

# SITE DEVELOPMENT PLAN FOR HIGHWAY 12 MOTORSPORTS - ON HICKORY PLACE LOT 1 PARCEL# 067-00-0-145.00

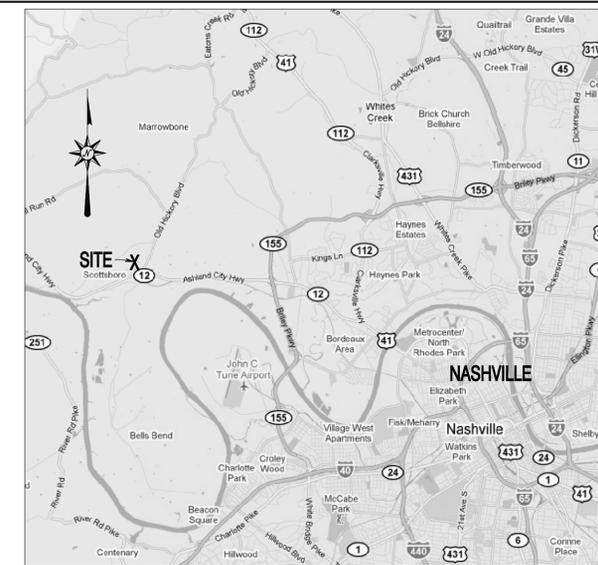
## 5110 ASHLAND CITY HIGHWAY NASHVILLE, TN 37218

Mon Jan 21, 2013

### SECTION A. DATA - ITEM NO. 1 - DEVELOPMENT SUMMARY

•I-a	Council district number & district councilmember name: 1 - Lonell Matthews, Jr. (lonell.matthews@nashville.gov)
•I-b	Owner(s) of Record: CHAMBLEE, PHILLIP E. - 5121 Old Hickory Boulevard, Nashville, TN 37218 (615) 448-2160
•I-c	SP Name - Highway 12 Motorsports
•I-d	SP Number - Case No. 2013 SP004-001
•I-e	Cluster Lot Subdivision (Indicate if it is one): N/A
•I-f	Plan Preparation (mm/dd/yy) with each Revision Date - See Revision Block Located in Title Block
•I-g	Scale of 1" = 30', along with bar scale identifying scale used.
•I-h	Engineer of Record - Southern Engineering Services, LLC 1816 Cayce Springs Road, Thompson's Station, TN 37174 William Payne (deceased) & Jon F. Goff, P.E. (Vice President) 101812 1816 Cayce Springs Road, Thompson's Station, TN 37174 (615) 308-2511 (Southernengineeringllc@gmail.com) Architect - Thomas L. Anderson Architect, Inc. 303A South Main Street Goodlettsville, TN 37072 Thomas Anderson Phone - (615) 448-6848 Fax (615) 448-6850 e-mail tlaa303a@yahoo.com
•I-i	U.S. FEMA FIRM Map 47037C0183 F. Zone X effective date April 20, 2001.

## SITE LOCATION MAP



VICINITY MAP

### SECTION A DATA - ITEM NO. 3 - NOTES

1. THE PURPOSE OF THIS PROJECT IS TO SHOW THE PROPOSED DEVELOPMENT FOR CONSTRUCTION OF THE OF HIGHWAY 12 MOTORSPORTS BUILDING, PARKING LOTS, STORMWATER TREATMENT SYSTEMS AND RELATED APPURTENANCES.
2. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
3. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE METRO/DAVIDSON COUNTY STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED EITHER BY THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
4. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT (FUTURE REQUIREMENT).
5. BUILDING SETBACKS SHALL BE PER METRO ZONING CODES.
6. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE No. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
7. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL, VOLUME 1 REGULATIONS.
8. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

### SECTION A DATA - ITEM NO. 4 - SITE DATA TABLE

SP ZONING - TOTAL GROSS ACREAGE (Ac)	4.42 Ac
SP ZONING - OPEN SPACE STREAM BUFFER (Ac)	0.40 Ac
SP ZONING - DENSITY	NOT APPLICABLE - COMMERCIAL DEVELOPMENT
SP ZONING - DWELLING UNITS	NOT APPLICABLE - COMMERCIAL DEVELOPMENT
SP ZONING - FLOOR AREA RATIO	MAX FAR 0.6 OR 2.65 Ac BUILDING 17,342 S.F. + PAVALLION 3,000 S.F. = 20,342 (0.41 Ac) FAR = 0.11
SP ZONING - LOTS	COMMERCIAL DEVELOPMENT 1 LOT
SP ZONING - IMPERVIOUS SURFACE RATIO	MAX ISR 0.90 OR 3.98 Ac BUILDING/PAVALLION 0.41 Ac PARKING 1.71 Ac GREEN SPACE/ UNDEVELOPED 2.18 Ac
SP ZONING - PARKING REQUIREMENTS	SPACES REQUIRED: 1 PER 250 S.F. OF BUILDING OR 10 SPACES SPACES PROVIDED: 2 HANDICAPPED 80 TOTAL SPACES
SP ZONING - TOTAL LAND USE (Ac)	192,413 S.F. (4.42 Ac)
SP ZONING - SETBACKS	FRONT 64' HWY 12 & 45' OLD HICKORY BOULEVARD SIDE NONE REAR 20'
SP ZONING - BUILDING HEIGHT & No. OF STORIES	MAX BUILDING HEIGHT 30' AT SETBACK MAX No. OF STORIES 2 PROPOSED 30' PROPOSED 2
EVENTS	APPROXIMATELY 4 TO 6 EVENTS WILL BE HELD DURING THE YEAR. THEY WILL CONSIST OF AUTOMOBILE & MOTORCYCLE SHOWS AND GATHERINGS.
SP STANDARDS	FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE CL ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
SP ZONING - PROPOSED LAND USES	MOTORCYCLE AND UP TO 25 USED AUTOMOBILE SALES AT ONE TIME & ALL OTHER ITEMS ALLOWED UNDER CL ZONING



SCOTTSBORO, DAVIDSON COUNTY, TENNESSEE



## INDEX OF SHEETS

- C 0.0 COVER PAGE
- C 0.1 EXISTING DRAINAGE CONDITIONS
- C 0.2 PROPOSED DRAINAGE CONDITIONS
- C 1.0 EXISTING SITE CONDITIONS
- C 1.1 ESPC & SITE PREPARATION PLANS
- C 1.2 GRADING PLAN
- C 1.3 DETENTION PLANS
- C 2.0 PROPOSED LAYOUT
- C 2.1 PLAN & PROFILE OF STORM SEWER EXTENSION
- C 2.2 LOWER PARKING LOT BIO-RETENTION
- C 3.0 SANITARY SEWER PLAN
- C 3.1 WATER LINE PLAN
- LS 4.0 LANDSCAPE PLANS
- AI.1 PAVALLION DETAILS

### SECTION B. DEDICATIONS

•1	PUBLIC PARKING DEDICATED OR RESERVED	NOT APPLICABLE
•2	PUBLIC SCHOOL DEDICATION OR RESERVATION	NOT APPLICABLE
•3	PUBLIC GREENWAY	NOT APPLICABLE
•4	STREET (RIGHT-OF-WAY) DEDICATION OR RESERVATION	NOT APPLICABLE
•5	PUBLIC DEDICATION OR RESERVATION (OTHER)	NOT APPLICABLE



PROJECT COVER

#### REVISIONS:

2. SUBMITTED FOR APPROVAL 12/31/11
3. REVISED SANITARY SEWER 1/20/12
4. REVISED FOR APPROVAL 2/16/12
5. REVISED FOR APPROVAL 2/14/12
6. REMOVED UPPER PARKING LOT 10-15-12
1. ADDED LOWER PARKING LOT 10-15-12
8. ADDED PAVALLION 11-01-12

10. REVISED PAVEMENT DETAILS 11-13

11. ADDED SIGN INFORMATION 1-16-13

PROPERTY SURVEY DATA  
TOPOGRAPHIC SURVEY JULY, 2011  
SOUTHERN ENGINEERING SERVICES, LLC  
BOUNDARY SURVEY BY  
JESSE E. WALKER TN. RL5 1406

COMPANY: SOUTHERN ENGINEERING SERVICES

DRAWING DATE: MAY 20, 2011

SES JOB NO# - 2011-PC001

PHONE NO# (615) 308-2511

Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00  
Engineer: N. Payne  
OFFICE (615) 533-4455  
4504 Wyoming Avenue  
Nashville, TN 37204  
ses-llc@comcast.net

#### PROJECT DATA

SES PROJECT # 1010-CC-001  
DATE: Mon, Jan 21, 2013  
DESIGNED BY: B. PAYNE  
DRAWN BY: B. PAYNE  
CHECKED BY: J. GOFF  
APPROVED BY: Phil Chamblee  
PROJECT MANAGER: Billy Payne  
ENGR. OF RECORD: William Payne  
REG. NO. 101788  
SRVTS. OF RECORD:  
REG. NO.

#### ENGINEERS STAMP



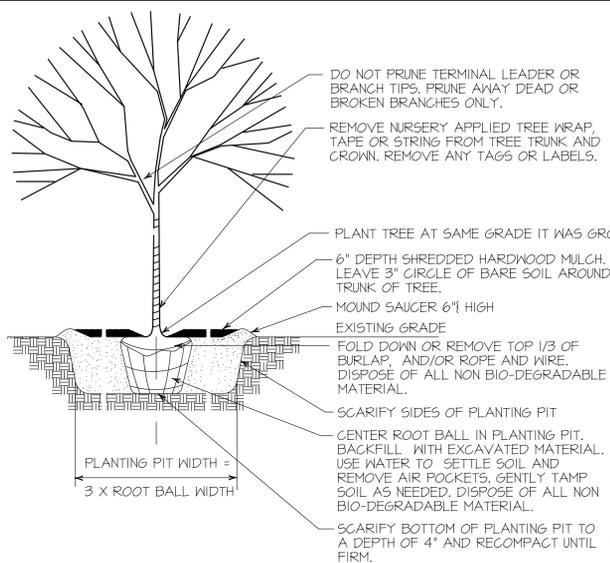
#### SHEET #

SHEET 0.0  
OF 14

CASE No. 2013 SP-004-001

NPDSS # TN147916  
SIGN# T201100152

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - One to use\5110 Ashland City Highway\CAD-Files (Tree Model)\current drawings\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Sat Jan 5 2013 1:52:27 PM



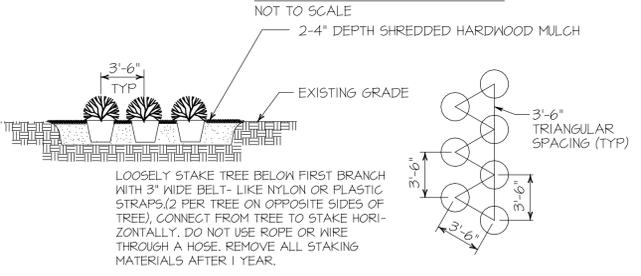
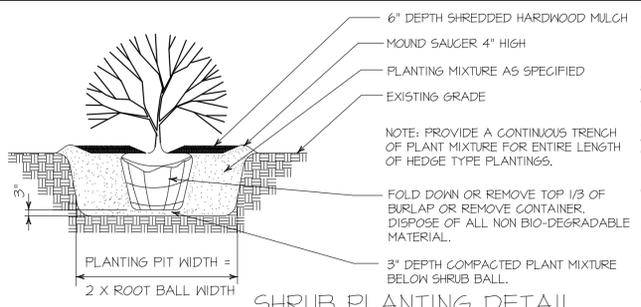
DECIDUOUS AND EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

Sapling Requirements

- Deciduous trees shall have one dominant trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree
- Trees with forked trunks are acceptable
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
- The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.

