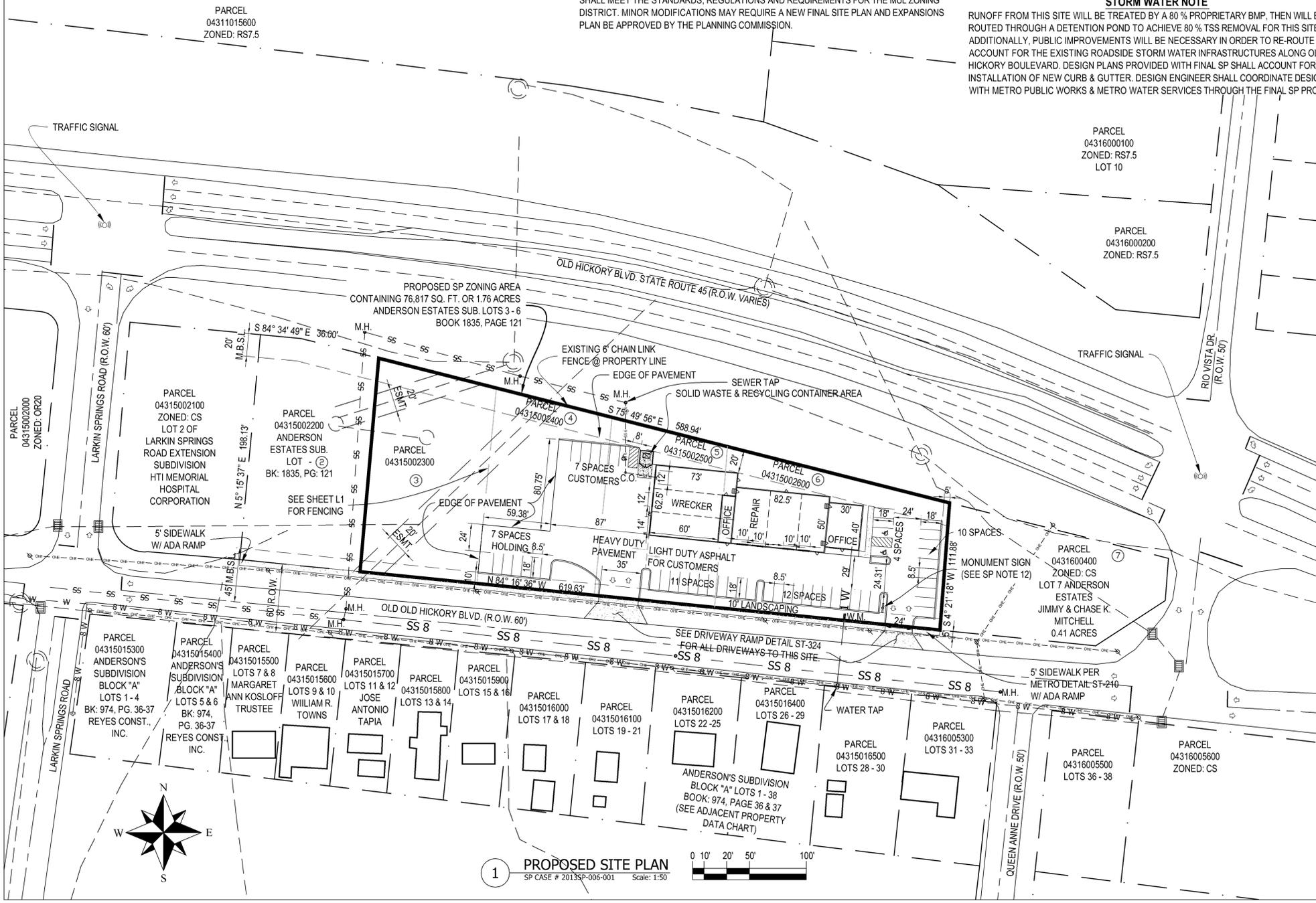


VICINITY MAP
NOT TO SCALE



1 PROPOSED SITE PLAN
SP CASE # 2013SP-006-001 Scale: 1:50

AUTOMOBILE SERVICE CONSIDERATIONS:

- IMPROVEMENTS PROPOSED BY THIS SP INCLUDES THE FOLLOWING.
- A PHYSICAL SEPARATION OF THE AUTOMOBILE DISPLAY OR PARKING AREA FROM THE SIDEWALK IN THE FORM OF A "KNEE WALL" OF A MINIMUM 24 INCH HEIGHT MAY BE REQUIRED. IF SO, THE WALL SHALL BE CONSTRUCTED OF EITHER:
 - CONCRETE, STONE, SPLIT FACED MASONRY OR OTHER SIMILAR MATERIAL. OR
 - PILLARS WITH WROUGHT IRON OR SIMILAR MATERIAL BETWEEN THE PILLARS. DETAILS TO BE PROVIDED W/ FINAL SP.
 - NO CHAIN LINK FENCE SHALL BE WITHIN 25 FEET OF ANY PUBLIC RIGHT OF WAY. NO RAZOR WIRE, BARBED WIRE OR SIMILAR MATERIALS SHALL BE ALLOWED ON THE PROPERTY. NO CHAIN LINK FENCE PROPOSED WITH THIS SP.
 - ANY ADJACENT R.O.W. SHALL INCLUDE A SIDEWALK THAT MEETS CURRENT METRO STANDARDS FOR CONSTRUCTION. IF THERE IS NOT AN ADJACENT SIDEWALK OR IF THE CONDITION OF THE EXISTING SIDEWALK IS INADEQUATE PER CURRENT METRO STANDARDS FOR CONSTRUCTION, A NEW SIDEWALK SHALL BE CONSTRUCTED BY THE APPLICANT. A SIDEWALK SHALL ALSO BE EXTENDED ACROSS THE ADJOINING WATER QUALITY DRY POND TO THE WEST.
 - ALL LIGHT & GLARE SHALL BE DIRECTED ON SITE TO ENSURE SURROUNDING PROPERTIES ARE NOT ADVERSELY AFFECTED BY INCREASES IN DIRECT OR INDIRECT AMBIENT LIGHT. ALL SIGNS SHALL BE EITHER MONUMENT OR ON BUILDING SIGNAGE. POLE MOUNTED SIGNS SHALL NOT BE PERMITTED. ANY EXISTING BILLBOARDS SHALL BE REMOVED WITHIN TWO YEARS FROM THE EFFECTIVE DATE OF THE ENACTING SP ORDINANCE BY THE METRO COUNCIL.
 - ALL INTERIOR LANDSCAPING REQUIREMENTS OF THE ZONING CODE (CHAPTER 17.24) SHALL BE MET, INCLUDING A MINIMUM 8 PERCENT OF INTERIOR LANDSCAPING. FOR THE PURPOSE OF DETERMINING LANDSCAPING REQUIREMENTS, MUL ZONING SHOULD BE USED TO DETERMINE THE MINIMUM REQUIRED AMOUNT OF LANDSCAPING, AS PER CHAPTER 17.24. AUTO RELATED USES SHALL BE CONSISTENT WITH THE APPROVED SITE PLAN. MINOR MODIFICATIONS TO THE SITE PLAN MAY BE APPROVED BY THE PLANNING COMMISSION INCLUDING CHANGES IN USE, BUT SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUL ZONING DISTRICT. EXPANSIONS OF 25% OF THE TOTAL FLOOR AREA OF THE ORIGINALLY APPROVED FINAL SITE PLAN OR TOTAL REDEVELOPMENT SHALL MEET THE STANDARDS, REGULATIONS AND REQUIREMENTS FOR THE MUL ZONING DISTRICT. MINOR MODIFICATIONS MAY REQUIRE A NEW FINAL SITE PLAN AND EXPANSIONS PLAN BE APPROVED BY THE PLANNING COMMISSION.

Specific Plan Development Summary	
• Council District Number	9
• Council District Council Member	BILL FRIDEMORE (615) 915-1419
• Owners Of Record	JIM MITCHELL
• Owners Of Record Address	1013 GALLATIN PIKE, MADISON, TN 37115
• Owners Of Record Phone Number	(615) 533-3639
• Project Name	Dad's Towing
• PUD Name	ANDERSON ESTATES Lot 3 - 6
• Design Professional	1/28/2013 Name: Tony Azimpour, P.E. Address: 182 Township Drive, Hendersonville, TN 37075 Phone Number: 615-714-1177 Fax Number: 615-822-9880
• U.S. FEMA FIRM Community Map Number	47037C143F
• U.S. FEMA FIRM Community Map Date	4/20/2001
• U.S. FEMA FIRM Flood Zone	ZONE: X
• SP NAME & NUMBER	2013SP-006-001

METRO NOTES:

- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 REGULATIONS.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15' CMP).
- PRELIMINARY PLAN NOTE:**
- THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.

STORM WATER NOTE

RUNOFF FROM THIS SITE WILL BE TREATED BY A 80% PROPRIETARY BMP, THEN WILL BE ROUTED THROUGH A DETENTION POND TO ACHIEVE 80% TSS REMOVAL FOR THIS SITE. ADDITIONALLY, PUBLIC IMPROVEMENTS WILL BE NECESSARY IN ORDER TO RE-ROUTE OR ACCOUNT FOR THE EXISTING ROADSIDE STORM WATER INFRASTRUCTURES ALONG OLD HICKORY BOULEVARD. DESIGN PLANS PROVIDED WITH FINAL SP SHALL ACCOUNT FOR INSTALLATION OF NEW CURB & GUTTER. DESIGN ENGINEER SHALL COORDINATE DESIGNS WITH METRO PUBLIC WORKS & METRO WATER SERVICES THROUGH THE FINAL SP PROCESS.

