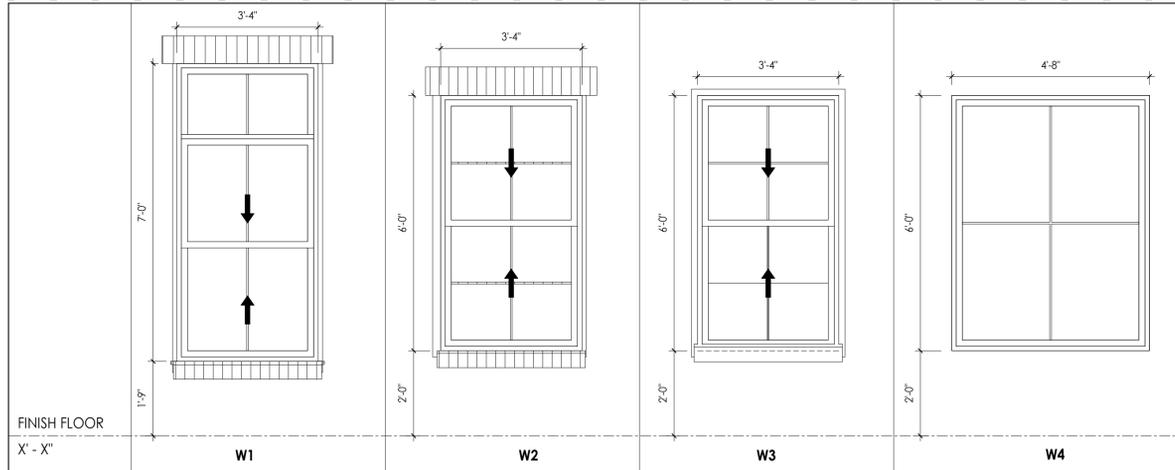
1 WINDOW HEAD DETAIL @ BRICK
3'-1-0"

REVISIONS

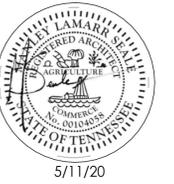
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WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	COUNT	MANF	MODEL	HEADER NO	JAMB NO	SILL NO	SCREEN	OPERABLE
W1	3'-3 1/2"	6'-11 1/2"	3'-4"	7'-0"	11	ANDERSEN	A-SERIES	1	3	5	Yes	Yes
W2	3'-3 1/2"	5'-11 1/2"	3'-4"	6'-0"	22	ANDERSEN	A-SERIES	1	3	5	Yes	Yes
W3	3'-3 1/2"	5'-11 1/2"	3'-4"	6'-0"	17	ANDERSEN	A-SERIES	2	4	6	Yes	Yes
W4	4'-7 1/2"	5'-11 1/2"	4'-8"	6'-0"	1	ANDERSEN	A-SERIES	2	4	6	No	No



WINDOW LEGEND
N.T.S.