Recommended Seed Blends for Tennessee

- Blend Percent of Blend  
January 1 - May 1
- Italian Rye . 33.33%, Korean Lespedeza . 33.33%, Summer Oats . 33.33%
  - May 1 - July 15
  - Sudan . Sorghum Crosses . 100% or . Starr Millet . 100%
  - July 15 - January 1
  - Bahoa Rye . 66.66%, Italian Rye . 33.33%



Landscape Intallation Notes

- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to existing utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- All planting and mulch beds shall be hand weeded or sprayed with round-up (contractor's option) prior to the installation of mulch.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plans will take precedence.
- The landscape contractor shall be responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, etc.) of all planting areas and lawns per project specifications until total acceptance of the work by the owner.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- The landscape contractor shall completely guarantee all work for a period of one year beginning at the date of acceptance. The landscape contractor shall make all replacements promptly as per direction of owner.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.

NOTES

- TREES WILL BE REMOVED FROM THIS SITE
- TREE PROTECTION PLAN TO BE ISSUED WITH GRADING PERMIT.
- THIS PROPERTY IS ZONED G5-
- ZONING OF SURROUNDING PROPERTIES ARE C- INDUSTRIAL RESTRICTIVE EXCEPT FOR SOUTH BOUNDARY. PROPERTY ABUTTING SOUTH BOUNDARY IS ZONED R-10 - RESIDENTIAL MEDIUM DENSITY.
- THIS PROPERTY IS NOT A PLANNED UNIT DEVELOPMENT (P.U.D.).
- INTERIOR PARKING AREA IS 21,400 SF.
- REQUIRED INTERIOR PLANTING AREA = 1112 SF. INTERIOR AREA PROVIDED=1188 SF.
- B. C BUFFER WILL BE PROVIDED ALONG NORTH BOUNDARY.
- FRONT PROOF HOSE BIBBS WILL BE LOCATED WITHIN 100 FEET OF LANDSCAPE AREAS.
- ALL REPLACEMENT TREES SHALL HAVE A MINIMUM HEIGHT OF 6 FEET.

TREE DENSITY WORKSHEET (ORDINANCE 94-1104)

DATE 10/19/2011  
MAP 43-14 PARCEL 497  
APPLICATION NUMBER  
PROJECT NAME Hickory Place Site Development  
ADDRESS 5110 Ashland City Highway, Nashville, TN 37218

1. ACREAGE (AREA OF BUILDING SITE)	2.91 Ac.
2. MINUS BUILDING COVERAGE AREA	0.39 Ac.
3. EQUALS ADJUSTED ACREAGE	2.52 Ac.
4. MULTIPLIED BY REQUIRED DENSITY UNITS PER ACRE	x 14
5. EQUALS REQUIRED TREE DENSITY UNITS FOR PROJECT	= 35.34

PROTECTED TREES (EXISTING TREES 6" DBH OR LARGER) NO PROTECTED TREES > 6" DBH  
DBH (DIAMETER AT BREAST HEIGHT) EXAMPLE: 3 TREES 6" DBH X 0.2 = 6 DENSITY UNITS

DBH	UNITS	DBH	UNITS	DBH	UNITS	DBH	UNITS
6 X 0.2	1.2	20 X 3.3	66	34 X 9.5	323	48 X 25.1	1205
8 X 0.4	3.2	22 X 3.9	86	36 X 10.1	364	50 X 27.3	1365
10 X 0.6	6.0	24 X 4.7	110	38 X 11.9	452	52 X 29.5	1404
12 X 0.8	9.6	26 X 5.6	146	40 X 17.4	696	54 X 31.8	1503
14 X 1.1	15.4	28 X 6.5	182	42 X 19.2	882	56 X 34.2	1568
16 X 1.4	22.4	30 X 7.4	222	44 X 21.1	1124	58 X 36.7	1638
18 X 1.8	32.4	32 X 8.4	269	46 X 23.1	1366	60 X 39.3	1716

REPLACEMENT TREE SCHEDULE  
UNITS REPRESENT BASAL AREA

CAL	UNITS	CAL	UNITS	CAL	UNITS	CAL	UNITS	
3	0.5	36.5	5	0.4	20	8	1.3	11
3	0.6	18.0	6	1.0	6	9	1.5	12
4	0.7	12.0	7	1.2	6	10	1.7	13

CAL REPRESENTS CALIPER INCHES AT PLANTING

DENSITY UNITS PROVIDED ON ABOVE SCHEDULES.

TOTAL DENSITY UNITS FOR PROTECTED TREES	0
TOTAL DENSITY UNITS FOR NEW TREES	36.5
TOTAL DENSITY UNITS PROVIDED	= 36.5

NOTE: THE TOTAL DENSITY UNITS PROVIDED MUST EQUAL OR EXCEED THE REQUIREMENTS OF #5 ABOVE. ALL PROTECTED AND REPLACEMENT TREES MUST BE SHOWN ON SITE PLAN.

PLANTING SCHEDULE

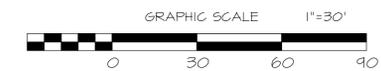
Canopy Trees							
KEY	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HABIT/REMARKS
Ar	☐	17	Acer Rubrum	Red Maple	2' CAL	Deciduous	Well branched, 12' HT.
Op	☐	18	Quercus phellos	Willow Oak	2' CAL	Deciduous	As Shown Full to Base
Ig	☐	17	Ilex 'Greenleaf'	Greenleaf Holly	2' CAL	Evergreen	4. O.C. Full to Base/ 6' HT.

Understory Trees							
KEY	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HABIT/REMARKS
Cc	☐	6	Cercis canadensis	Redbud	2' CAL	Deciduous	As Shown 8' Height/ Full
Fy	☐	5	Prunus yedoensis	Flowering Cherry	2' CAL	Deciduous	As Shown 8' Height/ Full
Is	☐	11	Ilex x 'Nellie R. Stevens'	Stevens Holly	2' CAL	Evergreen	4. O.C. Full to Base/ 6' HT.

Shrubs							
KEY	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HABIT/REMARKS
Is	☐	66	Evonymus alatus	Burning Bush	3 GAL	Evergreen	4. O.C. 18-24" Height
Tm	☐	66	Nandina domestica	Nandina	3 GAL	Evergreen	4. O.C. 18-24" Height
Pis	☐	109	Ilex cornuta 'Needlepoint'	Needle Point Holly	3 GAL	Evergreen	4. O.C. 18-24" Height



TENNESSEE ONE CALL SYSTEM INC. STOP- CALL BEFORE YOU DIG

CASE No. 2013 SP-004-001



REVISIONS:

- OWNER APPROVAL 5/20/11
- SUBMITTED FOR APPROVAL 12/31/11
- REVISED SANITARY SEWER 1/20/12
- REVISED FOR APPROVAL 2/6/12
- REVISED FOR APPROVAL 2/14/12
- REMOVED UPPER PARKING LOT 10-15-12
- ADDED LOWER PARKING LOT 10-15-12
- ADDED PAVILLION 11-01-12
- REVISED PER PC COMMENTS 12-12-12
- REVISED PER METRO STORMWATER 1-1-13

PROPERTY SURVEY DATA  
TOPOGRAPHIC SURVEY JULY, 2011  
SOUTHERN ENGINEERING SERVICES, LLC  
BOUNDARY SURVEY BY  
JESSE E. WALKER TN. RLS 1406

COMPANY: SOUTHERN ENGINEERING SERVICES  
DRAWING DATE: MAY 20, 2011  
SES JOB NO: 2011-PC001  
PHONE NO: (615) 308-2511

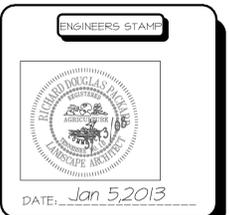
Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 06 7-00-0-145.00

OWNER: Phil Chamblee  
OFFICE: (615) 533-1955  
4509 Inyoming Avenue  
5127 Old Hickory Boulevard  
NASHVILLE, TN 37204  
ses-llc@comcast.net

PROJECT DATA

SES PROJECT #: 1010-CC-001  
DATE: Sat Jan 5 2013  
DESIGNED BY: B. PAYNE  
DRAWN BY: B. PAYNE  
CHECKED BY: J. GOFF  
APPROVED BY: Phil Chamblee

PROJECT MANAGER: Billy Payne  
ENGR. of RECORD: William Payne  
REG. NO.: 107188  
SRVTS. of RECORD:



DATE: Jan 5, 2013

SHEET #  
C 4.0  
OF 14

NFDDES # TNR147916  
SNGR T201100152







REVISIONS:

- OWNER APPROVAL 5/20/11
- SUBMITTED FOR APPROVAL 12/13/11
- REVISED SANITARY SEWER 1/20/12
- REVISED FOR APPROVAL 2/16/12
- REVISED FOR APPROVAL 2/14/12
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- REVISED PER PC COMMENTS 12-12-12
- REVISED PER METRO STORMWATER 1-3-13

PROPERTY SURVEY DATA  
 TOPOGRAPHIC SURVEY JULY, 2011  
 SOUTHERN ENGINEERING SERVICES, LLC  
 BOUNDARY SURVEY BY  
 JESSE E. WALKER TN. RLS 1486

COMPANY: SOUTHERN ENGINEERING SERVICES  
 DRAWING DATE: MAY 20, 2011  
 SES JOB NO: 2011-PC001  
 PHONE NO: (615) 533-9955

Property of Chamblee Family  
 SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT  
 FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

OWNER: Phil Chamblee  
 OFFICE: (615) 498-2160  
 5121 Old Hickory Boulevard  
 NASHVILLE, TN 37218

Engineer: N. Payne  
 OFFICE: (615) 533-9955  
 4504 Wyoming Avenue  
 Nashville, TN 37204  
 ses-llc@comcast.net

PROJECT DATA

SES PROJECT #: 1010-CC-001  
 DATE: Sun, Nov 18, 2012  
 DESIGNED BY: B. PAYNE  
 DRAWN BY: B. PAYNE  
 CHECKED BY: J. GOFF  
 APPROVED BY: J. GOFF

PROJECT MANAGER: B. PAYNE  
 ENGR. OF RECORD: B. PAYNE  
 REG. NO: 101188  
 SRVYR. OF RECORD:  
 REG. NO.

