EROSION CONTROL & GRADING NOTES

1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHING TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.

2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHER WISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.

3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TCP-14.

4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.

5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.

6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.

7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.

8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.

9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSEPCTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.

10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.

11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.

12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.

13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.

14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.

15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

PUBLIC WORKS NOTES

1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.

2) PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.

3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.

4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.

5) ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.

ADJACENT FIRE HYDRANT RESULTS

FORTHCOMING

WATER & SEWER NOTES

1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.

2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.

3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.

4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.

5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.

6) ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.

7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.

8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

LANDSCAPE NOTES

1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.

2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.

3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.

4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.

5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.

6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.

7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.

8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.

9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.

10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.

11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.

12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.

13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.

14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.

15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.

16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.

17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

ARCHITECTUAL NOTES

BUILDING ELEVATIONS FOR ALL STREET FACADES SHALL BE PROVIDED WITH THE FINAL SITE PLAN. THE FOLLOWING STANDARDS SHALL BE MET:

A. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPLE ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING. BUILDING NO. 3 AND 4 SHALL HAVE FACADE REQUIREMENTS ON FRONT AND SIDES FACING THE RAIN GARDEN.

B. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATION OF 2:1 OR GREATER.

C. EIFS AND VINYL SIDING SHALL BE PROHIBITED.

D. FINISHED GROUND FLOORS AND PORCHES SHALL BE ELEVATED A MINIMUM OF 18 INCHES TO A MAXIMUM OF 30 INCHES FROM THE ABUTTING AVERAGE GROUND ELEVATION.

E. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.

STANDARD SP NOTES

1) THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A 7 UNIT MULTIFAMILY RESIDENTIAL DEVELOPMENT AS SHOWN.

2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

3) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0209F DATED APRIL 20, 2001.

4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.

5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.

6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).

8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

9) INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.

10) SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTER AS SHOWN HEREIN. THE DUMPSTER SHALL BE SCREENED BY A 6 FT HIGH OPAQUE FENCE.

11) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORIDANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.

12) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECFICIALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

13) THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.

GENERAL PLAN CONSISTENCY NOTE

THE SPECIFIC PLAN PROPOSED HEREIN IS LOCATED WITHIN SUBAREA #5 OR THE EAST NASHVILLE COMMUNITY PLAN. THE SPECIFIED LAND USE IS NEIGHBORHOOD EVOLVING, TRANSECT 4 (OR T4 NE). THE PRIMARY GOAL OF T4 NE IS TO CREATE AND ENHANCE URBAN NEIGHBORHOODS WITH HIGHER DENSITY WHILE PROVIDING HOUSING OPTIONS AND MAINTAINING THE EXISTING CHARACTER OF THE SURROUNDING AREA OR COMMUNITY.

AS PROPOSED, THIS SPECIFIC PLAN WILL PRESERVE AND ENHANCE THE STREETSCAPES ALONG BOTH PUBLIC WAYS (N 5TH & DOUGLAS) BY ADDRESSING BOTH ROADWAYS AND UTILIZING ONLY THE EXISTING ALLEY FOR ACCESS. THE PLAN'S DENSITY AND DESIGN BOTH MEETING THE NEIGHBORHOOD EVOLVING EXPLANATION BY PROMOTING INFILL, WALKABILITY AND CREATIVE DESIGN.

Site Vicinity Map

SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	MULTIFAMILY (SINGLE FAMILY DWELLINGS)
PROPERTY ZONING RS5	SURROUNDING ZONING RS5
MINIMUM LOT SIZE	NOT APPLICABLE
NUMBER OF RESIDENTIAL UNITS/DENSITY	7 TOTAL UNITS (16.7 UN/AC)
FAR	0.90 MAXIMUM/ 0.85 PROPOSED
ISR	0.70 MAXIMUM/ 0.38 PROPOSED
STREET YARD SETBACK:	15' - NORTH 5TH & 5' FROM PROJECTED R.O.W. - DOUGLAS
SIDE YARD	5' (SOUTH & EAST PROPERTY LINES)
REAR YARD	20' (PUBLIC ALLEYWAY)
HEIGHT STANDARDS	3 STORIES MAXIMUM W/IN A MAXIMUM HEIGHT OF 40 FT (MEASURED TO THE ROOFLINE)
PARKING AND ACCESS	
RAMP LOCATION AND NUMBER	ACCESS VIA ALLEY #334
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	NOT APPLICABLE (ACCESS VIA ALLEY ONLY)
DISTANCE TO INTERSECTION	SITE IS LOCATED AT AN INTERSECTION
REQUIRED PARKING	1.5 STALLS PER UNIT (UZO) @ 7 UNITS = 10.5 STALLS
PARKING PROPOSED	9 SURFACE + 7 GARAGE = 16 PROVIDED
*NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP: (NOT TO ENCROACH INTO RIGHT OF WAY)	6 FT - COVERED PORCHES 2 FT - BAY WINDOWS 6 FT - STOOPS & BALCONIES