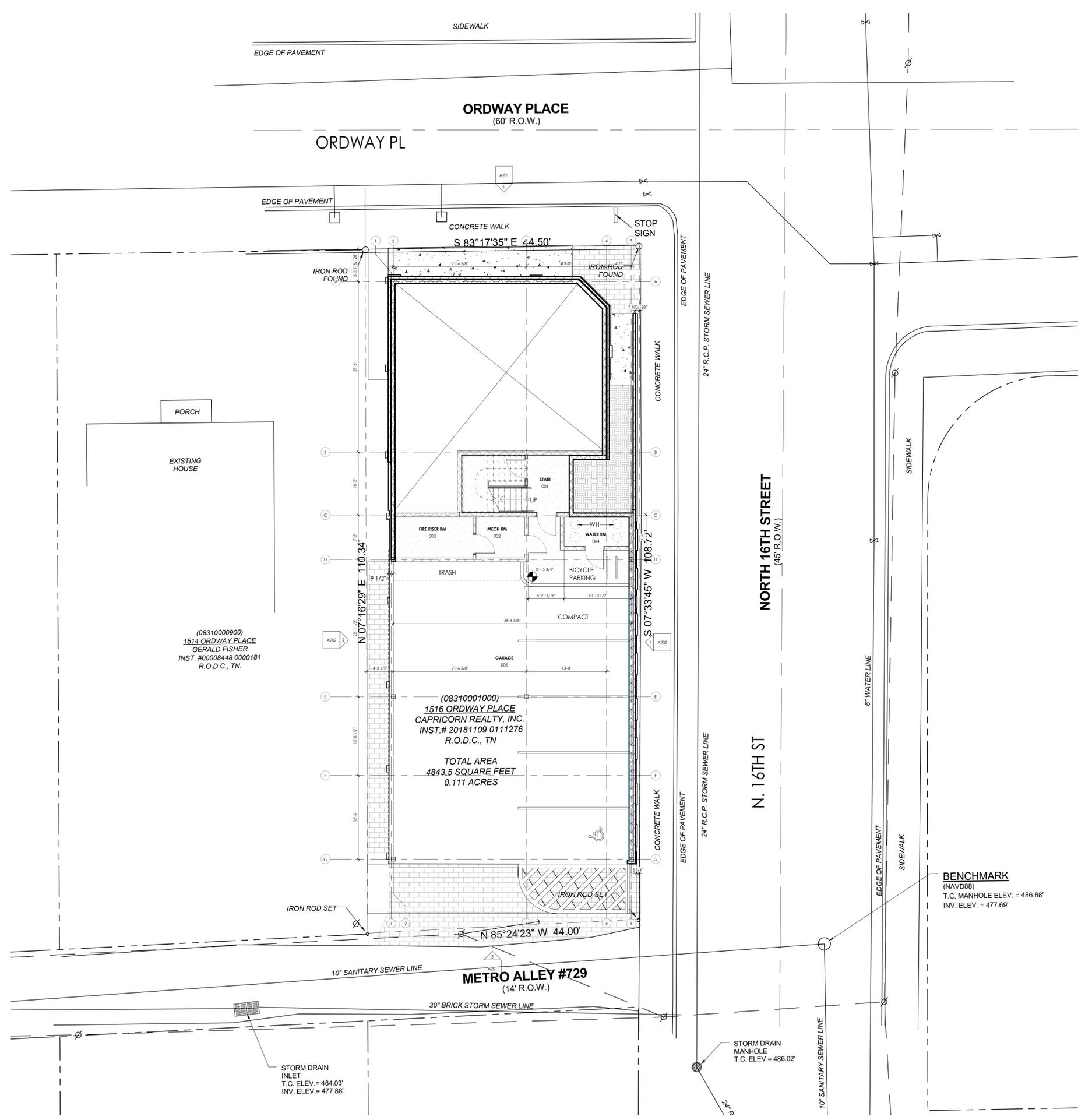


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ISSUED: 05-11-2020
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WINDOW DETAILS & SCHEDULE

A004

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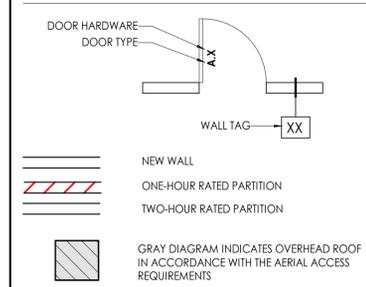
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 1514 ORDWAY PLACE
 GERALD FISHER
 INST. #00008448 0000181
 R.O.D.C., TN.

(08310001000)
 1516 ORDWAY PLACE
 CAPRICORN REALTY, INC.
 INST. # 20181109 0111276
 R.O.D.C., TN

TOTAL AREA
 4843.5 SQUARE FEET
 0.111 ACRES

BENCHMARK
 (NAVD88)
 T.C. MANHOLE ELEV. = 486.88'
 INV. ELEV. = 477.69'

GRAPHIC SYMBOLS



GENERAL NOTES

1. ALL DIMENSIONS ARE MEASURED FROM STUD TO STUD, UNLESS NOTED OTHERWISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ARCHITECT OF SPECIFIC DIMENSION DISCREPANCIES TO OBTAIN DIMENSION CLARIFICATION AND APPROVAL TO PROCEED.
2. ALL INTERIOR TENANT PARTITIONS NOT DESIGNATED BY WALL TAG OR KEYNOTE ARE EXISTING.
3. CENTERLINE OF NEW PARTITIONS SHOULD ALIGN WITH CENTERLINE OF PERIMETER WINDOW MULLIONS, UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE AND LOCATE FIRE RETARDANT WOOD BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS THAT REQUIRE SUPPORT.
5. REFER TO AV DRAWINGS FOR TV LOCATIONS, PROVIDE BLOCKING WHERE NECESSARY.
6. ALL FASTENINGS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
7. ALL PARTITIONS WITH A FIRE RATING OF ONE HOUR OR ABOVE SHALL BE PERMANENTLY IDENTIFIED IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. STENCILING (MIN. 2" H) SHALL READ: "FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS" AND BE PLACED ABOVE CEILING OR IN A CONCEALED SPACE.
8. ALL FURNITURE PROVIDED BY OTHER.