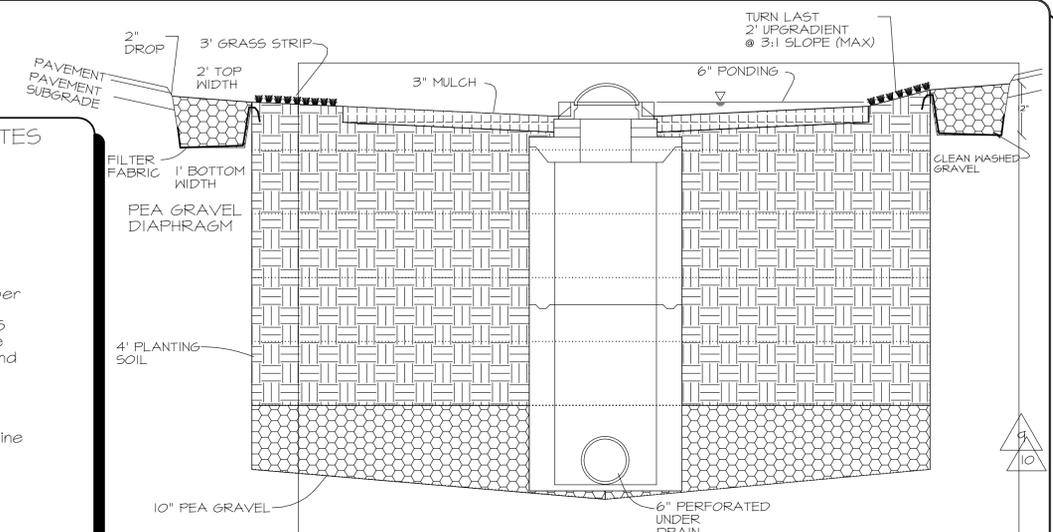


SHEET #  
 SHEET 6.22  
 OF 14

DATE: Nov 18, 2012

### BIORETENTION MATERIALS SPECIFICATIONS AND NOTES

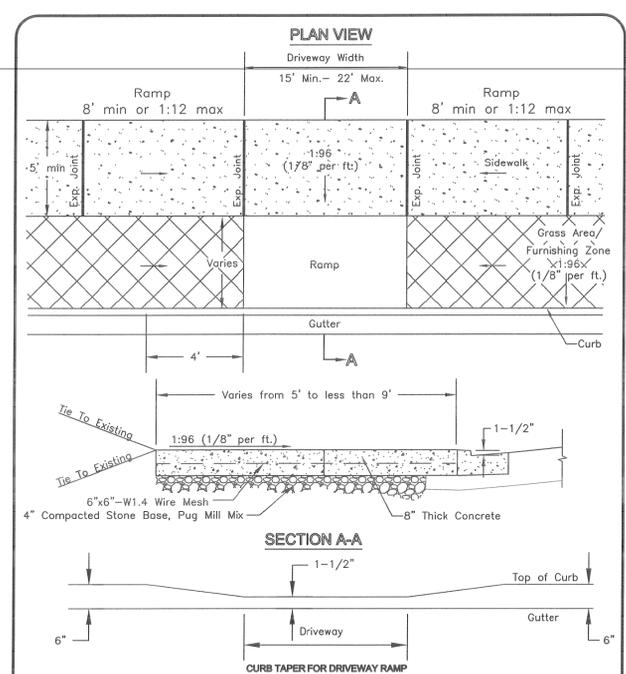
- BMP CONSTRUCTION**  
 The BMP must be constructed in accordance with METRO's Stormwater Manual PTP-03 (latest edition).
- PLANTING SOIL SPECIFICATIONS**  
 Planting soil must be sandy loam, loamy sand or loam texture per USDA textural triangle with clay content rating from 10 to 25 percent. The soil must have an infiltration rate of at least 0.5 inches per hour and a pH between 5.5 and 6.5. In addition, the planting soil should have a 1.5 to 3 percent organic content and a maximum 500 ppm concentration of soluble salts.
- MULCH SPECIFICATIONS**  
 The mulch layer should consist of 3" of commercially available fine shredded hardwood mulch or shredded hardwood chips.
- PEA GRAVEL SPECIFICATION**  
 Pea gravel must be ASTM D-448 size No. 6 (1/8" to 1/4").
- PERFORATED PIPE SPECIFICATION**  
 The underdrain collection system must be equipped with a perforated pipe of the dimensions shown on the Contract Drawings. The pipe shall be laid at the location and grade indicated on the Contract Drawings. The pipe must have 3/8" perforated holes, spaced on 6" centers with a minimum of 4 holes per row. A permeable filter fabric mat will be placed between the planting bed soil and the pea gravel layer.
- WATER TABLE VERIFICATION**  
 The depth from the bottom of the bioretention facility to the seasonally high groundwater table is over the minimum 2'.
- DRAINAGE LIMITATIONS FOR BIORETENTION CELLS**  
 Continuous flow from groundwater, sump pumps or other areas to the bioretention area is prohibited.
- EASEMENT REQUIREMENTS FOR BIORETENTION CELLS**  
 All components of the BMP must be located within an easement. Access to the BMP must be located within the easement.
- TEMPORARY CONSTRUCTION PRACTICES**  
 Stabilize construction area prior to the installation of bioretention cell. Excavation of the area can be used as sediment control measure during active construction.



BIORETENTION CROSS SECTION  
 SCALE: NONE

MAINTENANCE OF BIORETENTION  
 ANNUALLY INSPECT AND REPLACE THE FOLLOWING:

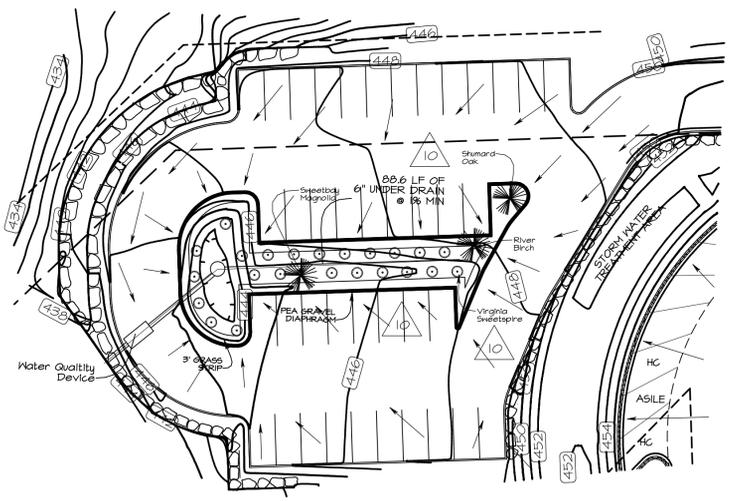
- REPLACE ALL DEAD PLANTS WITH SAME SPECIES.
- ADD MULCH TO ACHIEVE MINIMUM 4" DEPTH.
- REMOVE ALL DEBRIS, TRASH OR DEAD VEGETATION.
- ANNUALLY MONITOR SYSTEM DRAINAGE RATE TO ENSURE A FLOW RATE > 0.5 IN/HR. A FLOW RATE LESS THAN THIS AMOUNT WILL REQUIRE REPLACEMENT OF THE MULCH AND/OR TOP 3/4" OF SOIL MATERIAL.



NOTE: 1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).  
 2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.  
 3. Concrete shall be 8 inches thick.

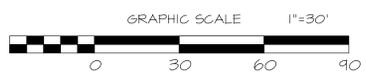
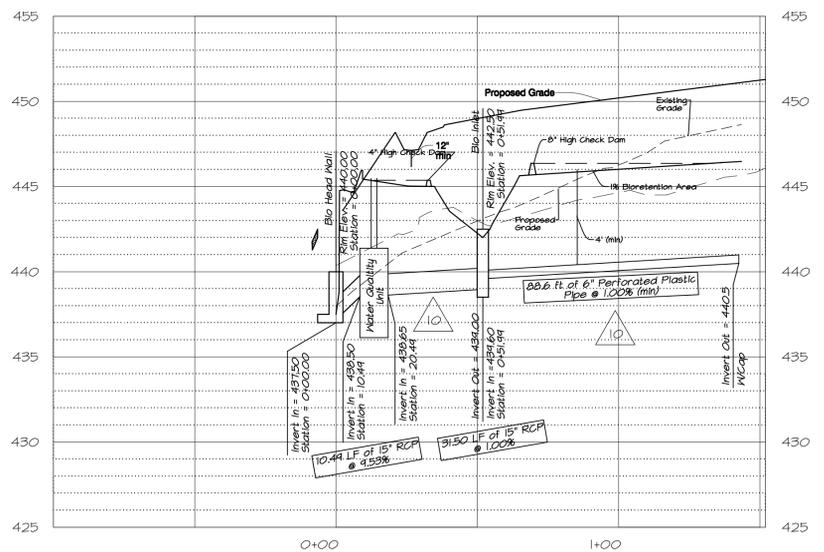
NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	ALTERATION CONSTRUCTION COMMERCIAL DRIVEWAY RAMP WITH SIDEWALK LESS THAN 9 FEET	DWG. NO. ST-325
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 01/27/03 REVISED: 05/08/03



LOWER PARKING LOT BIORETENTION AREA  
 SCALE: 1"=30.00'

NOTE: Contractor, Engineer, or Owners Representative shall notify MWS Development Review at least 24 hours prior to the installation of the planting soil filter bed. At the completion of installation, the above referenced person will collect one sample per bioretention bed for analysis and confirmation of the soil characteristics as defined by PTP-03, Site Design and Considerations Item 3, page 3 of 10.A

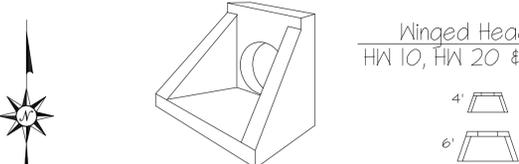
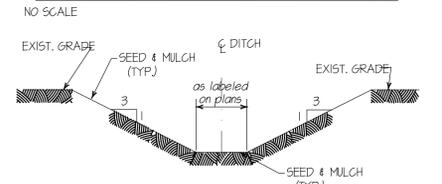
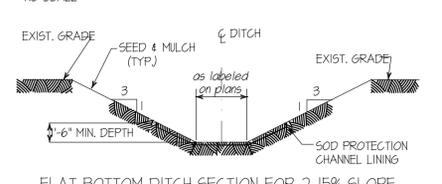
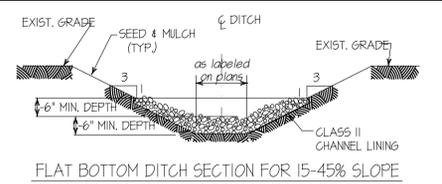
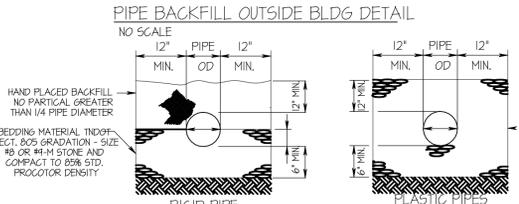
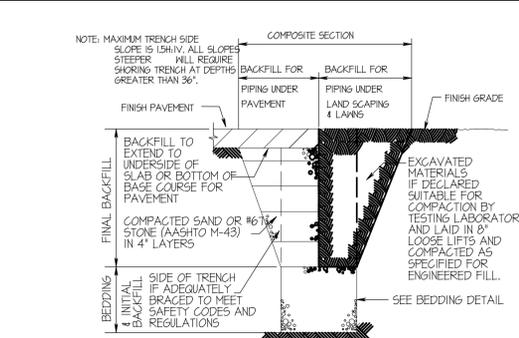