SPECIFIC PLAN DEVELOPMENT DATA

- THE PURPOSE OF THIS SP IS TO ALLOW FOR AUTOMOBILE SERVICES & WRECKER SERVICES. SUBJECT PROPERTY IS MAP & PARCEL ID: 04315002300 - 04315002800, LOTS 3 - 6 OF ANDERSON ESTATES SUB. LOCATED IN DAVIDSON COUNTY, NASHVILLE, TN. SP CASE # 2013SP-006-001. SUBJECT PROPERTY IS PRESENTLY ZONED CS, (COMMERCIAL SERVICE). THE INTENDED USE OF AN AUTOMOTIVE SERVICES & WRECKER SERVICES ARE PERMITTED.
- THE SUBJECT PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN BASED ON INFORMATION TAKEN FROM E.M.A FLOOD ZONE MAP # 47037C143F EFFECTIVE DATE: 4/20/2001 ZONE: X
- MINIMUM REQUIRED SETBACKS:

a. FRONT	45'	OLD OLD HICKORY BLVD.
b. RIGHT SIDE	N/A	PARCEL: 0431600400
c. LEFT SIDE	N/A	PARCEL: 04315002200
d. REAR	20'	OLD HICKORY BLVD. (ST. RT. 45)
- LOT AREA: 76,817 SQ. FT. 1.76 ± ACRE
- PROPOSED SITE COVERAGE:

		TOTAL AREAS
a. BUILDING AREA		9,887 SQ. FT.
b. ASPHALT PARKING & SIDEWALKS		22,579 SQ. FT.
c. LANDSCAPE		44,351 SQ. FT.
c. OPEN SPACE		27,070 SQ. FT.
- PARKING TABULATION:

a. AUTOMOBILE SERVICE				
b. 1 PER 300 S.F. OF OFFICE,	1,718 S.F. -	300	=	5.727 OR 6 SPACES REQUIRED
c. 1 PER 200 WRECKER SERVICE	4,045 S.F. +	200	=	20.225 OR 21 SPACES REQUIRED
d. 2 + 4 PER SERVICE BAY	4 BAYS X	4	=	16,000 + 2 = 18 SPACES REQUIRED
e. TOTAL PARKING SPACES REQUIRED =				45 SPACES REQUIRED
- PARKING PROVIDED:

a. STANDARD SPACES	48 SPACES
b. COMPACT SPACES	N/A
c. ADA SPACES	3 SPACES
TOTAL PROVIDED:	51 SPACES PROVIDED > 45
- PROPOSED BUILDING EAVE HEIGHT: 25 FT. ABOVE ADJACENT GRADE < 30'
- MAX FLOOR AREA RATIO (FAR): 0.129 = 12.9% < 60.0%
- MAX IMPERVIOUS AREA RATIO (ISR): 0.423 = 42.3% < 90.0%
- LANDSCAPE AREA RATIO (LAR): 0.577 = 57.7% > 10.0%
- DENSITY: Does Not Apply
- DWELLING UNITS: Does Not Apply.
- PLEASE SEND ALL CORRESPONDENCE TO ENGINEER:
TONY AZIMPOUR, P.E.
182 TOWNSHIP DRIVE
HENDERSONVILLE, TN 37075
PHONE: (615) 714-1177

SPECIFIC PLAN NOTES

- THE PURPOSE OF THIS SPECIFIC PLAN (SP) IS TO PERMIT A 9,887 SQUARE FOOT AUTOMOBILE SERVICE & WRECKER SERVICE CENTER.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C143F DATED APRIL 20, 2001.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- WHEELCHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15' CMP).
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- A MASTER SERVICE FOR WATER AND / OR SANITARY SEWER SERVICES ARE REQUIRED.
- SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTERS PLACED ON A SCREENED CONCRETE PAD AS SHOWN ON THIS PLAN.
- ALL AUTO RELATED SIGNAGE SHALL BE MONUMENT STYLE OR WALL MOUNTED. MONUMENT SIGNS SHALL HAVE A MAXIMUM SIGN AREA OF 49 SQUARE FEET AND SHALL NOT EXCEED 6 FEET IN WIDTH OR 3 FEET IN HEIGHT IF ANY PORTION OF THE SIGN IS LOCATED WITHIN 15 FEET OF A DRIVEWAY. WALL MOUNTED BUILDING SIGNS SHALL HAVE A MAXIMUM SIGN AREA OF 48 SQUARE FEET. POLE SIGNS ARE NOT PERMITTED. WALL SIGNS SHALL NOT COVER MORE THAN 20% OF THE BUILDING FACADE UPON WHICH THEY ARE AFFIXED.
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REVISIONS	BY

PRELIMINARY PROPOSED SITE PLAN
ANDERSON ESTATES LOTS 3 - 6
1119 OLD HICKORY BLVD.
MADISON, TENNESSEE 37115
PARCEL ID: 04315002300 - 04315002600. SP CASE # 2013SP-006-001

AZIMTECH ENGINEERING
182 TOWNSHIP DR.
HENDERSONVILLE, TN 37075
PHONE: (615) 714-1177 FAX: (615) 822-9880
e-mail: azimtech@comcast.net



DRAWN	R.J.L.
CHECKED	A.T.A.
DATE	February 21, 2013
SCALE	1" = 50'-0"
JOB NO.	1211-05
SHEET	SP CASE# 2013SP-006-001
C1.0	
Version # 9	

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AS-BUILT NOTE:

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

I, _____, Certified Erosion Control Specialist, have reviewed this plan for sufficient onsite erosion and sediment control provisions.