KEYNOTES

SITE PLAN LEGEND
 1/4" = 1'-0"



16TH AND ORDWAY
 1516 ORDWAY PLACE
 NASHVILLE, TN, 37206
 CONSTRUCTION DOCUMENTS

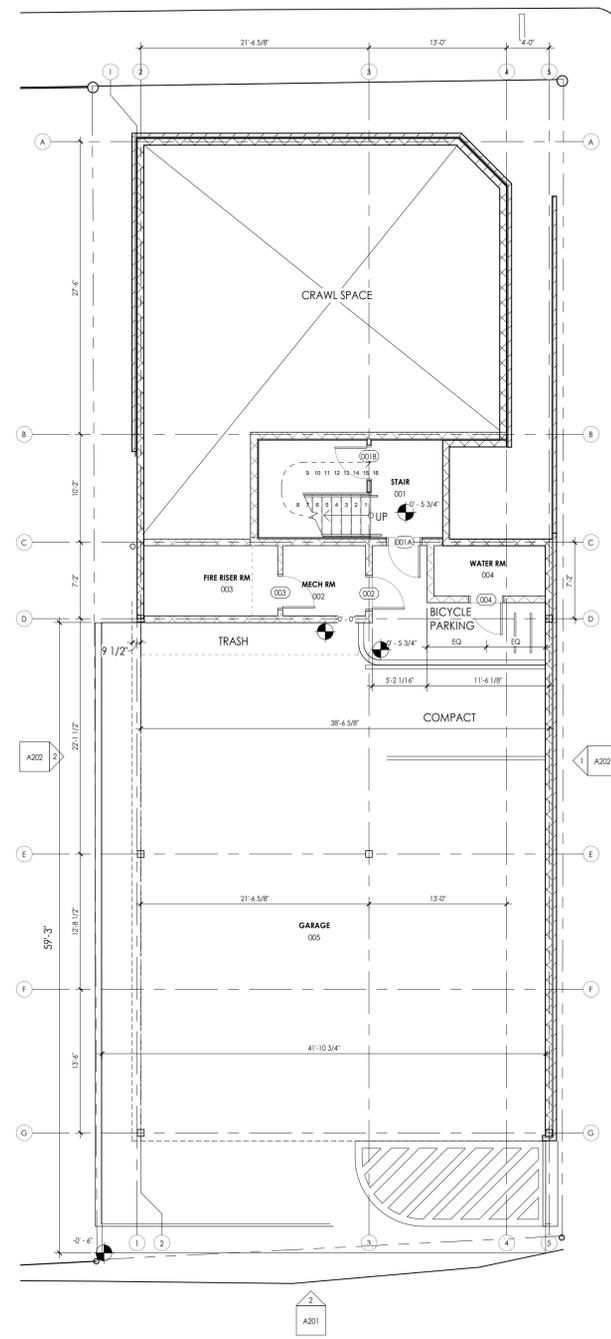
REVISIONS



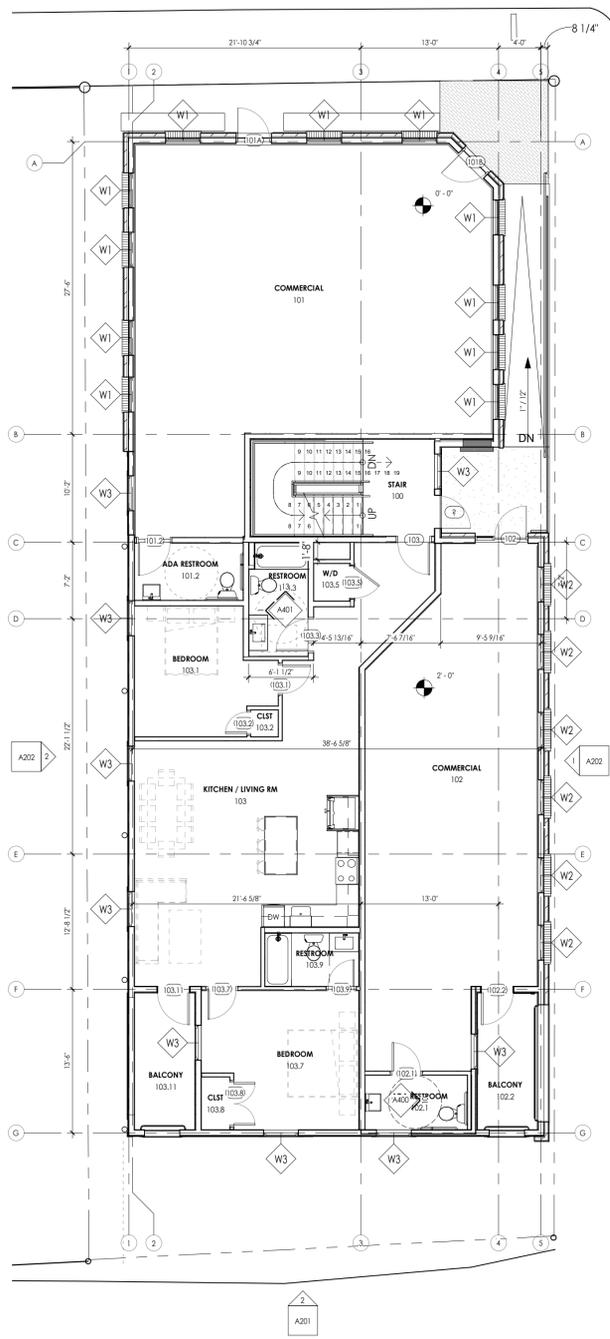
PROJECT #: 18151
 ISSUED: 05-11-2020
 DRAWN BY: Author