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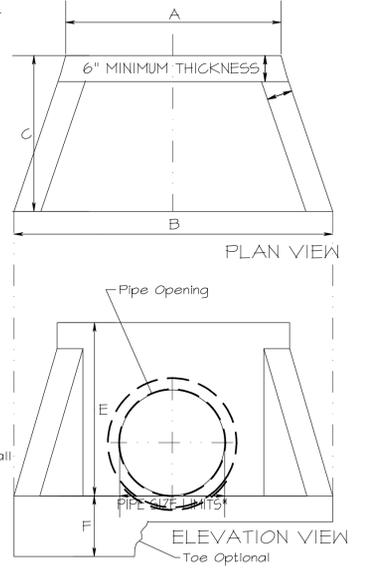
CASE No. 2013-004-001

NPDES # TNR147916  
 SNGR T201100152

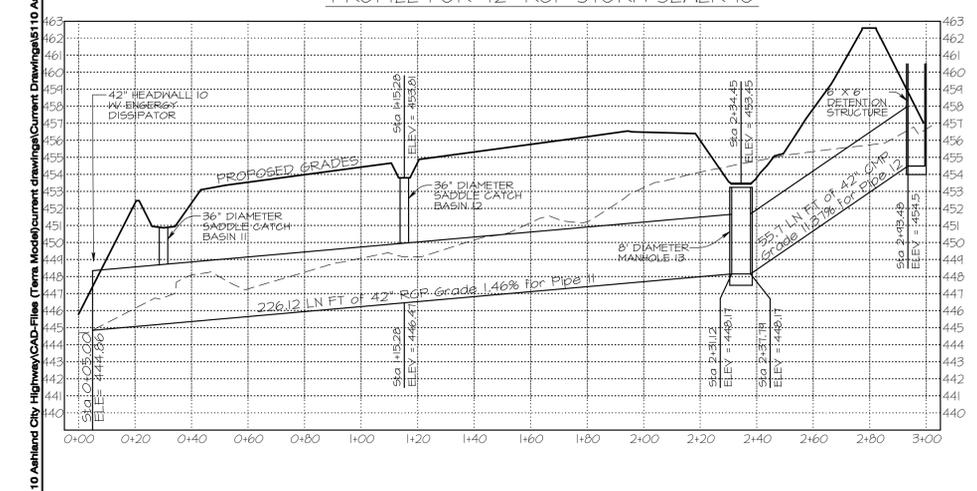
Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - On to use\110 Ashland City Highway\CAD-Files (From Model\Current Drawings)\110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Sat Jan 5 2013 15:24:12



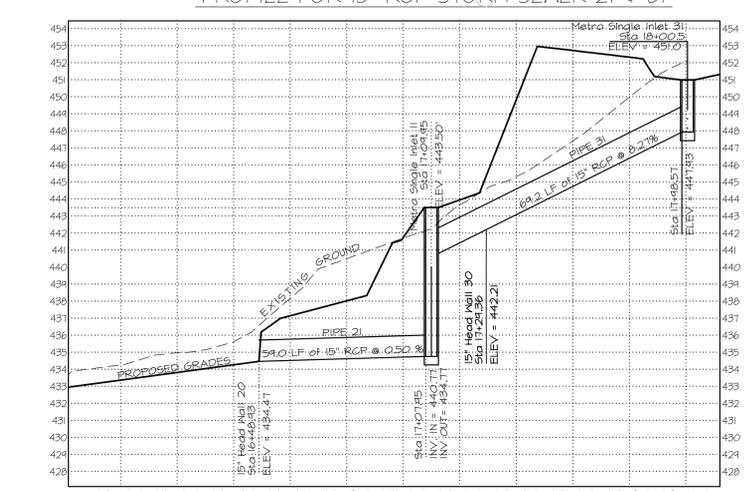
Size	4'	6'	8'	10'
A	32"	48"	72"	96"
B	48"	72"	96"	120"
C	30"	44"	50"	56"
D	25"	36"	52"	66"
E	24"	36"	54"	83"
F	NA	8"	8"	8"
Max. CMP*	18"	30"	42"	54"
Max. RCP*	15"	24"	36"	48"
WT./#	1090	3130	5625	8575



PROFILE SCALE 1" HORIZONTAL = 30' 1" VERTICAL = 5'



PROFILE FOR 15\"/>



HYDRAULIC CAPACITY FOR 42" RCP PIPE 11

Return Period	Velocity Dn - fps	Velocity Up - fps	HGL Dn	HGL Up	HGL Down	HW Depth
2 yr	43.81	7.39	447.85	450.25	451.19	449.02
10 yr	103.98	11.04	448.17	451.29	451.29	454.26
100 yr	173.15	13.16	448.25	452.14	452.14	455.95

HYDRAULIC CAPACITY FOR 42" RCP PIPE 12

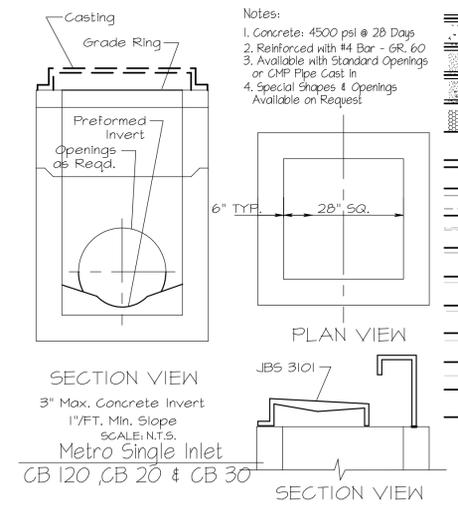
Return Period	Velocity Dn - fps	Velocity Up - fps	HGL Dn	HGL Up	HGL Down	HW Depth
2 yr	31.98	4.13	6.62	450.80	456.26	456.97
10 yr	72.57	8.03	9.16	451.25	457.16	458.70
100 yr	109.11	11.63	11.99	451.51	457.68	460.87

HYDRAULIC CAPACITY FOR 42" RCP PIPE 21

Return Period	Velocity Dn - fps	Velocity Up - fps	HGL Dn	HGL Up	HGL Down	HW Depth
2 yr	4.67	4.07	4.20	435.53	435.79	436.08
10 yr	8.50	7.04	6.93	435.66	436.64	437.15
100 yr	13.30	11.01	11.00	435.71	438.20	439.47

HYDRAULIC CAPACITY FOR 42" RCP PIPE 31

Return Period	Velocity Dn - fps	Velocity Up - fps	HGL Dn	HGL Up	HGL Down	HW Depth
2 yr	4.67	4.07	4.98	443.26	448.79	449.23
10 yr	8.50	7.04	7.25	443.39	449.07	450.25
100 yr	13.30	11.01	11.04	443.44	449.16	452.58



Symbol	Description	Size & Material
[Symbol]	BUILDINGS STRUCTURES	
[Symbol]	CONCRETE PAVEMENT	
[Symbol]	ASPHALT PAVEMENT	
[Symbol]	CONCRETE CURB SIDEWALK	
[Symbol]	GRAVEL OR RIP RAP	
[Symbol]	PAVERS	
[Symbol]	SWALE STABILIZATION SEED/SOD/RIP-RAP	
[Symbol]	PROPERTY LINES	
[Symbol]	IRON PIN FOUND/NOT FOUND	
[Symbol]	BUILDING SET BACK	
[Symbol]	UTILITY EASEMENTS	
[Symbol]	STORM SEWER MANHOLE / GRATE	SIZE & MATERIAL
[Symbol]	OVERHEAD ELECTRIC SERVICE	
[Symbol]	LIGHT POLE/POWER POLE	
[Symbol]	TRAVEL LINE & STRIPS	
[Symbol]	FIRE HYDRANT / METERS	
[Symbol]	SANITARY SEWER MANHOLE / CLEAN OUT	W 6"
[Symbol]	NATURAL GAS VALVE / METER	SS
[Symbol]	FENCE	
[Symbol]	UNDERGROUND ELECTRIC SERVICE	

**Southern Engineering Services**  
 4008 WYOMING AVENUE, NASHVILLE, TENNESSEE 37204-4722  
 PHONE: (615) 308-2511  
 E-MAIL: SOUTHERN@SESS-COM.COM

- PLAN AND PROFILE OF STORM SEWER EXTENSION
- REVISIONS:
- OWNER APPROVAL 5/20/11
  - SUBMITTED FOR APPROVAL 12/31/11
  - REVISED SANITARY SEWER 1/20/12
  - REVISED FOR APPROVAL 2/6/12
  - REVISED FOR APPROVAL 2/14/12
  - REMOVED UPPER PARKING LOT 10-15-12
  - ADDED LOWER PARKING LOT 10-15-12
  - ADDED PAVALLION 11-01-12
  - REVISED PER PC COMMENTS 12-12-12
  - REVISED PER METRO STORMWATER 1-1-13
- PROPERTY SURVEY DATA  
 TOPOGRAPHIC SURVEY JULY, 2011  
 SOUTHERN ENGINEERING SERVICES, LLC  
 BOUNDARY SURVEY BY  
 JESSE E. WALKER TN. RLS 1406
- COMPANY: SOUTHERN ENGINEERING SERVICES  
 DRAWING DATE: MAY 20, 2011  
 SES JOB NO: 2011-PC001  
 PHONE NO: (615) 308-2511

Property of Chamblee Family  
 SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145-00

OWNER: Phil Chamblee  
 OFFICE: (615) 533-4955  
 4509 Wyoming Avenue  
 Nashville, TN 37204  
 ses-llc@comcast.net

PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Jan 5 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Bill Payne
ENGR. of RECORD:	William Payne
REG. NO.:	107188
SRVTS. of RECORD:	
REG. NO.:	

ENGINEERS STAMP

DATE: Jan 5, 2013

SHEET #

SHEET C 2.1 OF 14

CASE No. 2013 SP-004-001

NPDDES # TNRI47916  
 SNGR T201100152

TENNESSEE ONE CALL SYSTEM INC.  
 STOP - CALL BEFORE YOU DIG

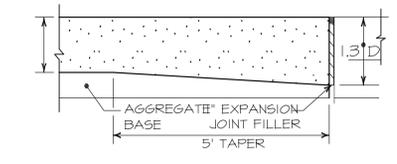
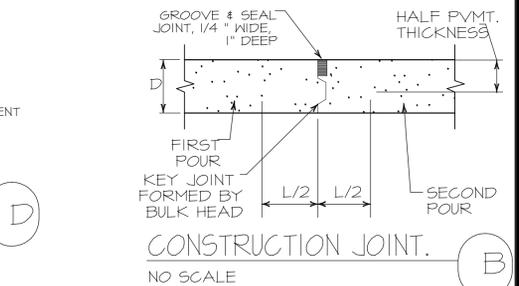
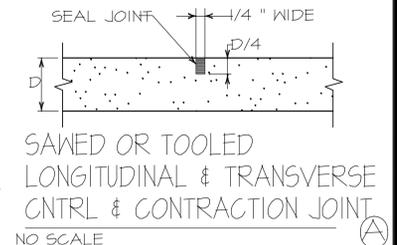
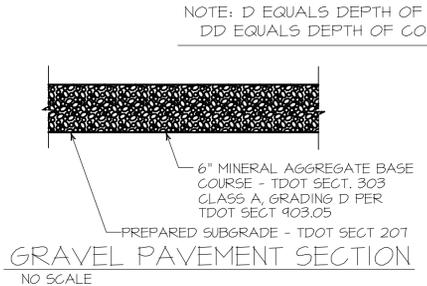
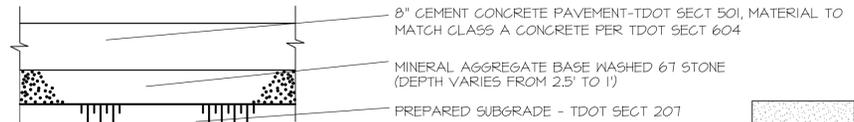
Temporary & Perminant Seeding