The project associated with these submitted plans is covered under Tennessee General Storm Water Permit TN _____

Signature _____ Date _____
circle one: Developer Project Engineer Other _____

(If an NOI has been submitted to the State for this project, its assigned permit number can be acquired by calling Tennessee Division of Water Pollution Control at 687-7000)

Note: Plans may be submitted without the above permit number; however, no grading permit shall be released until the project's State General Storm Water permit number is submitted.

If you intend to submit the permit number at a later date, please check here. _____

STORM WATER POLLUTION PREVENTION NOTES (TENNESSEE)

1. THE OWNER AND THE CONTRACTOR ARE NOT REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) TO DISCHARGE CONSTRUCTION-ACTIVITY STORM WATER APPLICATION TO THE LOCAL TENNESSEE ENVIRONMENTAL ASSISTANCE CENTER AT LEAST 30 DAYS PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONSTRUCTION ACTIVITY ANTICIPATED ON THIS PROJECT INCLUDES CLEARING, GRUBBING, GRADING, TOP SOILING AND SEEDING.
3. THE APPROXIMATE TOTAL AREA OF THE SITE IS 1.76 ACRES. THE APPROXIMATE TOTAL AREA OF GRADING PROPOSED IS 1.76 ACRES.
4. THE INCREASE IN POST-CONSTRUCTION IMPERVIOUS AREA IS 0.8 ACRES. THE ESTIMATED VOLUME OF RUNOFF FROM THE SITE DUE TO A ONE INCH RAINFALL IS 0.04 ACRE-FEET.
5. THE ANTICIPATED FILL MATERIAL WILL CONSIST OF ON-SITE SOIL AND/OR SHOT ROCK MATERIALS.
6. THE RECEIVING WATER/STORM SEWER OPERATOR IS METRO WATER SERVICES.
7. CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE EXPOSURE TIME OF CLEARED SURFACE AREA. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL PRIOR TO EARTH MOVING OPERATIONS. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, AND AT MAXIMUM 14 DAY CALENDAR DAYS IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL EXCEEDING 0.5 INCH WITHIN A 24 HOUR PERIOD.
8. THE CONTRACTOR SHALL DESIGNATE IN WRITING THE NAME AND PHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS.
9. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE REMOVED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING. ALL GRADED AREAS EXPECTED TO REMAIN UNFINISHED FOR MORE THAN 15 CALENDAR DAYS SHALL BE COVERED WITH TEMPORARY GRASS, SOD, STRAW, MULCH OR FABRIC-MATS. PERMANENT SOIL STABILIZATION SHALL BE INSTALLED WITHIN 15 CALENDAR DAYS OF FINAL GRADING.
10. THE CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION CONTROL INSPECTIONS AND REPAIRS FOR A MINIMUM OF 3 YEARS AFTER CONSTRUCTION COMPLETION.
11. TEMPORARY SEEDING FOR TENNESSEE PROJECTS INCLUDE THE FOLLOWING OPTIONS:
JAN 1 - MAY 1 ITALIAN RYE/KOREAN LESPEDEZASUMMER OATS
MAY 1 - JULY 15 SUDAN OR STARR MILLET
JULY 15 - JAN 1 BALBOA RYE/ITALIAN RYE
12. MULCHING SHALL CONSIST OF LOOSE HAY OR STRAW APPLIED AT THE RATE OF 2 TONS/ACRE.
13. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM TRAPS, SILT FENCES, SEDIMENT SWALES AND ETC. AS NECESSARY AND WHEN CAPACITY HAS BEEN REDUCED BY 50%.
14. STOCKPILES SHALL BE STABILIZED AND PROTECTED FROM EROSION.
15. THE CONTRACTOR IS TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13 RESPECTIVELY. THE CONTRACTOR IS TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.
16. I CERTIFY UNDER PENALTY OF THE LAW THAT THESE STORM WATER POLLUTION PREVENTION PLANS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION, AND BY QUALIFIED PERSONNEL WHO PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTED FALSE INFORMATION, INCLUDING THE POSSIBILITY OF A FINE AND IMPRISONMENT.