Property Information
1219 & 1221 N 5th Street
Nashville, Tennessee 37207
18,295.2 Square Feet or 0.42 Total Acres
Council District 05 (Scott Davis)

Owners of Record
1219 N 5th Street
D218, LLC
1310 6th Ave N
Nashville, Tennessee 37208

Civil Engineer
Dale & Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Michael Garrigan, PE
Phone: 615.297.5166
Email: michael@daleandassociates.net

10/17/14

Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying

Sheet Schedule

1 C1.0 Notes & Project Standards
2 C2.0 Existing Conditions & Layout
3 C3.0 Utility & Landscape Plans

Notes & Project Standards

MPC Case Number
2014SP-080-001

516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

REVISIONS:
10/16/14: MPC Comments

Preparation Date: Oct 2014

1219 & 1221 N 5th Street
Preliminary Specific Plan
Tax Map 71-16, Parcels 195 & 196
Nashville, Davidson County, Tennessee

D&A Project No 14177
1219 & 1221 N 5th Street
Preliminary SP Drawings

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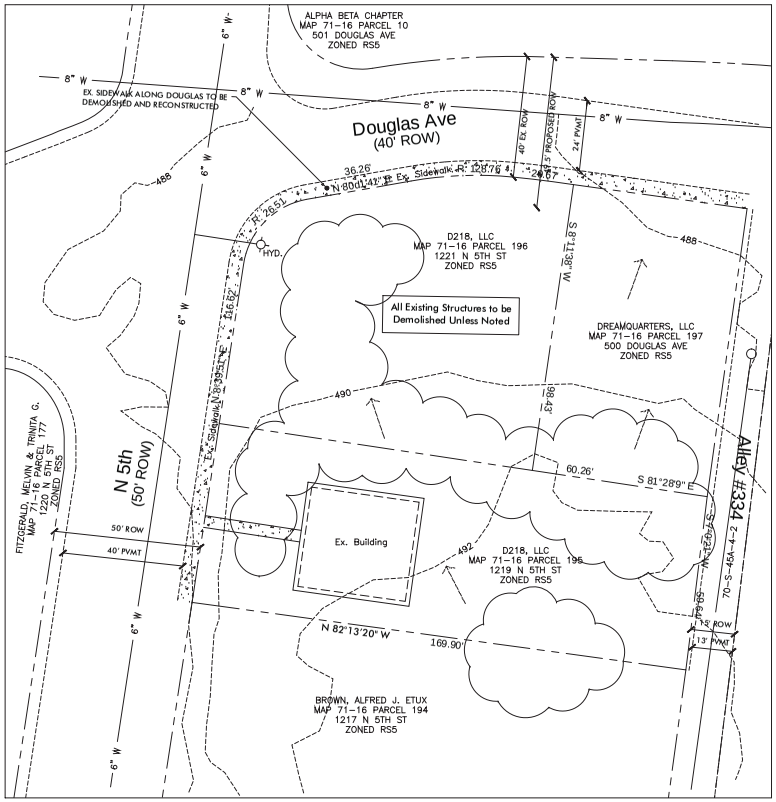
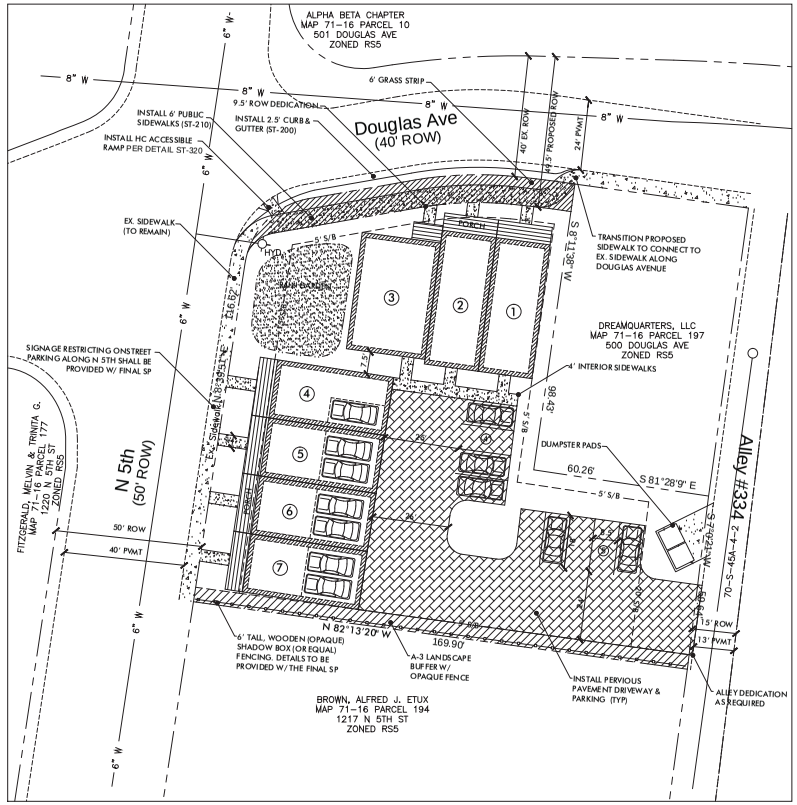