- Apply where final grading of exposed surfaces are to be completed within 15 days to a year.
- Apply to disturbed areas, soil stockpiles, dikes, dams, sides of sediment basins and temporary diversions.
- To prevent seed wash-out, the area should be protected with such methods as surface roughening diversions and terraces.
- Soil should be analyzed for fertilizer and lime requirements.
- Apply fertilizer and lime per soil requirements or supply fertilizer at a rate of 5 pounds per 1,000 square feet with commercial grade 10-10-10.
- Apply selected seed at a rate of 1 pound per 1,000 square feet. Seed should be sown uniformly as soon as preparation of the seedbed has been completed by means of a rotary seed spreader, hydraulic equipment, or other satisfactory means.
- Straw mulch or chemical stabilization should be applied especially to seedlings in the fall for winter cover or slopes that exceed 3:1 (H:V).
- No seeding shall be done during windy weather or when the ground surface is frozen, wet or otherwise nonillable.
- No seeding shall be performed during December and January unless otherwise permitted.
- Mulching - When the mulching material is hay or straw, it shall be spread evenly over the seeded area at an approximate rate of 100 pounds per 1,000 square feet for straw and 150 pounds per 1,000 square feet for hay immediately following the seeding operations. This rate may be varied by the Engineer depending on the texture and condition of the mulch material and the characteristics of the area seeded.
- Sod shall be Kentucky 31 Fescue, Bluegrass, or Bermuda grass.
- Sod shall be set or reset only when the soil is moist and favorable to growth. Setting will be as follows unless permission is granted by the Engineer.
  - Kentucky 31 Fescue - Anitme weather permits
  - Bermuda grass - April 15 through August 14
  - Bluegrass - March 1 through April 30; September 1 through October 31
- On steep slopes and channels sod shall be fastened to the ground with wire staples or wood pegs. Where surface water cannot be diverted from flowing over the face of slopes, install a strip of heavy jute or plastic netting and fasten tight along the crown or top of the slope for extra protection against lifting and undercutting of sod.
- The Contractor shall not allow any equipment or material placed on any planted area, and shall erect suitable barricades and guards to prevent his equipment, labor or the public from traveling on or over any area planted with sod.

# PROPOSED LAYOUT & STABILIZATION PLAN

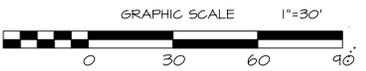
Control Set on Site  
September, 2011

1	684473.5865	1646345.0910	447.54	pk nail
2	684476.1182	1646446.4541	445.35	pk nail
3	684480.3348	1646505.1125	442.42	pk nail
4	684484.4431	1646573.4442	440.21	pk nail
5	684490.1411	1646658.3451	437.58	pk nail
6	684492.0662	1646648.0011	436.68	pk nail
7	685011.5674	1646825.8428	433.12	pk nail
8	685071.8218	1646844.3340	433.10	pk nail
9	685161.1323	1646891.1349	431.75	pk nail
10	685204.5184	1646421.4383	434.34	pk nail
11	685205.0137	1646546.4442	452.64	pk nail
12	685191.8171	1646274.0540	469.45	pk nail
13	685156.5851	1646314.8584	463.54	HUB
14	685382.6365	1646340.0037	460.03	nail
15	685389.0800	1646374.0540	459.08	nail
16	685405.1524	1646681.8273	462.75	nail
17	685386.1854	1646681.7872	456.83	nail
18	685284.9200	1646981.5302	447.81	Iron Pin Found
19	685208.6125	1646954.3675	451.03	Iron Pin Found
20	684486.4154	1646572.9367	441.88	Iron Pin Found
21	684485.6344	1646344.2345	448.75	Iron Pin Found
22	685347.2133	1646333.2644	454.15	Iron Pin Found



- RELATED MATERIALS SPECIFICATIONS:
- 6.0 PAVEMENT JOINT SEALANT
  - 6.1 COLD-APPLIED JOINT SEALANTS. MULTICOMPONENT JET-FUEL RESISTANT SEALANT FOR CONCRETE. POURABLE, CHEMICALLY CURING ELASTOMERIC FORMULATION COMPLYING WITH THE FOLLOWING REQUIREMENTS FOR FORMULATION AND WITH ASTM C 420 FOR TYPE, GRADE, CLASS AND USES INDICATED.
  - 7.0 STEEL REINFORCEMENT
  - 7.1 JOINT DOWEL BARS: PLAIN STEEL BARS, ASTM A 615/A 615M, GRADE 60 (GRADE 420). CUT BARS TRUE TO LENGTH WITH ENDS SQUARE AND FREE OF BURRS.
  - 7.2 TIE BARS: ASTM A 615/A 615 M, GRADE 60 (GRADE 420), DEFORMED
  - 7.3 EXPANSION JOINT FILLER: ASTM D 1751, ASPHALT-SATURATED CELLULOSIC FIBER.
  - 7.4 METAL TUBE DOWEL CAPS: WELDED TYPE METAL, MINIMUM LENGTH OF FIVE INCHS, NOMINAL INSIDE DIAMETER OF 1-1/16 INCH

SYMBOL	DESCRIPTION	SIZE & MATERIAL
[Symbol]	BUILDINGS STRUCTURES	
[Symbol]	CONCRETE PAVEMENT	
[Symbol]	ASPHALT PAVEMENT	
[Symbol]	CONCRETE CURB SIDEWALK	
[Symbol]	GRAVEL OR RIP RAP	
[Symbol]	PAVERS	
[Symbol]	SWALE STABILIZATION SEED/SOD/RIP-RAP	
[Symbol]	PROPERTY LINES	
[Symbol]	IRON PIN FOUND/NOT FOUND	
[Symbol]	BUILDING SET BACK	
[Symbol]	UTILITY EASEMENTS	
[Symbol]	STORM SEWER	
[Symbol]	MANHOLE / GRATE	
[Symbol]	OVERHEAD ELECTRIC SERVICE	
[Symbol]	LIGHT POLE/POWER POLE	
[Symbol]	WATER LINE & SIZE	
[Symbol]	FIRE HYDRANT / METERS	
[Symbol]	SANITARY SEWER	
[Symbol]	MANHOLE / CLEAN OUT	
[Symbol]	NATURAL GAS	
[Symbol]	VALVE / METER	
[Symbol]	FENCE	
[Symbol]	UNDERGROUND ELECTRIC SERVICE	



TENNESSEE ONE CALL SYSTEM INC. STOP- CALL BEFORE YOU.DIG

CASE No. 2013 SP-004-001

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - On to use\5110 Ashland City Highway\CAD-Files (Term Model)\current drawings\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Mon Jan 21, 2013 / 10:27:57



- REVISIONS:
- SUBMITTED FOR APPROVAL 12/13/11
  - REVISED SANITARY SEWER 1/20/12
  - REVISED FOR APPROVAL 2/16/12
  - REVISED FOR APPROVAL 2/14/12
  - REVISED UPPER PARKING LOT 10-15-12
  - ADDED PAVALLION 11-01-12
  - ADDED LOWER PARKING LOT 10-15-12
  - ADDED PAVALLION 11-01-12
  - REVISED SEWER MAINS 03/08/12 H-13
  - ADDED SIGN INFORMATION H-16-13
  - PROPERTY SURVEY DATA TOPOGRAPHIC SURVEY JULY, 2011 SOUTHERN ENGINEERING SERVICES, LLC BOUNDARY SURVEY BY JESSE E. WALKER TN. RLS 1406
  - COMPANY: SOUTHERN ENGINEERING SERVICES
  - DRAWING DATE: MAY 20, 2011
  - SES JOB NO: 2011-PC001
  - PHONE NO: (615) 308-2511

Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

Engineer: N. Payne  
OFFICE: (615) 533-4455  
4504 Inyoming Avenue  
Nashville, TN 37204  
ses-llc@comcast.net

OWNER: Phil Chamblee  
OFFICE: (615) 448-2160  
5127 Old Hickory Boulevard  
NASHVILLE, TN 37218

PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Mon, Jan 21 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billy Payne
ENGR. of RECORD:	William Payne
REG. NO.:	107188
SRVTS. of RECORD:	
REG. NO.:	



SHEET #  
C 2.0  
OF  
14

NPD#S # TNRI47916 SNGR T201100152



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11	685250.1837	1646546.4485	452.24	pk nail
12	685181.8111	1646219.0540	469.85	pk nail
13	685156.5857	1646374.8584	463.54	pk nail
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21	684485.6341	1646344.2345	448.75	pk nail
22	685341.2133	1646333.2644	454.75	pk nail

Countour Legend

Contours from Topographic Survey Performed 9/15/2011

Proposed Grading for this Grading Permit

STABILIZE SWALE WITH SEEDING

STABILIZE SWALE WITH SOD

STABILIZE SWALE WITH RIPRAP

LIMITS OF CONCRETE

# GRADING PLAN

REVISED NOVEMBER 13, 2012

GRADING NOTES

- Strip all topsoil vegetation, soft, loose or otherwise unsuitable material from site. This shall include removal of trees noted on the landscape plan and associated root systems. Any existing fill that is poorly compacted shall also be removed.
- The storage/blocking of unsuitable materials shall not be allowed on-site. All such materials must be disposed of off-site at a location approved by the Engineer.
- Topsoil to be used on-site in subsequent grading operations shall be stockpiled at a location approved by the Engineer. Prior to commencement of work, the Contractor shall verify that the location proposed/approved by the Engineer will not interfere with other activities/work on the project. Stockpiled topsoil shall be surrounded by a silt fence.
- After stripping and prior to placement of fill, the exposed subgrade shall be proofrolled to detect any soft or unstable areas. Proofrolling shall be performed in the presence of the Geotechnical Engineer's Representative. Any soft or unstable area shall be undercut and replaced with select fill material as approved by the Geotechnical Engineer.
- A representative sample of fill material shall be tested and approved by the Geotechnical Engineer prior to placement.
- All placement and compaction shall be observed and documented by a representative of the Geotechnical Engineer. The placement/spreading of fill materials shall commence at the lowest point and raised in equal layers approximately 6" to 8" in thickness. Said fill material is to be free of organic materials, frozen soils or other unsuitable materials. Soils shall be compacted to the appropriate density required by the soils report or by the Geotechnical Engineer.
- All excavations shall be constructed in accordance with the latest OSHA guidelines as mandated in current Federal, State and Local Regulations. The Contractor shall be solely responsible in providing safe working conditions in connection with excavation work.
- If during earthwork operations, the Contractor encounters unusual soil conditions, the Contractor shall notify the Owner or his Representative in writing within 24 hours. Negotiations shall then be initiated between the Owner and the Contractor to develop a change in the Contract Price for the additional work, provided that additional work is not included in the contract unit price.

