

SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	MULTIFAMILY (ATTACHED SINGLE FAMILY DWELLING)
PROPERTY ZONING: RS5 (OV-UZO, URBAN)	SURROUNDING ZONING RS5 (OV-UZO)
MINIMUM LOT SIZE 6,000 S.F.	
NUMBER OF UNITS	2 TOTAL DWELLING UNITS
FAR	60% MAXIMUM 31% PROPOSED
ISR	70% MAXIMUM 49% PROPOSED
FRONT YARD SETBACK:	29.58' FROM S 13TH STREET
SIDE YARD (NORTH PROPERTY LINE)	5.0' FROM NORTH PROPERTY LINE
SIDE YARD (SOUTH PROPERTY LINE)	5.0' FROM SEVIER STREET
REAR YARD	20' FROM PUBLIC ALLEY
HEIGHT STANDARDS	MAX. HEIGHT FOR UNITS (2 STORIES IN 35 FEET TO TOP OF ROOF)
DENSITY	PROPOSED DENSITY P+R ACRE = 10.8 (2 UNITS/0.185)
PARKING AND ACCESS	
RAMP LOCATIONS AND NUMBER	0 ACCESS ON S 13TH STREET; 0 ACCESS ON SEVIER STREET
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	N/A
DISTANCE TO INTERSECTION	ALLEY IS 161.07' FROM S 13TH STREET
REQUIRED PARKING BASED ON USES	4 STALLS (2 UNITS @ 2 STALLS PER UNIT)
PARKING PROPOSED	4 STALLS

* NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP: 5 FT. COVERED PORCHES; 5' COVERED STOOPS; HVAC UNITS

DATA

TOTAL SITE AREA= .185 ACRES (8,053.5 S.F.)
 CURRENT ZONING: RS5
 PROPOSED ZONING: SP (SPECIFIC PLAN)
 COUNCIL PERSON: PETER WESTERHOLM
 COUNCILMANIC DISTRICT- 6

DESIGNER: THE LARKIN GROUP
 3401 JOHN MALLETTE DRIVE, SUITE 300
 NASHVILLE, TENNESSEE 37218
 (615) 732-3722
 CONTACT PERSON- JIMMY LARKIN
 EMAIL: jlarkin@thelarkinggrouponline.com