GRADING / EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR KEEPING DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER METHODS.
2. ALL CUT AND FILL AREAS SHALL HAVE A MINIMUM OF 6" TOP SOIL, SHALL RECEIVE 12 POUNDS PER 1000 S.F. OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS).
3. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND LOCATION OF EXISTING UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
6. ANY ACCESS ROAD TO THE SITE SHALL BE BASED ON CRUSHED ASTM #1 STONE, 100' LONG BY 20' WIDE AND 6" DEEP.
7. THE PLACING AND SPREADING IF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT TO HORIZONTAL LAYERS OF 8" LIFTS.
8. THE FILL MATERIALS TO BE FREE OF ROOTS, SOD, FROZEN SOIL OR DECOMPOSABLE MATERIALS.
9. FILL TO BE COMPACTED TO A MINIMUM IF 95% STANDARD PROCTOR.
10. ALL WORK TO BE PERFORMED AND COMPLETED IN ABSOLUTE COMPLIANCE WITH THE RULES AND REGULATIONS AS SET FORTH IN THE DAVIDSON COUNTY / METRO SPECIFICATIONS.
11. CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS AND PAY ANY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. CONTRACTOR SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO HIS PORTION OF THE WORK.
12. ANY RETAINING WALL GREATER THAN 4' IN HEIGHT WILL REQUIRE A PEDESTRIAN BARRIER FOR SAFETY. SEE DETAIL SHEET FOR GUARDRAIL DETAIL.
13. ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVALS.
15. USE S150 STRAW BLANKETS FOR 3:1 GRADE SLOPES. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DUSCARDED BUILDING MATERIALS, CHEMICALS, LITTER AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPSC PLAN.

LEGEND

- Existing Iron Rod I.R.(O)
- Existing Conc. Mon. C.M.(O)
- ◻ Iron Rod (Set) I.R.(N)
- ⊙ Water Valve
- ⊕ Water Meter
- ⊕ Fire Hydrant
- ⊕ Utility Pole
- ⊕ Anchor / guy wire
- W - Water Line
- GAS - Gas Line
- OHL - Overhead Utility Line
- CMP - Corrugated Metal Pipe
- SS Sanitary Sewer
- R.O.W. Right Of Way
- † Hose Bibb (H.B.)

LINETYPE LEGEND

- PROPERTY LINE
- 1" WATER
- 8" WATER
- WATER
- FENCING
- OVERHEAD ELECTRIC
- 8" SANITARY SEWER
- 6" SANITARY SEWER
- 4" SANITARY SEWER
- BUILDING OUTLINE
- SILT FENCING
- RIGHT OF WAY
- EXISTING MINOR CONTOURS
- EXIST. MAJOR CONTOURS
- PROPOSED CONTOURS
- CENTER OF ROAD



PROPOSED GRADING PLAN
SCALE: 1" = 50'-0"
SP CASE# 2013SP-006-001

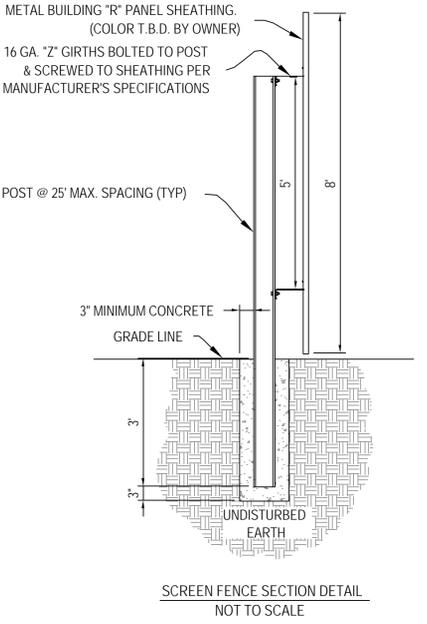
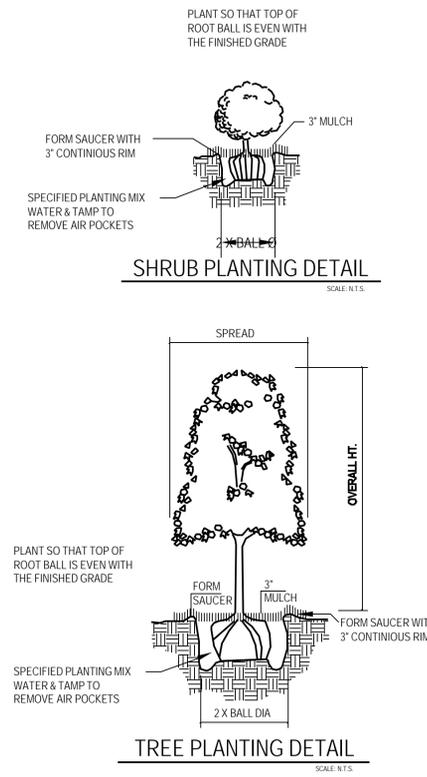
REVISIONS	BY