INSTALLATION DIRECTIONS

- INSTALL 5' WIDE SWALES TO DIVERT THE STORM WATER PER DETAIL SHEET C 1.4 FLAT BOTTOM DITCH DEPENDANT ON SLOPE OF SWALE PER SLOPES THIS SHEET.
- INSTALL CATCH BASIN FOR DRAINAGE PER SHEET C 1.4.
- INSTALL STORM PIPE FOR DRAINAGE PER SHEET C 1.4.
- INSTALL CONCRETE PER SHEET C 2.0.
- INSTALL PTP-05 WATER QUALITY SWALE IS A VEGETATED CHANNEL THAT INCLUDES A FILTERING BED OF 30" PERMEABLE SOILS OVERLYING AN UNDERDRAIN SYSTEM AT THE SAME SLOPE AS CHANNEL. SEE DETAIL AND PROFILES ON SHEET C 1.3.

In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MMS Stormwater Division must approve the following as-builts prior to issuance of the Use & Occupancy Permit:

- Underground detention and water quality infrastructure
- Above ground detention and water quality infrastructure
- Public storm sewer infrastructure
- Cut & Fill in the floodplain
- Sink hole alterations

The engineer shall visit [www.nashville.gov/stormwater/asbuilt.htm](http://www.nashville.gov/stormwater/asbuilt.htm) for submittal requirements.

The project associated with these submitted plans is covered under Tennessee Construction General Permit TNR147586

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Circle one: Developer  Project Engineer  Other \_\_\_\_\_  
 Please attach a copy of the Notice of Coverage under the Construction General Permit.

LEGEND	
[Symbol]	BUILDINGS STRUCTURES
[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE CURB SIDEWALK
[Symbol]	GRAVEL OR RIP RAP
[Symbol]	PAVERS
[Symbol]	SWALE STABILIZATION SEED/SOD/RIP-RAP
[Symbol]	PROPERTY LINES
[Symbol]	IRON PIN FOUND/NOT FOUND
[Symbol]	BUILDING SET BACK
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[Symbol]	STORM SEWER MANHOLE / GRATE
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[Symbol]	FIRE HYDRANT / METERS
[Symbol]	SANITARY SEWER MANHOLE / CLEAN OUT
[Symbol]	NATURAL GAS VALVE / METER
[Symbol]	FENCE
[Symbol]	UNDERGROUND ELECTRIC SERVICE

GRAPHIC SCALE 1"=30'

TENNESSEE ONE CALL SYSTEM INC. STOP- CALL BEFORE YOU DIG

CASE No. 2013 SP-004-001



REVISIONS:

- SUBMITTED FOR APPROVAL 12/13/11
- REVISED SANITARY SEWER 1/20/12
- REVISED FOR APPROVAL 2/16/12
- REVISED FOR APPROVAL 2/14/12
- REVISED UPPER PARKING LOT 10-15-12
- ADDED LOWER PARKING LOT 10-15-12
- ADDED PAVALLION 11-01-12
- REVISED EXISTING STORM SEWER 11-13-12
- ADDED SIGN INFORMATION 1-16-13

PROPERTY SURVEY DATA  
 TOPOGRAPHIC SURVEY JULY, 2011  
 SOUTHERN ENGINEERING SERVICES, LLC  
 BOUNDARY SURVEY BY  
 JESSE E. WALKER TR. RLS 1406

COMPANY: SOUTHERN ENGINEERING SERVICES  
 DRAWING DATE: MAY 20, 2011  
 SES JOB NO#: 2011-PC001  
 PHONE NO: (615) 308-2511

Property of Chamblee Family  
 SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

OWNER: Phil Chamblee  
 OFFICE: (615) 593-1495  
 4504 Wyoming Avenue  
 NASHVILLE, TN 37204  
 ses-llc@comcast.net

PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Mon, Jan 21 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billy Payne
ENGR. of RECORD:	William Payne
REG. NO.:	107188
SRVYS. of RECORD:	
REG. NO.:	

ENGINEERS STAMP

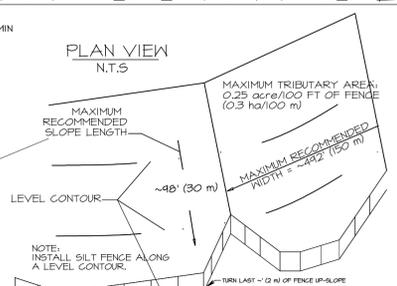
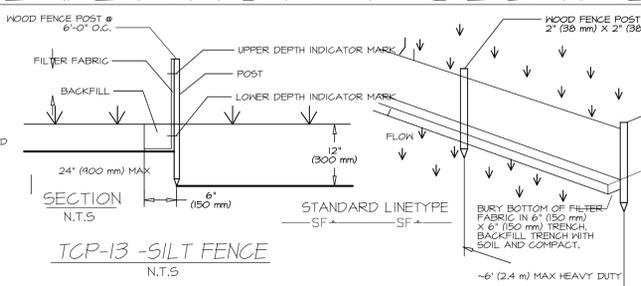
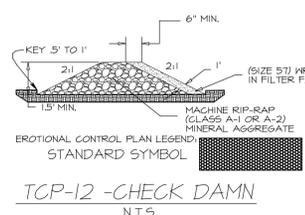
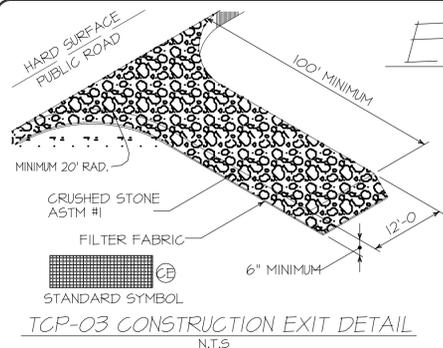
DATE: Jan 21, 2013

SHEET #  
 SHEET C 1.2  
 OF 14

NPDSES # TNR147916  
 SNGR T201100152

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - On to use\5110 Ashland City Highway\CAD-Files (Terra Model)\current drawings\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Mon Jan 21 2013 / 10:20:58

# EROSION PREVENTION & SEDIMENT CONTROL PLAN



## ESPC INSPECTOR

Womble Erosion Control  
Nashville, LLC  
104-D Molly Walton Dr.  
Hendersonville, TN 37075  
Phone - 615-822-3444  
Fax - 615-822-3445

Payton Womble - Owner 615-642-5616  
Nathan Goss - General Manager 615-642-3551  
Rodd Hunter - Hydroseed Manager 615-642-1111  
Jason Sellers - ESPC Inspector 615-642-1011

- ### EROSION/SEDIMENT CONTROL NOTES
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED TO RETAIN SEDIMENT ON-SITE.
  - ALL CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICE. IF PERIODIC INSPECTIONS INDICATE INAPPROPRIATE OR INCORRECTLY INSTALLED DEVICES, THE CONTRACTOR SHALL REPLACE OR MODIFY THE CONTROL DEVICE FOR ON-SITE SITUATIONS.
  - STOCKPILED TOPSOIL SHALL BE SURROUNDED BY EARTH BERMS AND/OR STRAW BALE SEDIMENT BARRIERS.
  - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFFSITE ACCUMULATIONS SHALL BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS AND POSE A SAFETY HAZARD TO THE PUBLIC.
  - SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND OTHER SEDIMENT CONTROL DEVICES AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
  - LITTER AND CONSTRUCTION DEBRIS SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS (AS FORECASTED BY LOCAL WEATHER REPORTS). AFTER USE, SILT FENCES SHALL BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
  - PRE-CONSTRUCTION VEGETATIVE COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
  - CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATIONS.
  - CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADE OR DENuded AREAS.
  - EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN AND MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
  - ALL LAND ON OR OFFSITE WHICH IS DISTURBED BY THE CONTRACTOR AND WHICH IS NOT BUILT UPON OR SURFACED SHALL BE SEEDED AND MULCHED PER TCP-05 OF STORMWATER MANAGEMENT MANUAL - BEST MANAGEMENT PRACTICE - VOL. 4.
  - ALL INLETS SHALL HAVE INLET PROTECTION AS PER DETAIL TCP-24 OF THE STORMWATER MANAGEMENT MANUAL VOL. 4. AS A MINIMUM INSTALL FILTER FABRIC PROTECTION AROUND INLETS.

**Southern Engineering Services**  
4008 WYOMING AVENUE, NASHVILLE, TENNESSEE 37204-4122  
PHONE: (615) 308-2511  
E-MAIL: SOUTHERNENR@COMCAST.NET

**EROSION PREVENTION & SEDIMENT CONTROL & SITE PREPARATION**

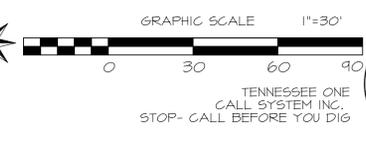
- ### REVISIONS:
- OWNER APPROVAL 5/20/11
  - SUBMITTED FOR APPROVAL 12/13/11
  - REVISED SANITARY SEWER 1/20/12
  - REVISED FOR APPROVAL 2/6/12
  - REVISED FOR APPROVAL 2/14/12
  - REMOVED UPPER PARKING LOT 10-15-12
  - ADDED LOWER PARKING LOT 10-15-12
  - ADDED PAVILION 11-01-12
  - REVISED PER PC COMMENTS 12-12-12
  - REVISED PER METRO STORMWATER 1-1-13
- PROPERTY SURVEY DATA  
TOPOGRAPHIC SURVEY JULY, 2011  
SOUTHERN ENGINEERING SERVICES, LLC  
BOUNDARY SURVEY BY  
JESSE E. WALKER, TN RLS 1406
- COMPANY: SOUTHERN ENGINEERING SERVICES  
DRAWING DATE: MAY 20, 2011  
SES JOB NO: 2011-PC001  
PHONE NO: (615) 308-2511

### SITE PREPARATION NOTES:

- REMOVE ALL LABELED EXISTING TREES FROM SITE TO APPROVED DISPOSAL SITE.
- REMOVE EXISTING 18" DRAIN PIPE AND ALL UNSUITABLE SOILS FOR FILL IN WET WEATHER CONVEYANCE.
- EXCAVATE TOP LAYER OF TOP SOIL (6"-12") FROM THE LIMITS OF DISTURBANCE AND STOCK PILE OUT SIDE OF THE FILL LIMITS.
- REMOVE ALL DEBRIS FROM PROPERTY AND DISPOSE OF OFF SITE IN METRO APPROVED SITE.