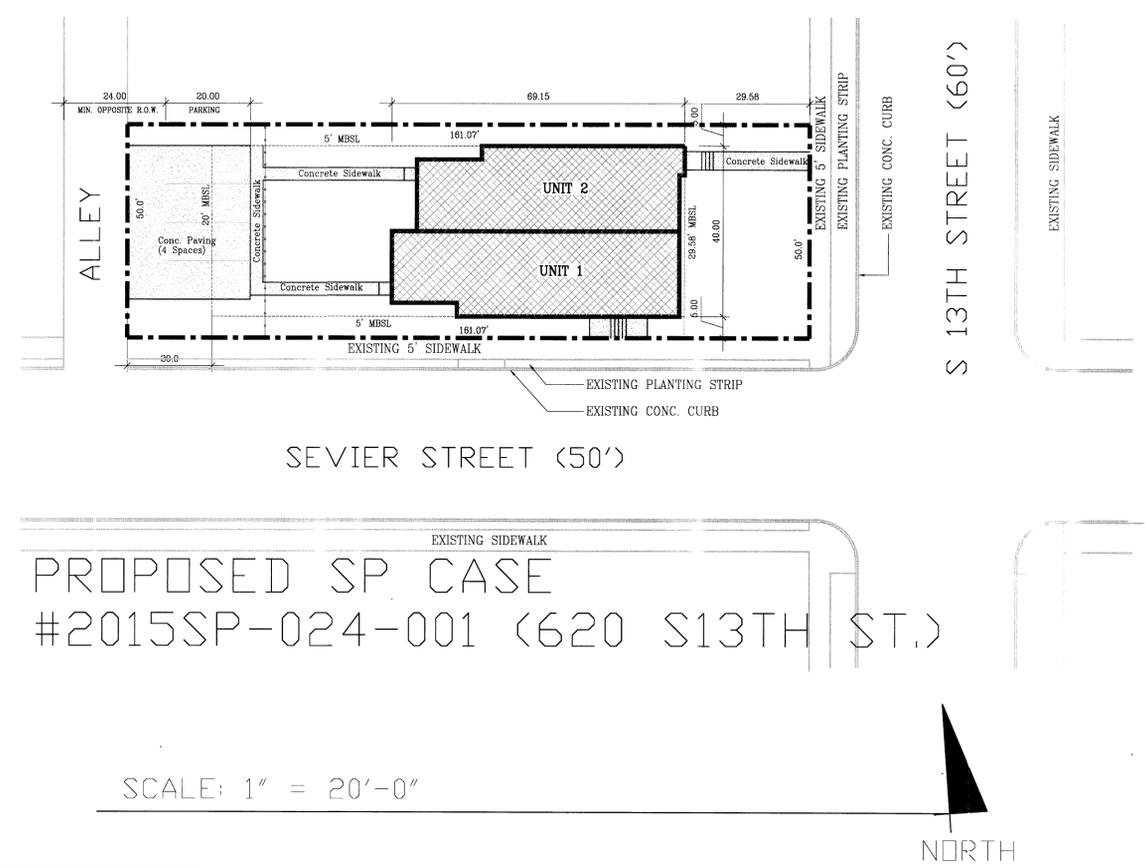
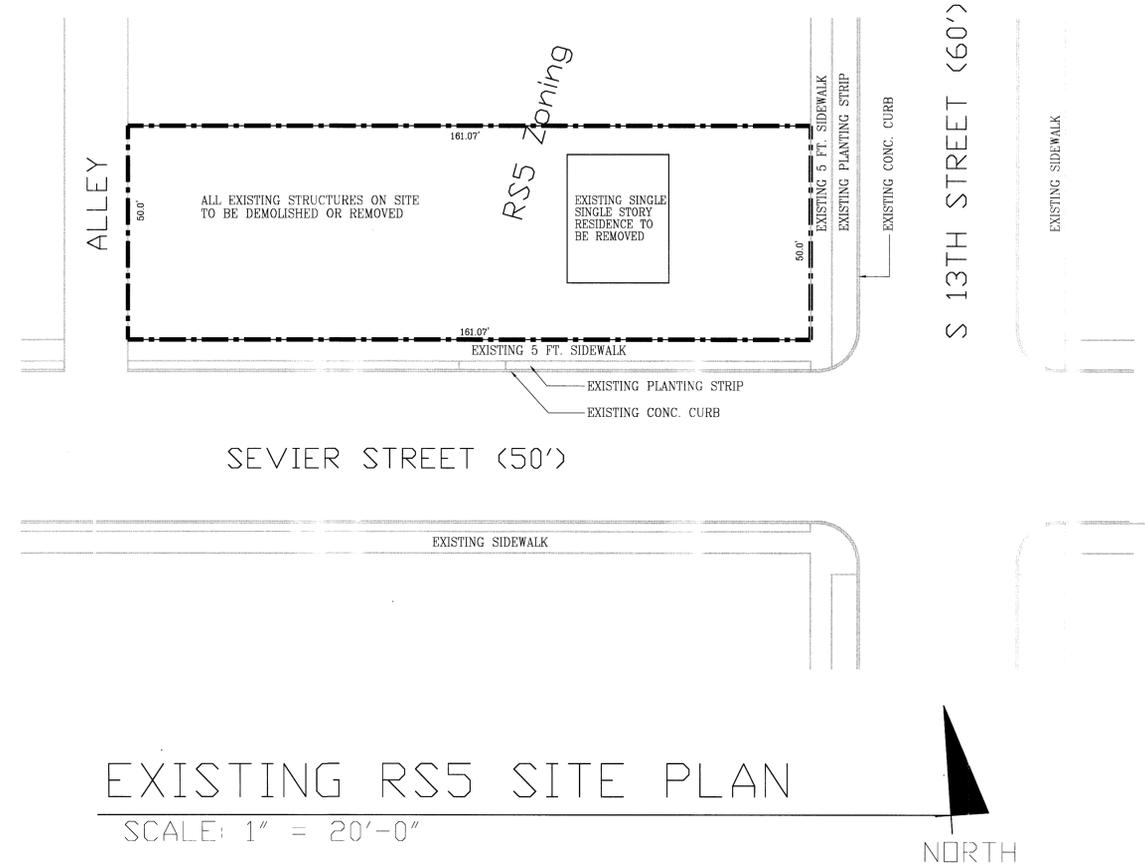
SP SUMMARY