PROPOSED SITE GRADING PLAN
ANDERSON ESTATES LOTS 3 - 6
1119 OLD HICKORY BLVD.
MADISON, TENNESSEE 37115
PARCEL ID: 04315002300 - 04315002600, SP # 2013SP-006-001

AZIMTECH ENGINEERING
182 TOWNSHIP DR.
HENDERSONVILLE, TN 37075
PHONE: (615) 714-1177 FAX: (615) 822-9880
e-mail: azimtech@comcast.net



DRAWN
R.J.L.
CHECKED
A.T.A.
DATE
February 21, 2013
SCALE
1" = 50'-0"
JOB NO.
1211-05
SHEET
SP CASE# 2013SP-006-001
C2.0
Version # 9



LANDSCAPE NOTES AND SPECIFICATIONS

NOTE TO THE LANDSCAPE CONTRACTOR: READ THE NOTES AND PLANT LIST. INSTALL DESIGN AS SHOWN ON THE PLANS. DO NOT SUBSTITUTE PLANT MATERIALS OR OTHERWISE DILUTE FROM THE PLANS WITHOUT PRIOR APPROVAL. PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN ANSI Z60.1-2004.

- SEEDING:** All areas disturbed by construction not shown as building, pavement, sod, ground covers, or shrubs shall be seeded with the seed/blend mix specified at the rate of 11 lbs. per 1,000 sq. ft. Areas to be seeded shall be leveled to an even, uniform appearance prior to seeding. Fertilizer and agricultural limestone in the specified amounts shall be scarified to a depth of 4 inches except in areas that are hard and compacted. Compacted areas such as those areas that have been used for temporary vehicular access and are deeply compacted shall be scarified to a minimum depth of 8 inches. All stones, brick, sticks, and other foreign materials larger than 1 inch by 1 inch shall be removed from the seedbed surface before seeding. Seed shall be raked into the top 1/4 inch of soil and shall be mulched as specified. Specifications Per 1,000 Square Feet of Seeded Area:
On Site Mix per 1,000 Square Feet
3 lbs. Bonanza KY-31 Fescue
3 lbs. Rebel II KY-31 Fescue
8 lbs. Ardmore KY-31 Fescue
1/2 lb. Kentucky Bluegrass
1 1/2 lbs. Annual Ryegrass
Fertilizer - 10 lbs of 10-10-10
Agricultural Limestone - 75 lbs.
Mulch - 2 1/2 Bales of Coresl Grain Straw
- Areas to be seeded are indicated on the plans. Sod shall have a similar grass mix as the "On Site Mix" shown above. The Contractor shall submit a list of the seed mix and a sample of the sod to the Owner's Representative for approval prior to delivery of any sod to the site. All stones, brick, sticks, and other foreign materials larger than 1 inch by 1 inch shall be removed from the sod bed surface before placing sod.
- No substitutions or other deviations from the plans shall be permitted without written permission from the Landscape Architect or Owner's Representative.
- Any series of trees or shrubs proposed to be placed in a particular arrangement will be field checked for accuracy. The Contractor shall relocate any plants not appropriately arranged.
- Soil used in backfilling planting pits shall be 4 parts topsoil, 1 part sphagnum peat moss and 1 part sand. The backfilling soil shall be thoroughly mixed using a rotary tiller prior to being placed in the planting pit.
- Upon securing plant material and before installation, the Contractor shall notify the Owner's Representative for a pre-installation inspection to assure that all plant materials meet specifications.
- Pre-emergent (Trelan or equivalent) shall be applied to plant bed prior to installation of mulch.
- All plants shall have a minimum of 3 inches of shredded hardwood bark mulch. The Contractor shall submit a sample of the mulch to the Owner's Representative for approval prior to delivery of any mulch to the site. The mulch shall extend 12 inches beyond the planting pit for individually planted trees. Mulch shall extend 18 inches beyond shrub and ground cover beds. All shrubs shall be planted and mulched in continuous beds. The size of planting pits are shown in the details.
- Proposed trees shall be staked according to the planting details.
- Dimensions for height, spread, and trunk caliper on the material schedule are a guide for the minimum desired size of each plant. The dimensions given for the caliper shall always take preference over the other dimensions.
- The Quantities indicated on the material schedule (Plant List) are provided for the benefit of the Contractor but should not be assumed to always be correct. In the event of any discrepancy, the planting shown on the plans will take precedence over the material schedule. The Contractor shall be responsible for his own quantity calculations and the liability pertaining to those quantities and any related Contract Documents and/or price quotations.
- WATERING:** All trees and shrubs shall be thoroughly watered after pits are backfilled two-thirds full. Water again after the pits are completely backfilled.
- All plants shall be grade No. 1, properly formed to the species, true to the name as designated in the Standardized Plant Names, current edition, published by the American Joint Committee on Horticulture Nomenclature. The varieties not included are generally in conformity with names accepted in the trade. All plants shall be nursery grown, free from insects, insect eggs, scale, fungus, or disease. All plants shall meet the standard of size, culture, and quality for the highest grades and standards as adopted by the American Nursery and Landscape Association. All plants shall be planted where designated on the Planting Plan.
- PLANT GUARANTEE AND REPLACEMENT:** Plants shall be guaranteed for a period of one year from the date of final acceptance. Any plant that is not in satisfactory condition shall be removed and replaced. The cost of replacement shall be borne by the Landscape Contractor except for possible replacements resulting from removal of any part, vandalism, or acts of neglect on the part of others.