Area to be graded as shown and then seeded and strawed

[Symbol]	BUILDINGS STRUCTURES
[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE CURB SIDEWALK
[Symbol]	GRAVEL OR RIP RAP
[Symbol]	PAVERS
[Symbol]	SWALE STABILIZATION SEED/SOD/RIP-RAP
[Symbol]	PROPERTY LINES
[Symbol]	IRON PIN FOUND/NOT FOUND
[Symbol]	BUILDING SET BACK
[Symbol]	UTILITY EASEMENTS
[Symbol]	STORM SEWER
[Symbol]	MANHOLE / GRATE
[Symbol]	OVERHEAD ELECTRIC SERVICE
[Symbol]	LIGHT POLE/POWER POLE
[Symbol]	WATER LINE & SIZE
[Symbol]	FIRE HYDRANT / METERS
[Symbol]	SANITARY SEWER
[Symbol]	MANHOLE / CLEAN OUT
[Symbol]	NATURAL GAS
[Symbol]	VALVE / METER
[Symbol]	FENCE
[Symbol]	UNDERGROUND ELECTRIC SERVICE



TENNESSEE ONE CALL SYSTEM INC. STOP - CALL BEFORE YOU DIG

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - One to use\5110 Ashland City Highway\CAD-Files (Terra Model\current drawings)\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Sat Jan 5 2013 15:14:59



Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145-00

OWNER: Phil Chamblee  
OFFICE: (615) 498-2160  
5121 Old Hickory Boulevard  
NASHVILLE, TN 37204

Engineer: N. Payne  
OFFICE: (615) 533-4455  
4504 Inyoming Avenue  
Nashville, TN 37204  
ses-llc@comcast.net

### PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Sat Jan 5 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billy Payne
ENGR. of RECORD:	William Payne
REG. NO.:	101788
SRVY. of RECORD:	
REG. NO.:	

### ENGINEERS STAMP

DATE: Jan 5, 2013

SHEET #  
SHEET 11 OF 14

NPDES # TNR147916  
SNGR T201100152

CASE No. 2013 SP-004-001

Control Set on Site  
September, 2011

Deed Calls  
As Recorded

# EXISTING SITE CONDITIONS

## UTILITY COMPANY & AGENCY CONTACTS



EXISTING SITE CONDITIONS

1	684413.5665	1646345.0310	447154	pk	naill
2	684416.4182	1646446.4541	44535	pk	naill
3	684480.3345	1646505.1005	44242	pk	naill
4	684484.8437	1646573.4442	44021	pk	naill
5	684490.1411	1646633.3451	43718	pk	naill
6	684492.0662	1646669.0011	43668	pk	naill
7	685013.5674	1646605.8408	43342	pk	naill
8	685017.0218	1646644.3340	43310	pk	naill
9	685161.1323	1646687.1348	43375	pk	naill
10	685204.8125	1646721.3385	43434	pk	naill
11	685205.0831	1646546.4442	45264	pk	naill
12	685161.2671	1646274.0540	46495	pk	naill
13	685156.5837	1646374.2594	46354	HJB	
14	685382.6365	1646340.0037	46003	naill	
15	685348.0880	1646582.0845	45408	naill	
16	685448.1824	1646618.2125	46275	naill	
17	685386.1854	1646816.1872	45683	naill	
18	685264.8200	1646611.5312	44184	Iron Pin Found	
19	685208.8125	1646394.3675	45103	Iron Pin Found	
20	684996.9154	1646572.4267	44168	Iron Pin Found	
21	684985.6348	1646344.2346	44875	Iron Pin Found	
22	685341.2133	1646333.2644	45475	Iron Pin Found	

L1	N08°27'43"W	172.14'
L2	N12°21'45"W	230.74'
L3	N86°22'12"E	445.83'
L4	S81°08'11"E	170.80'
L5	S21°41'00"W	66.88'
L6	S38°52'00"W	24.80'
L7	S53°08'00"E	8.00'
L8	S38°52'44"W	27.74'
L9	N61°08'11"W	161.72'
L10	S03°28'04"W	34.31'
L11	N86°33'56"W	124.56'
L12	S42°33'09"W	76.81'
L13	S03°37'48"E	212.23'
L14	S86°22'12"W	178.49'

### Existing Trees

TREES ON-SITE	IDENTIFICATION No.	DIAMETER @ BREAST HEIGHT	CONDITION
	T1	18" DBH TREE	POOR
	T2	24" DBH TREE	POOR
	T3	24" DBH TREE	DEAD
	T4	20" DBH TREE	POOR
	T5	24" DBH TREE	FAIR
	T6	48" DBH TREE	GOOD
	T7	24" DBH TREE	FAIR
	T8	18" DBH TREE	FAIR
	T9	24" DBH TREE	FAIR

### Existing Easement

Subdivision Number: 915-416-03 (Recorded Instr: 200002100M164 Page 1 of 1)  
Existing Easement for Septic Systems North of Site (on parcel 70, map 36) recorded in book 11671, page 326 R.O.D., Tennessee  
Existing Reciprocal Access Easement between shared boundary adjacent to right of way of Old Hickory & Ashland City Highway (Recorded Instr: 20000210015454 TOFT P6)  
Existing Storm Water Detention Agreement as (Recorded Instr: 200001030001681)

**Electric Service**  
Nashville Electric Service  
www.nespower.com/  
615-141-3115  
1214 Church Street  
Nashville, TN 37246

**Cable & Internet Service**  
Comcast  
www.comcast.net  
2501 McGavock Pike Ste 1200  
Nashville, TN 37214-1231  
(615)244-5400

**Department of Codes**  
http://www.nashville.gov/codes  
Metro Office Building  
800 Second Avenue South  
Nashville, TN 37203  
Codes Department Telephone Numbers:  
Permit Division: 862-6571  
Zoning Review: 862-6510  
Plans Review: 862-6540  
Building Division: 862-6550  
Electrical Division: 862-6560  
Gas/Mechanical Division: 862-6510  
Main Number: 862-6500

**WATER & SEWER SERVICE**  
Harper Valley District  
www.hvwd.com  
5810 River Road  
Nashville, TN 37204  
615-352-1076

**Public Utility & Drainage Easement**  
www.att.com  
185 2nd Ave N  
Nashville, TN 37203-1903  
(615)248-2643

### SURVEY GENERAL NOTES

- there is no visible evidence of earth moving, current or proposed.
- there is no visible evidence on site of use as a dump or sanitary landfill, currently or previously.
- surveyor is aware of no changes in street right of way lines, either completed or proposed, surveyor observed no evidence of recent street or sidewalk construction or repairs.
- subject property contains: (lot 1) jrb holdings, llc consolidation plat, 6.31 acres more or less.
- the underground utilities shown have been located from field survey information and existing drawings, the surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned, the surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available, the surveyor has not physically located the underground utilities.
- the surveyor did not observe any visible encroachment at the time of survey.

REVISIONS:

- OWNER APPROVAL 5/20/11
- SUBMITTED FOR APPROVAL 12/13/11
- REVISED SANITARY SEWER 1/20/12
- REVISED FOR APPROVAL 2/16/12
- REVISED FOR APPROVAL 2/14/12
- REMOVED UPPER PARKING LOT 10-15-12
- ADDED LOWER PARKING LOT 10-15-12
- ADDED PAVILLION 11-01-12
- REVISED PER PC COMMENTS 12-12-12
- REVISED PER METRO STORMWATER 1-13-12

PROPERTY SURVEY DATA  
TOPOGRAPHIC SURVEY JULY, 2011  
SOUTHERN ENGINEERING SERVICES, LLC  
BOUNDARY SURVEY BY  
JESSE E. WALKER, TN RLS 1406

COMPANY: SOUTHERN ENGINEERING SERVICES  
DRAWING DATE: MAY 20, 2011  
SES JOB NO #: 2011-PC001  
PHONE NO #: (615) 308-2511

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - One to use\5110 Ashland City Highway\CAD-Files (Terra Model)\current drawings\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Mon Jan 7 2013 / 9:35:03



### LEGEND

[Symbol]	BUILDINGS STRUCTURES
[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE CURB SIDEWALK
[Symbol]	GRAVEL OR RIP RAP
[Symbol]	PAVERS
[Symbol]	SWALE STABILIZATION SEED/SOD/RIP-RAP
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[Symbol]	IRON PIN FOUND/NOT FOUND
[Symbol]	BUILDING SET BACK
[Symbol]	UTILITY EASEMENTS
[Symbol]	STORM SEWER
[Symbol]	MANHOLE / GRATE
[Symbol]	OVERHEAD ELECTRIC SERVICE
[Symbol]	LIGHT POLE/POWER POLE
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[Symbol]	MANHOLE / CLEAN OUT
[Symbol]	NATURAL GAS
[Symbol]	VALVE / METER
[Symbol]	FENCE
[Symbol]	UNDERGROUND ELECTRIC SERVICE

National Geodetic Vertical Datum of 1929 (NGVD 29)  
GRAPHIC SCALE 1"=30'

TENNESSEE ONE CALL SYSTEM INC.  
STOP - CALL BEFORE YOU DIG

CASE No. 2013 SP-004-001

Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

OWNER: Phil Chamblee  
OFFICE: (615) 498-2160  
5127 Old Hickory Boulevard  
NASHVILLE, TN 37216

Engineer: N. Payne  
OFFICE: (615) 533-1955  
4509 Inyoming Avenue  
Nashville, TN 37204  
ses-llc@comcast.net

PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Mon, Jan 7 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billy Payne
ENGR. of RECORD:	William Payne
REG. NO.:	107188
SRVYS. of RECORD:	
REG. NO.:	

ENGINEERS STAMP

DATE: Jan 7, 2013

SHEET #

SHEET C.1.0 OF 14

NPDES # TNR147916  
SNCR T201100152

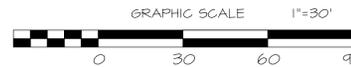
Upstream Water Shed 33.15 Acres  
See Sheet C 01 for limits based on  
Metro Nashville GIS Mapping

# PROPOSED DEVELOPMENT FOR WATER SHED



Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - One to use\5110 Ashland City Highway\CAD-Files (Tom Anderson\current drawings)\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Mon Jan 21, 2013 / 10:13:20

1' CONTOUR INTERVAL  
SES Topographic Survey



CASE No. 2013 SP-004-001



4504 WYOMING AVENUE, NASHVILLE, TENNESSEE 37204-4723  
PHONE: (615) 308-2511  
E-MAIL: SOUTHERNENGINEERING@GMAIL.COM

PROPOSED  
DRAINAGE  
CONDITIONS

REVISIONS:

2. SUBMITTED FOR APPROVAL 12/13/11
  3. REVISED SANITARY SEWER 1/20/12
  4. REVISED FOR APPROVAL 2/16/12
  5. REVISED FOR APPROVAL 2/14/12
  6. REMOVED UPPER PARKING LOT 10-15-12
  7. ADDED LOWER PARKING LOT 10-15-12
  8. ADDED PAVILLION 11-01-12
  9. REVISED PER PC COMMENTS 12-12-12
  10. REVISED PER METRO STORMWATER 1-13
  11. ADDED SIGN INFORMATION 1-16-13
- PROPERTY SURVEY DATA  
TOPOGRAPHIC SURVEY JULY, 2011  
SOUTHERN ENGINEERING SERVICES, LLC  
BOUNDARY SURVEY BY  
JESSE E. WALKER TN. RLS 1406
- COMPANY: SOUTHERN ENGINEERING SERVICES  
DRAWING DATE: MAY 20, 2011  
SES JOB NO.: 2011-PC001  
PHONE NO.: (615) 308-2511

Property of Chamblee Family  
SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT  
FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

OWNER: Phil Chamblee  
OFFICE: (615) 498-2160  
5127 Old Hickory Boulevard  
NASHVILLE, TN 37218

Engineer: N. Payne  
OFFICE: (615) 533-1955  
4504 Wyoming Avenue  
Nashville, TN 37204  
ses-ilc@comcast.net

PROJECT DATA	
SES PROJECT #:	1010-CC-001
DATE:	Mon, Jan 21 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billy Payne
ENGR. OF RECORD:	William Payne
REG. NO.:	107188
SRVYS. OF RECORD:	
REG. NO.:	



SHEET #  
SHEET C 02  
OF 14

NPDES # TNR147916  
SNCR T201100152

Project Desc.: Path: F:\Tom Anderson\Phil Chamblee - One to use\5110 Ashland City Highway\CAD-Files (Terr Model)\current drawing\Current Drawing\5110 Ashland Grading Plans 1-1-13.dwg Plot Date/Time: Mon Jan 21, 2013 / 10:08:19



WATER SHED OF THE NORTH WEST CORNER OF HIGHWAY 12 AND OLD HICKORY BLVD.

**Southern Engineering Services**  
 4504 WYOMING AVENUE, NASHVILLE, TENNESSEE 37204-4723  
 PHONE: (615) 308-2511  
 E-MAIL: SES@SOUTHERNENGINEERING.COM

EXISTING DRAINAGE CONDITIONS

REVISIONS:

2. SUBMITTED FOR APPROVAL 12/13/11
3. REVISED SANITARY SEWER 1/20/12
4. REVISED FOR APPROVAL 2/16/12
5. REVISED FOR APPROVAL 2/14/12
6. REMOVED UPPER PARKING LOT 10-15-12
7. ADDED LOWER PARKING LOT 10-15-12
8. ADDED PAVALLION 11-01-12
10. REVISED PAVEMENT DESIGN 03-14-12 H-1-B
11. ADDED SIGN INFORMATION 1-16-13

PROPERTY SURVEY DATA  
 TOPOGRAPHIC SURVEY JULY, 2011  
 SOUTHERN ENGINEERING SERVICES, LLC  
 BOUNDARY SURVEY BY  
 JESSE E. WALKER TN. RLS 1406

COMPANY: SOUTHERN ENGINEERING SERVICES  
 DRAWING DATE: MAY 20, 2011  
 SES JOB NO: 2011-PC001  
 PHONE NO: (615) 308-2511

Property of Chamblee Family  
 SITE DEVELOPMENT PLANS OF PROSED DEVELOPMENT  
 FOR Hickory Place Lot 1 / PARCEL# 067-00-0-145.00

OWNER: Phil Chamblee  
 OFFICE: (615) 498-2160  
 5121 Old Hickory Boulevard  
 NASHVILLE, TN 37218

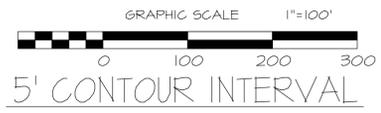
Engineer: N. Payne  
 OFFICE: (615) 533-4455  
 4504 Wyoming Avenue  
 Nashville, TN 37204  
 ses-ilc@comcast.net

PROJECT DATA

SES PROJECT #:	1010-CC-001
DATE:	Mon, Jan 21 2013
DESIGNED BY:	B. PAYNE
DRAWN BY:	B. PAYNE
CHECKED BY:	J. GOFF
APPROVED BY:	Phil Chamblee
PROJECT MANAGER:	Billie Payne
ENGR. of RECORD:	William Payne
REG. NO.:	101788
SRVYS of RECORD:	
REG. NO.:	

ENGINEERS STAMP

DATE: Jan 21, 2013

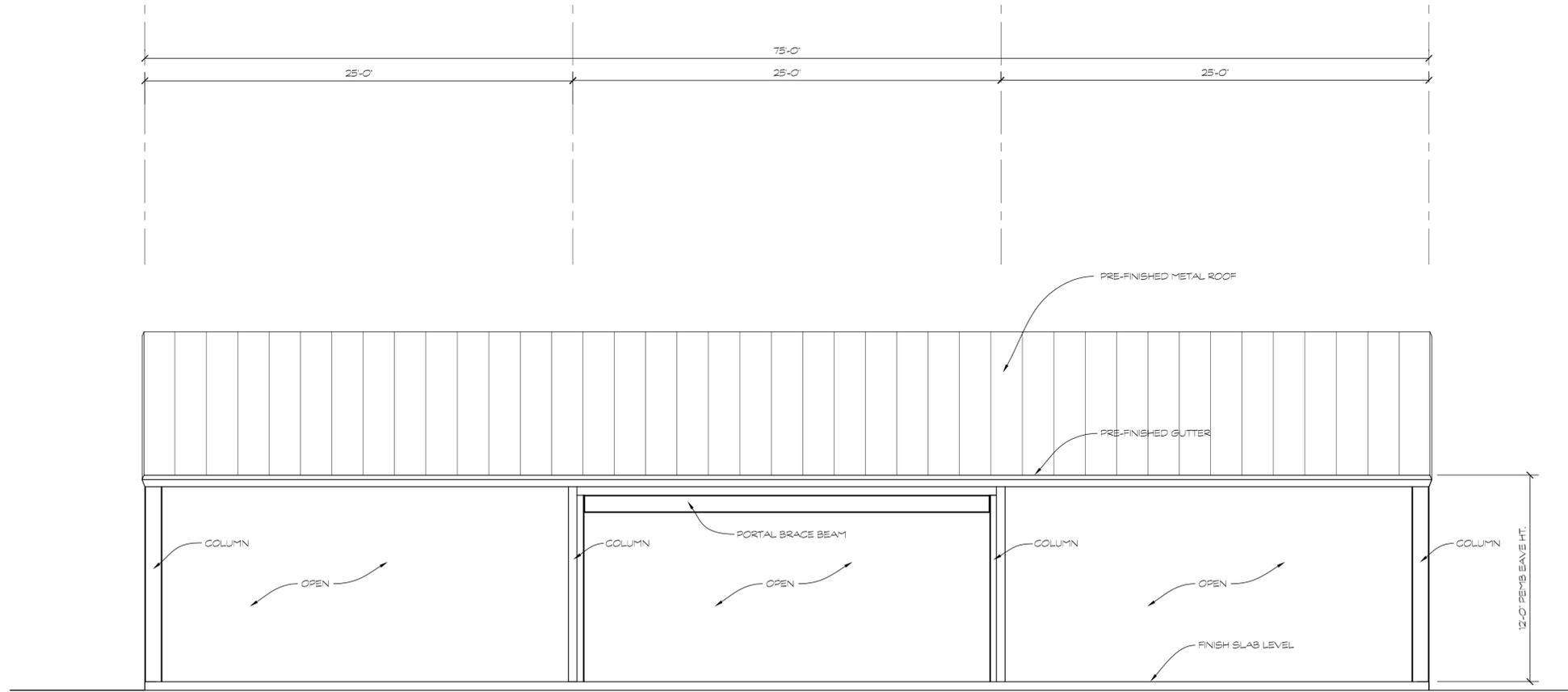


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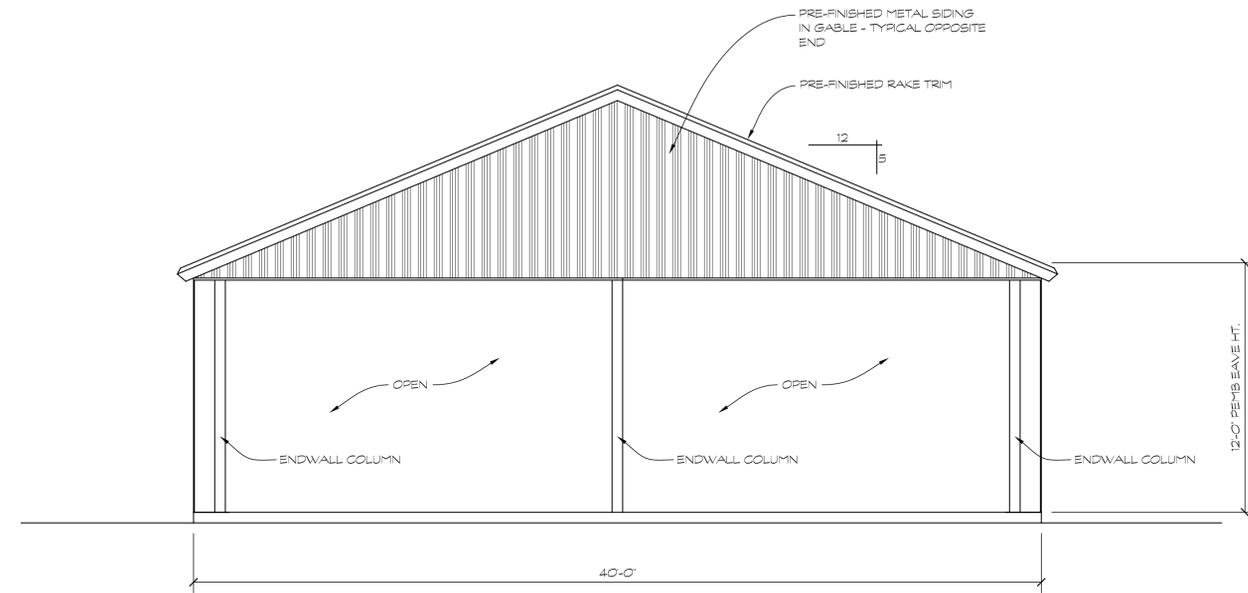
SHEET C 0.1  
 OF 14

CASE No. 2013 SP-004-001

NPDSS # TNR147916  
 SNGR T201100152



**1 SIDE ELEVATION**  
SCALE: 1/4"=1'-0"  
BOTH SIDES IDENTICAL



**2 END ELEVATION**  
SCALE: 1/4"=1'-0"  
BOTH ENDS IDENTICAL

**THOMAS L. ANDERSON,  
ARCHITECT, INC.**  
303-A SOUTH MAIN STREET  
GOODLETTSVILLE,  
TENNESSEE 37072  
PHONE: (615) 448-6848  
FAX: (615) 448-6850  
E-MAIL: info@tla.com

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shown, verify correct dimensions with Architect. Contractor shall  
check and verify all dimensions and conditions at the job site.

HIGHWAY 12 MOTORSPORTS

PROJECT NO.: 11100



PAVALION ELEVATIONS

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DRAWN BY: CHKD BY:

DATE: 02 JAN 2013

SHEET:  
**A1.1**