THIS CURRENT USE OF PARCEL IS A SINGLE FAMILY RESIDENCE. THIS PROPOSED SP PLANS TO CHANGE THE USE OF THIS PARCEL TO A MEDIUM RESIDENTIAL USE WHICH IS DESIRED IN THE NEIGHBORHOOD GENERAL (NG) LAND USE POLICY. THE MEDIUM RESIDENTIAL PROPOSED WILL ENHANCE THE AREA BY CREATING ADDITIONAL RESIDENTIAL UNITS.



PRELIMINARY SPECIFIC PLAN ZONING (SP)
620 SOUTH 13TH STREET
 AN ANOINTED ONE DEVELOPMENT

620 SOUTH 13TH
 MAP/ PARCEL 09401007500
 NASHVILLE, TN 37208

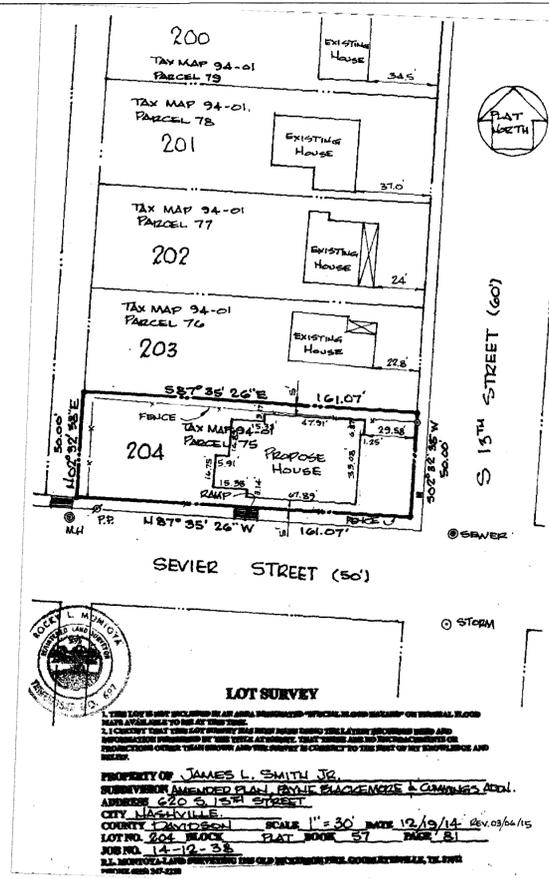


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 jlarkin@thelarkinggrouponline.com

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/8/15	REVISION #1

PROJECT NO.	ISSUED DATE
16415	MARCH 26, 2015
DRAWN BY:	REVIEWED BY:
JIMMY	

SHEET TITLE	SITE PLAN
SHEET NO.	C1.1



PROPERTY SURVEY
 SCALE: 1" = 40'-0"

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.

1. ACREAGE (AREA OF BUILDING SITE) = 0.185 ACRES
2. MINUS BUILDING COVERAGE AREA (2,508.4 S.F.) = .06 ACRES
3. EQUALS ADJUSTED ACREAGE = 0.125 ACRES
4. MULTIPLIED BY REQUIRED DENSITY UNITS PER ACRE x 14
5. EQUALS REQUIRED TREE DENSITY UNITS = 1.75 TDU

- EXISTING TREES:
1. TOTAL DENSITY UNITS FOR PROTECTED TREES =
 2. TOTAL DENSITY UNITS FOR NEW TREES (4 * .5) = 2.0
 3. TOTAL DENSITY UNITS PROVIDED =