Existing Conditions



Layout

TOTAL AREA = 0.42 ACRES ±
= 18,295.2 S.F. ±

20 0 20 40 60

SCALE: 1" = 20'

N W E S

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Existing Conditions & Layout Plan

Property Information	Owners of Record	Civil Engineer
1219 & 1221 N 5th Street	1219 N 5th Street	Dale & Associates
Nashville, Tennessee 37207	D218, LLC	516 Heather Place
18,295.2 Square Feet or 0.42 Total Acres	1310 6th Ave N	Nashville, Tennessee 37204
Council District 05 (Scott Davis)	Nashville, Tennessee 37208	Contact: Michael Garrigan, PE
		Phone: 615.297.5166
		Email: michael@daleandassociates.net

Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
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Surveying

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REVISIONS:
10/16/14: MPC Comments

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1219 & 1221 N 5th Street
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Tax Map 71-16, Parcels 195 & 196
Nashville, Davidson County, Tennessee

MICHAEL CHRISTOPHER GARRIGAN
STATE OF TENNESSEE
10/17/14

D&A Project No 14177
1219 & 1221 N 5th Street
Preliminary SP Drawings

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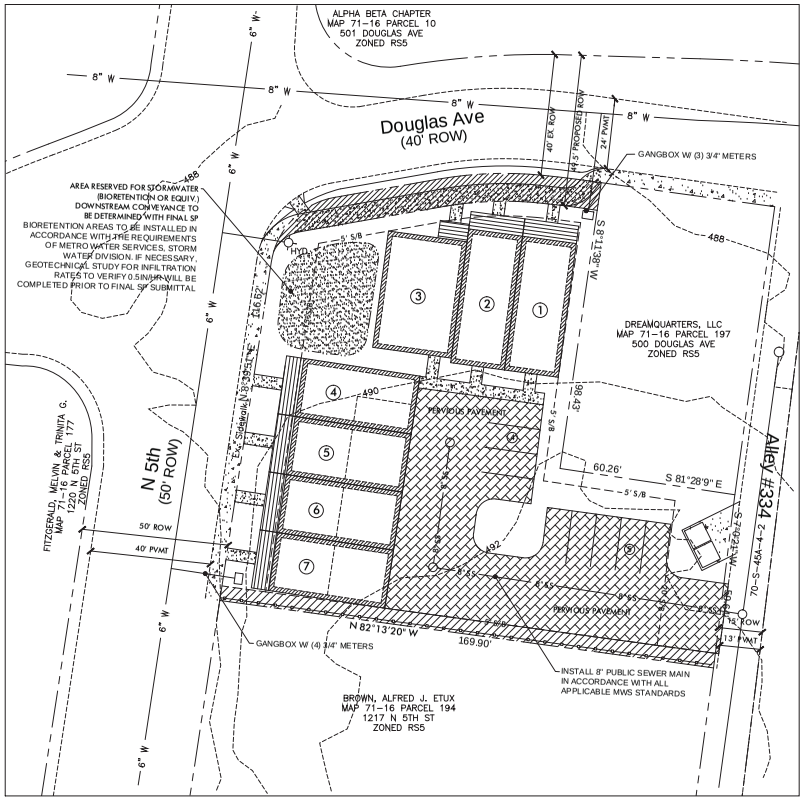
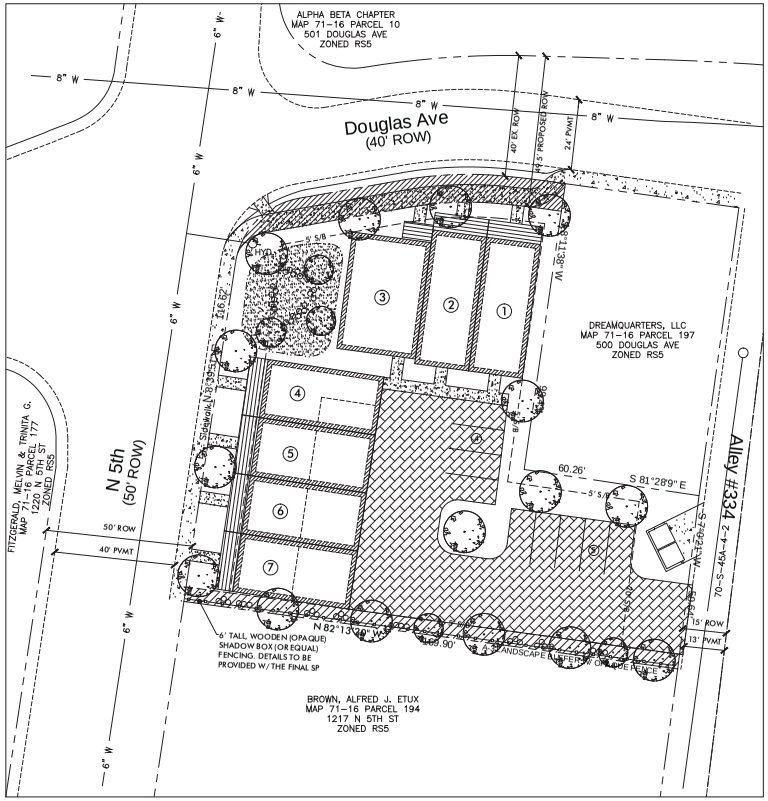
2 of 3