PRELIMINARY PLAN NOTE:

1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.

METRO NOTES:

- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 REGULATIONS.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" CMP).

AS-BUILT NOTE:

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

PLANT LEGEND

SHRUBS - 246	○○○
UNDERSTORY TREES - 35	●
CANOPY TREES - 49	○
EXISTING TREES (N/A)	⊗

BUFFER REQUIREMENTS PER 100 L.F.

BUFFER TYPE	CANOPY	UNDERSTORY	SHRUBS	LENGTH
B3 - 10' WIDE	4.5	1.8	18	498'-0"
C3 - 20' WIDE	6.0	3.0	24	421'-0"

LANDSCAPE SPECIFIC PLAN NOTE

THIS PLAN SCHEMATICALLY SHOWS LANDSCAPING. ALL SPECIES AND LOCATIONS WILL BE DETERMINED DURING FINAL SP APPROVALS. PRELIMINARY TREE DENSITY UNIT CALCULATIONS CAN BE FOUND ON THIS SPECIFIC PLAN LANDSCAPING SHEET (L1) IN THE TREE DENSITY WORKSHEET.

TREE DENSITY WORKSHEET

MAP: 431 PARCELS: 2300 - 2600 SP Application CASE # 2013SP-006-001

PROJECT NAME: ADDRESS:

1	SITE ACREAGE	1.763 ACRES
2	BLDG. ACREAGE	0.227 ACRES
3	ACREAGE - BUILDING	1.537 ACRES
4	REQ. UNITS / ACRE	14
5	DENSITY UNITS REQUIRED	21.51

PROTECTED TREES "DBH" MEANS DIAMETER OF TREE @ 12" ABOVE GRADE (EXISTING TREES @ 6" DBH MIN)

DBH	UNITS	DBH	UNITS	DBH	UNITS
@ 6" x 0.2 =		@ 20" x 3.3 =		@ 34" x 9.5 =	
@ 8" x 0.4 =		@ 22" x 3.9 =		@ 36" x 10.7 =	
@ 10" x 0.6 =		@ 24" x 4.7 =		@ 38" x 11.9 =	
@ 12" x 0.8 =		@ 26" x 5.6 =		@ 40" x 17.4 =	
@ 14" x 1.1 =		@ 28" x 6.5 =		@ 42" x 19.2 =	
@ 16" x 1.4 =		@ 30" x 7.4 =		@ 44" x 21.1 =	
@ 18" x 1.8 =		@ 32" x 8.4 =		@ 46" x 23.1 =	

REPLACEMENT TREE SCHEDULE UNITS (REPRESENT BASAL AREA)

CAL (REPRESENTS CALIPER OR "DIAMETER" @ 6 INCHES ABOVE THE BALL AT PLANTING)

CAL	UNITS	CAL	UNITS	CAL	UNITS
84 @ 2" x 0.5 =	42	5" x 0.9 =		8" x 1.3 =	
3" x 0.6 =		6" x 1.0 =		9" x 1.5 =	
4" x 0.7 =		7" x 1.2 =		10" x 1.7 =	