ARCHITECTURAL SITE PLAN

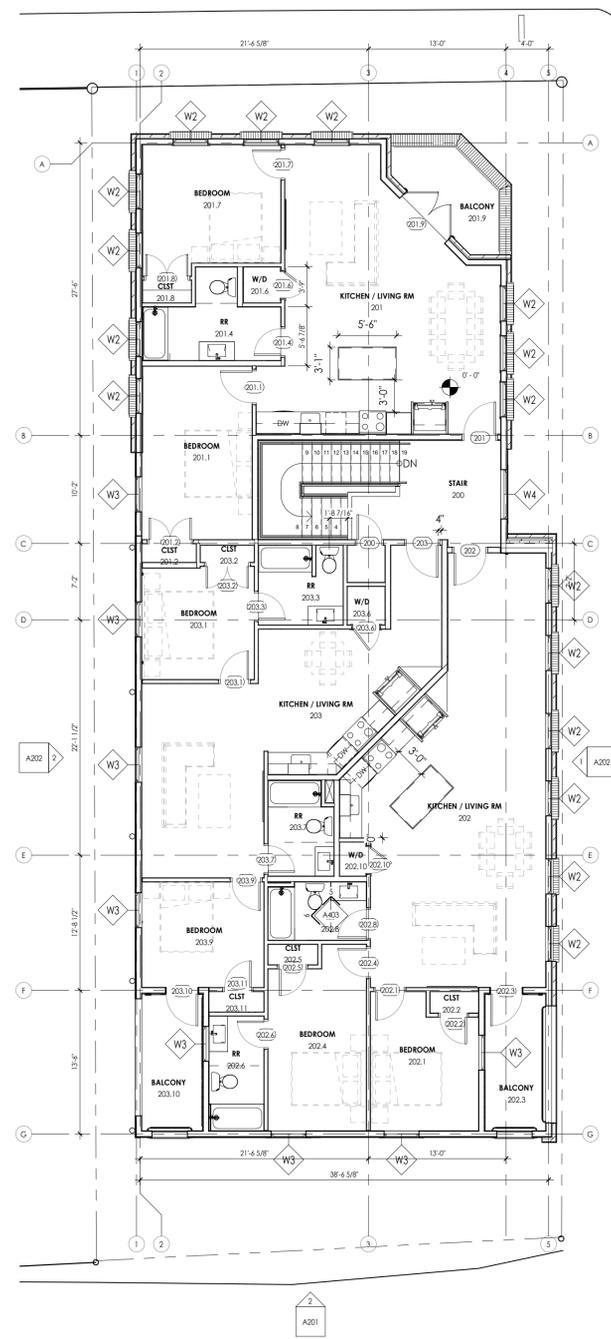
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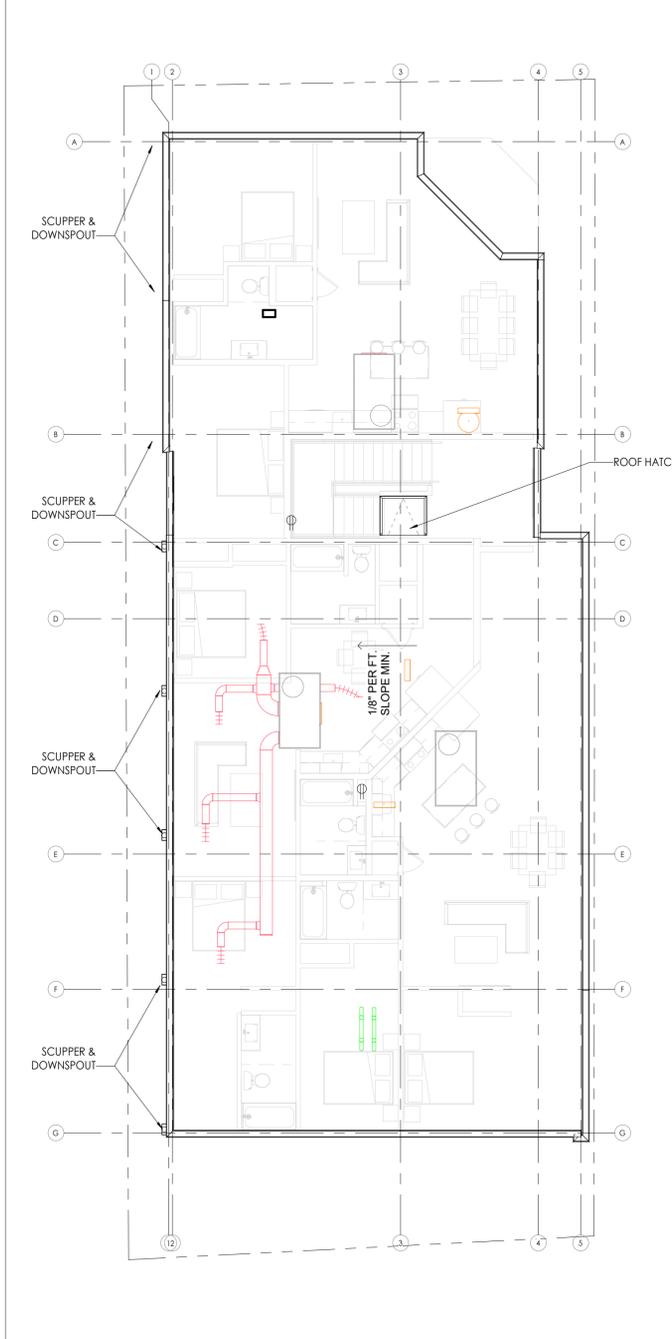
1 GARAGE
1/8" = 1'-0"



2 FIRST FLOOR
1/8" = 1'-0"



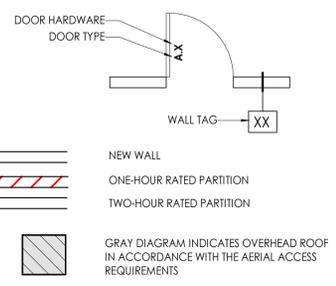
3 SECOND FLOOR
1/8" = 1'-0"



4 ROOF PLAN
1/8" = 1'-0"

FLOOR PLANS

GRAPHIC SYMBOLS



GENERAL NOTES

- ALL DIMENSIONS ARE MEASURED FROM STUD TO STUD, UNLESS NOTED OTHERWISE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ARCHITECT OF SPECIFIC DIMENSION DISCREPANCIES TO OBTAIN DIMENSION CLARIFICATION AND APPROVAL TO PROCEED.
- CENTERLINE OF NEW PARTITIONS SHOULD ALIGN WITH CENTERLINE OF PERIMETER WINDOW MULLIONS, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE AND LOCATE FIRE RETARDANT WOOD BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS THAT REQUIRE SUPPORT.
- REFER TO FLOOR PLANS AND INTERIOR ELEVATION DRAWINGS FOR TV LOCATIONS, PROVIDE BLOCKING WHERE NECESSARY.
- ALL FASTENINGS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
- ALL PARTITIONS WITH A FIRE RATING OF ONE HOUR OR ABOVE SHALL BE PERMANENTLY IDENTIFIED IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. STENCILING (MIN. 2" H) SHALL READ: "FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS" AND BE PLACED ABOVE CEILING OR IN A CONCEALED SPACE.
- ALL FURNITURE PROVIDED BY OTHER.