Grading & Utilities



Landscape

WATER QUALITY CALCULATIONS

PRELIMINARY CALCULATIONS SHOW THAT THIS PROJECT WILL REQUIRE APPROXIMATELY 613 CF OF WQv STORAGE IN THE PROPOSED RAIN GARDEN/BIORETENTION BASINS (80% TSS BMP) AS SHOWN ON THE ABOVE PLANS. PRELIMINARY DESIGN PROPOSES THE RAIN GARDEN TO BE DESIGNED AND PERMITTED WITH THE FINAL SP AND SHALL BE IN ACCORDANCE WITH THE METRO STORM WATER MANAGEMENT MANUAL.

BIORETENTION AREAS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF METRO WATER SERVICES, STORMWATER DIVISION. IF NECESSARY, GEOTECHNICAL STUDY FOR INFILTRATION RATES TO VERIFY 0.5 IN/HR RATE WILL BE COMPLETED PRIOR TO FINAL SP SUBMITTAL.

STORMWATER NOTES

1) THE SOIL TYPES FOR THIS SITE ARE McB (MAURY-URBAN LAND COMPLEX, 2 TO 7 PERCENT SLOPES) WHICH FALLS WITHIN THE "B" HYDROLOGICAL SOIL GROUP.
2) THIS SITE IS RESPONSIBLE FOR WATER QUALITY AND WATER QUANTITY. TO PROVIDE THE FULL WATER QUALITY TREATMENT OF 80% TSS REMOVAL, A WATER QUANTITY/QUALITY BMP(s) IS PROPOSED. DESIGN OF THIS FEATURE WILL BE PROVIDED DURING THE FINAL SP PROCESS. ALL BMPs SHALL BE LOCATED WITHIN OPEN SPACE/PUBLIC UTILITY & DRAINAGE EASEMENTS
3) STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.

PRE/POST CALCULATIONS

PRE-DEVELOPMENT	
TOTAL SITE AREA	= 0.42 ACRES
PRE-DEVELOPED IMPERVIOUS	= 0.04 AC @ 98
PRE-DEVELOPED GRASS	= 0.38 AC @ 69
COMPOSITE CN	= 71.8
POST-DEVELOPMENT	
TOTAL SITE AREA	= 0.42 ACRES
POST-DEVELOPED IMPERVIOUS	= 0.16 AC @ 98
POST-DEVELOPED GREEN SPACE	= 0.26 AC @ 69
COMPOSITE CN	= 80.0

PRELIMINARY CALCULATIONS ABOVE SHOWS THAT THIS PROJECT WILL INCREASE THE AMOUNT OF RUNOFF GENERATED BY THIS SITE . ONSITE MITIGATION SHALL BE PROVIDED THROUGH THE PROPOSED RAIN GARDENS TO ENSURE NO ADVERSE IMPACTS & ALL WATER QUANTITY REQUIREMENTS ARE MET.

UTILITY NOTES

1) WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
2) WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.
3) WATER SERVICE IS PROPOSED TO BE PROVIDED BY TWO SEPARATE METER VAULTS WITH SEWER PROPOSED TO BE PROVIDED BY THE PUBLIC SEWER EXTENSION SHOWN HEREIN.

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.

0.42 AC-0.14 AC = 0.28 AC x 14 = 3.9 TDU's REQ'D
21 @ 0.5 (2" CAL TREE) = 10.5 TDU's PROP

NOTE: EXISTING TREES TO BE PRESERVED HAVE NOT BEEN INCLUDED IN THE REQUIRED TDU.

TOTAL AREA = 0.42 ACRES ±
= 18,295.2 S.F. ±

20 0 20 40 60

SCALE: 1" = 20'

N W E S

Grading, Utilities, & Landscape Plan

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