DENSITY UNITS PROVIDED ON ABOVE SCHEDULES

TOTAL DENSITY FOR PROTECTED TREES

TOTAL DENSITY UNITS FOR NEW TREES = 42

TOTAL DENSITY UNITS PROVIDED = 42 > 21.51

TOTAL INTERIOR LANDSCAPING REQUIRED = 1 CANOPY TREE PER 15 PARKING SPACES WITH MIN. 6' HT. & 2" CAL

51 PARKING SPACES	/	15.0 SPACES =	4 CANOPY TREES REQUIRED
5 CANOPY TREES PROVIDED	>	OR =	4 REQUIRED TREES

TOTAL PERIMETER LANDSCAPING REQUIRED = 1 TREE / 50 L.F. OF PARKING @ PERIMETER WITH MIN. 6' HT. & 2" CAL

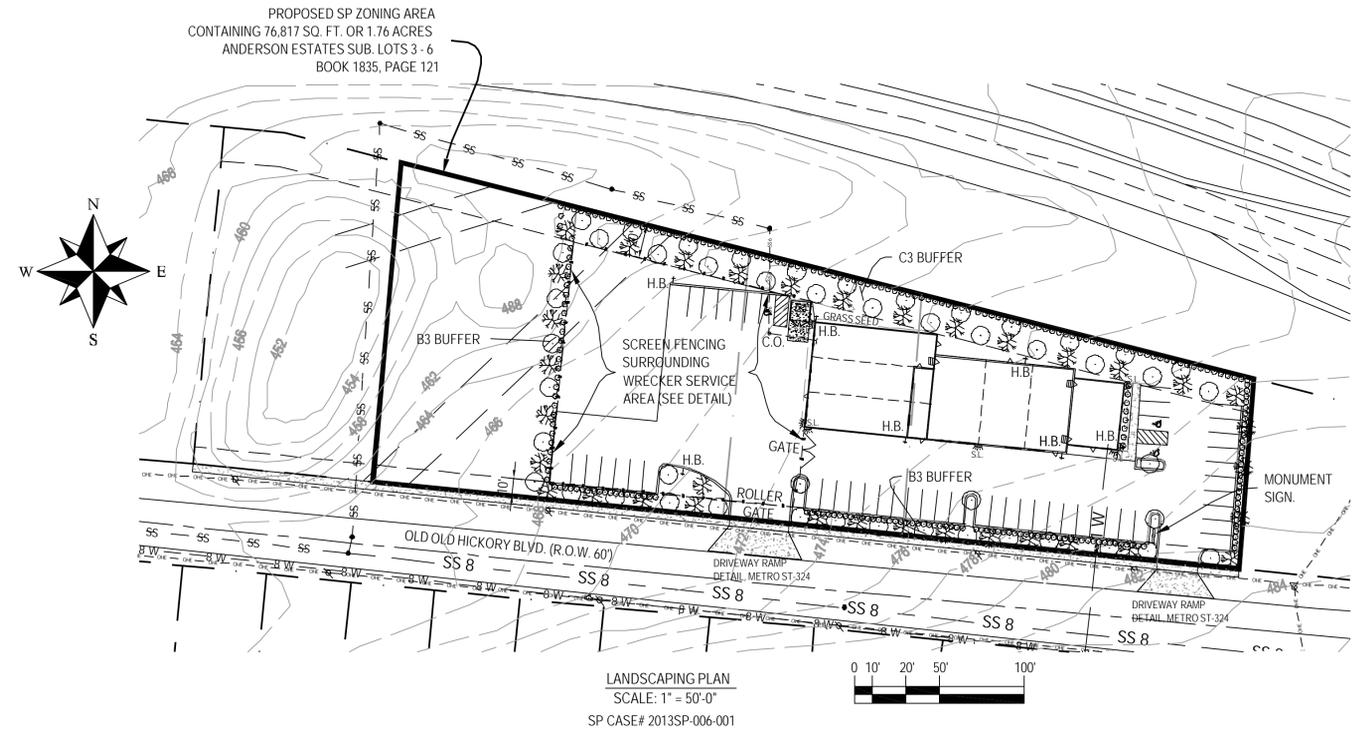
PERIMETER OF PARKING = 415 L.F.	/	50 L.F. =	9 TREES REQUIRED
31 TREES PROVIDED	>	OR =	9 TREES REQUIRED

LEGEND

○	Existing Iron Rod I.R.(0)
□	Existing Conc. Mon. C.M.(0)
●	Iron Rod (Set) I.R.(N)
⊗	Water Valve
⊕	Water Meter
⊕	Fire Hydrant
⊕	Utility Pole
—	Anchor / guy wire
— W —	Water Line
- GAS -	Gas Line
- OHL -	Overhead Utility Line
CMP	Corrugated Metal Pipe
SS	Sanitary Sewer
R.O.W.	Right Of Way
†	Hose Bibb (H.B.)
⊕	SITE LIGHTING (S.L.) POLE MOUNT
⊕	SITE LIGHTING (S.L.) WALL MOUNT

LINETYPE LEGEND

PROPERTY LINE	---
1" WATER	--- 1W --- 1W ---
8" WATER	--- 8W --- 8W ---
WATER	---
FENCING	--- X --- X --- X --- X ---
OVERHEAD ELECTRIC	--- OEH --- OEH --- OEH --- OEH ---
8" SANITARY SEWER	--- SS 8 --- SS 8 ---
6" SANITARY SEWER	--- SS 6 --- SS 6 ---
4" SANITARY SEWER	---
BUILDING OUTLINE	---
SILT FENCING	--- SF --- SF ---
RIGHT OF WAY	---
EXISTING MINOR CONTOURS	---
EXIST. MAJOR CONTOURS	---
PROPOSED CONTOURS	---
CENTER OF ROAD	---



REVISIONS	BY

PROPOSED LANDSCAPING SITE PLAN
ANDERSON ESTATES LOTS 3 - 6
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MADISON, TENNESSEE 37115
PARCEL ID: 04315002300 - 04315002600, SP # 2013SP-006-001

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DRAWN: R.J.L.
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