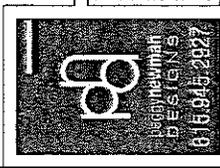
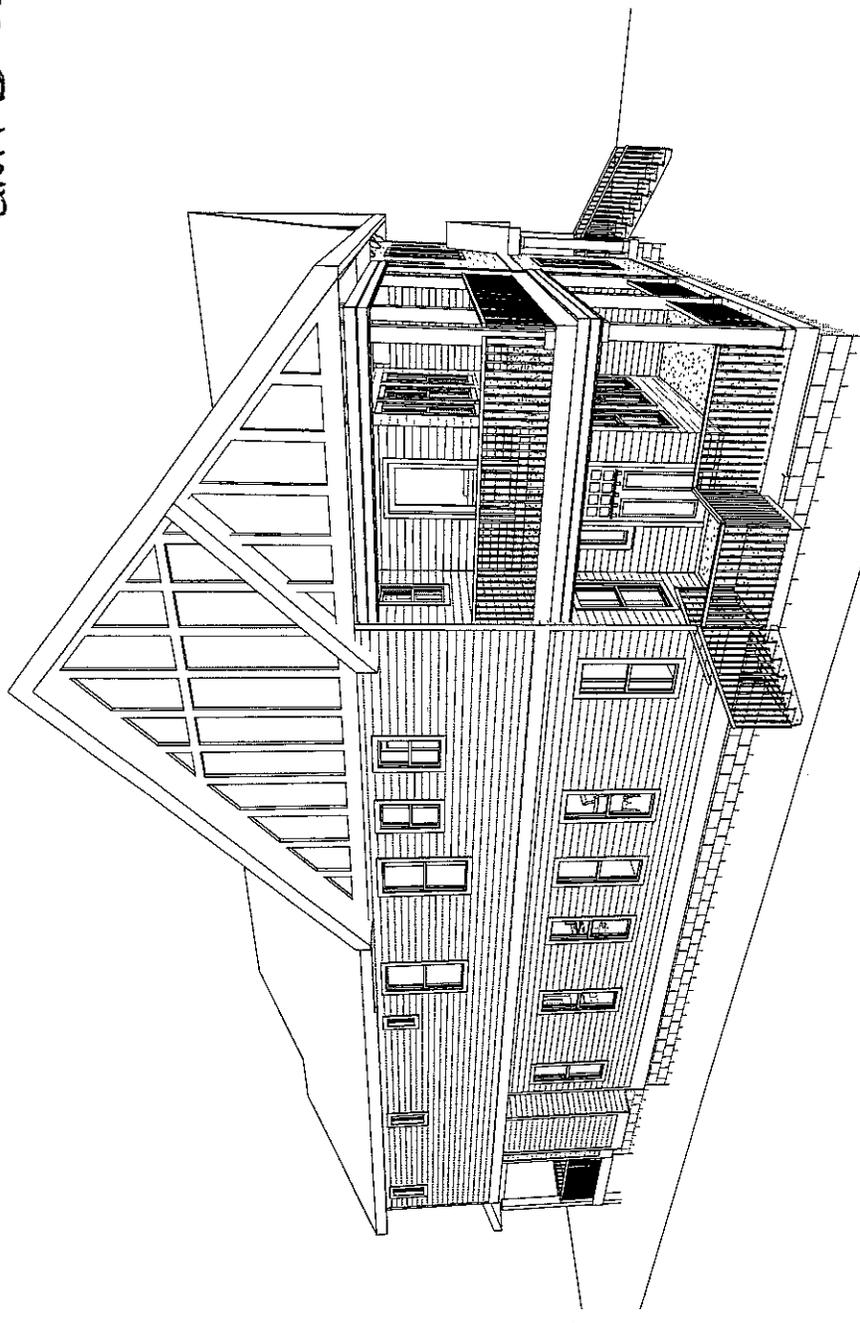
THIS PROJECT IS NOT A PLANNED UNIT DEVELOPMENT.

PRELIMINARY SP CASE # 2015SP-024-001
 REVISED PLAN

Nashville & Davidson County
 FEB 13 2015

Metroplan Planning Department

REVISED PLAN
 UNIT B DOOR CHANGE



THE CLIENTS RIGHT TO INSPECTION AND THESE CONSTRUCTION DOCUMENTS ARE
 GENERAL AND INTEND TO BE USED AS SUCH. THE CLIENTS SHALL BE RESPONSIBLE FOR
 VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DOCUMENTS.
 THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECTS.
 CONTRACTOR TO VERIFY ALL CONDITIONS AT THE SITE AND REPORT ANY
 DISCREPANCIES AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS. NOT REPORTED.

620 S. 13TH ST.
 NASHVILLE, TN 37206

No.	Description	Date

SEVIER ENTRANCE 11 X 17

Project number	Project Number
Date	2/11/15
Drawn by	PEN
Checked by	Checker
Scale	
S1	

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