KEYNOTES

REVISIONS



PROJECT #: 18151
ISSUED: 05-11-2020
DRAWN BY: PABS

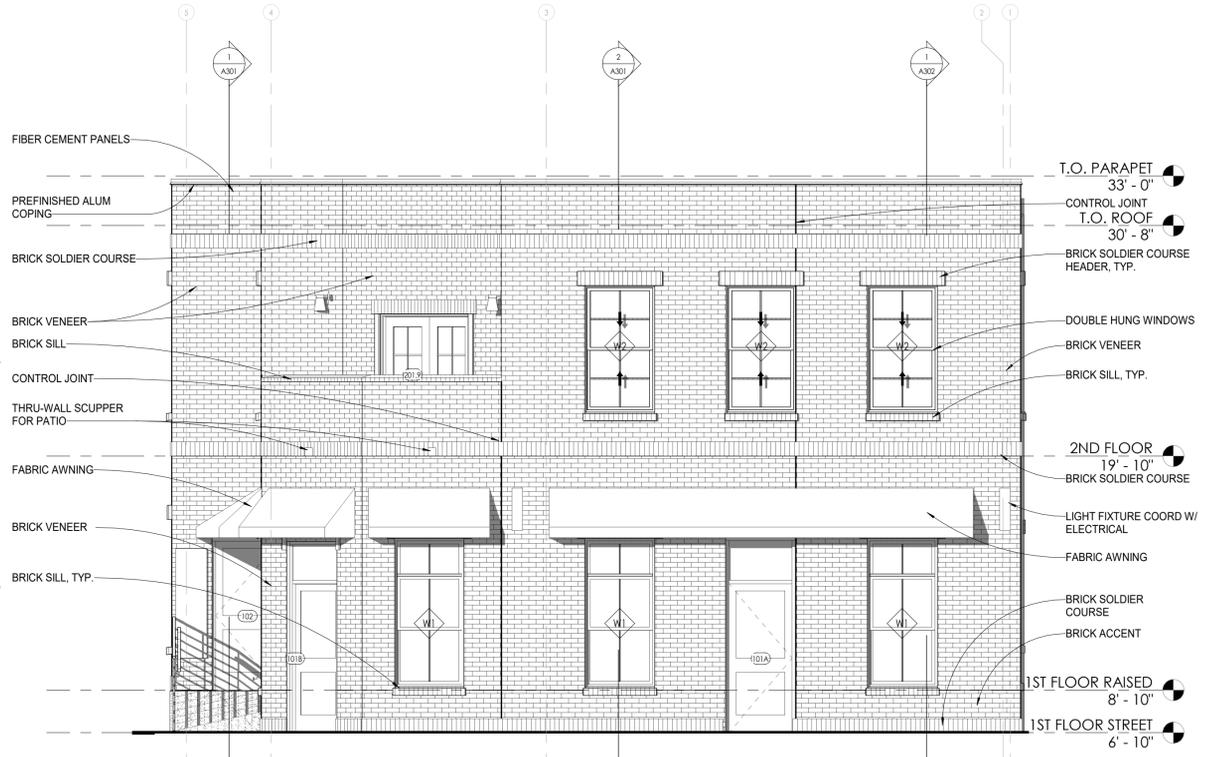
FLOOR PLANS

A111

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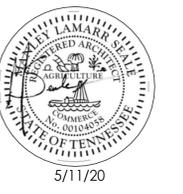
2 Elevation 3 - a
1/4" = 1'-0"



1 Elevation 1 - a
1/4" = 1'-0"

REVISIONS

1	ADD 1	8/10/2020
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PROJECT #:	18151
ISSUED:	05-11-2020
DRAWN BY:	Author

EXTERIOR ELEVATIONS



1 Elevation 2 - a
1/4" = 1'-0"



2 Elevation 4 - a
1/4" = 1'-0"

REVISIONS

1	ADD 1	8/10/2020
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PROJECT #: 18151
ISSUED: 05-11-2020
DRAWN BY: Author

EXTERIOR ELEVATIONS

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