

## Erosion Control and Grading Notes

Note that no grading is proposed on this site, however, in the event future grading is required, the following conditions must be met.

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 6-12-12 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section top-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with npdes department during the preconstruction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the epsc plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

## Water and Sewer Notes:

Note that no new public water or sanitary sewer is proposed on this site, however, in the event future work required, the following conditions must be met.

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services and MSUD the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (\*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- Madison Suburban Utility District serves this site with water. Any required capacity fees to MSUD and/or MWS must be paid prior to Final Site Plan/PUD approval.

## Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- If sidewalks are required then they are to be constructed along the property frontage in accordance with MPW standards and specifications.
- The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works, in effect at the time of the approval of the preliminary development plan or final development plan or building permit, as applicable. Final design may vary based upon field conditions.

## Stormwater Notes

- As this site is existing, no new stormwater facilities are being proposed. The current stormwater should be evaluated for performance at the time of the Codes approved change of use.
- PROPOSED IMPROVEMENTS TO OCCUR ON NATURAL GRADES, CONTOURS TO REMAIN GENERALLY UNDISTURBED
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The details of the plan shall be governed by the appropriate Stormwater regulations at the time of final application.
- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.

## Landscape Notes

Note that no new landscaping is proposed on this site, however, in the event future landscaping is required, the following conditions must be met.

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 sq. ft. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.

## Standard PUD Notes

- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 & approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA on map 47037C0105H dated November 22, 2013.
- All public sidewalks are to be constructed in conformance with Metro Public Works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable Metro Public Works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the Metropolitan Fire Marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" cmp).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be provided by dumpster, stored on a concrete pad, as shown on this plan.
- The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24, Article II, tree protection and replacement, and Chapter 17.40, Article x, tree protection and replacement procedures).
- Federal Compliance All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act. ADA: <http://www.ada.gov/> and [http://www.justice.gov/cr/housing/fairhousing/about\\_fairhousingact.htm](http://www.justice.gov/cr/housing/fairhousing/about_fairhousingact.htm)
- Approval of any preliminary or final PUD plan does not exempt any of shown on the PUD plan, or any development on such lot, from compliance with all provisions of the Metro Zoning Code with respect to floodplain: steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs, and critical lots.
- No building permit may be issued on any lot until street name signs are installed and verified by the Metropolitan Department of Public Works on all streets on which the lot depends for access.
- The final site plan/building permit site plan shall depict a minimum 5 foot clear path of travel for pedestrian ways, including public sidewalks, and the location of all existing and proposed obstructions. Prior to the issuance of use and occupancy permits, existing obstructions within the path of travel shall be relocated to provide a minimum of 5 feet of clear access.

## NES Notes

- NES must meet with developer/engineer upon request to determine electrical service options.
- Developer SHALL provide a civil duct and pad mounted transformer locations for NES review.
- Developer drawing shall show any existing utilities easements on property, the utility poles on the property and the poles along r-o-w.
- NES shall be place in "PUE" inside development for conduit runs and meter centers.
- Any addition easements required that are not part of this parcel must be obtained by the developer or the engineer for the developer.
- Postal plan is required before NES's final construction drawings can be approved.
- NES needs any drawings that will cover any road improvements, if any.
- NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ [www.nespower.com](http://www.nespower.com)).
- Developer's vegetation design shall meet both Metro requirements and NES Vegetation Management requirements/clearances.
- No NES duct system shall be installed in any rain garden areas.
- NES riser pole should be installed on development property.
- The type of meter center the development chooses to use will affect the ownership of the cable to the meter center.
- Look page 74 of the NES Guidelines Book.
- NES needs load information and identify any needs for three phase power.

### TO APPLY FOR SERVICE:

- DIGITAL COPY: Provide copy of civil site plan on a CD (no floppy disks; no pdfs; no x-ref's in .dwg file) registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Put data in separate layers and label them for easy identification.
- Developer/Engineer will provide one complete set of approved plans by Metro Planning w/ all changes from other departments (fire, storm water, public works, etc...) to NES.
- Developer/Engineer to provide a proposed easement drawing for the electric, phone and CATV.
- Go to [www.nespower.com](http://www.nespower.com) click on the "BUILDERS & CONTRACTORS" tab. Next click on the "Apply for Residential Subdivision" fill out the form. Then follow the direction for sending the digital drawing and the forms.

## Metro Fire Marshall

\*The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a change in use.

## General Plan Consistency

This Amended Planned Unit Development is located within Subarea #1, the Joelton Community Plan. The specified land use policy for this site is a Transect 2 (T1) Rural Neighborhood Center policy (or T23 NC). The primary goal of the T2 NC policy is to Preserve, enhance, and create rural centers that are compatible with the general character of rural neighborhoods as characterized by the service area, development pattern, building form, land use, and associated public realm.

As amended, this Planned Unit Development will maintain the current residential/rural style building while providing affordable housing options for the area. The number of units proposed (that currently exist) fall within the allowable densities under the T2 NC Policy.

## Traffic and Parking

As this use currently exists, there will be no additional traffic impacts for the area.

## Development Summary

### Property Owner/Developer

Map 22 Parcel 201  
Gifford Partnership

Map 33 Parcel 211

Graybrook Apartment Associates

### Owner/Developer Address

Gifford Partnership  
PO Box 147  
Whites Creek, TN 37189  
Donna Knepper  
knepper.donna@gmail.com

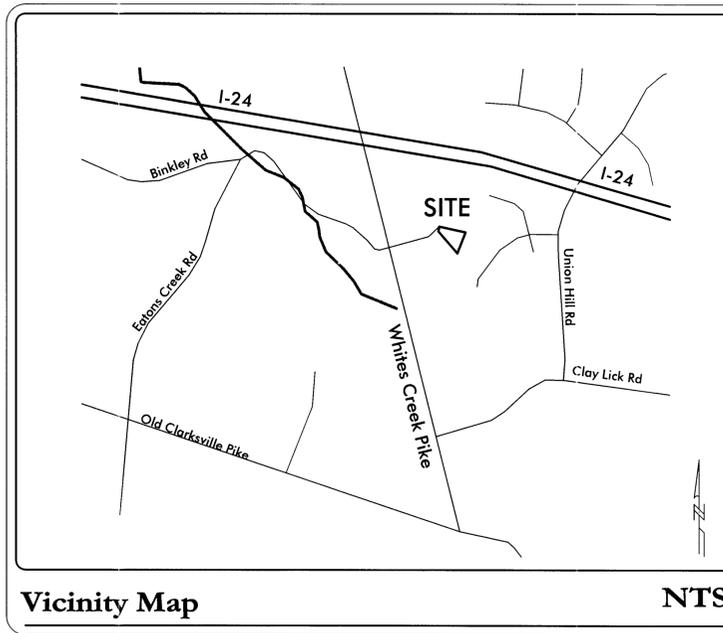
Council District 1 (Sharron Hurt)

### Civil Engineer

Dale and Associates  
516 Heather Place  
Nashville, Tennessee 37204  
Contact: Roy Dale, PE  
Phone: 615-297-5166  
Email: [roy@daleandassociates.net](mailto:roy@daleandassociates.net)

### Site Area

Map 22 Parcel 201  
1,301 Acres



Vicinity Map

NTS

### SPECIFIC PLAN DEVELOPMENT SUMMARY

Use	Boarding House
Property zoning	Commercial PUD
Surrounding Zoning	Commercial PUD, RS10
Site Area	63.09 Acres
Number of units / density	20 total dwelling units / 15.4 per acre
FAR	22.0%
ISR	58.2%
Front yard setback	20' from Right Of Way
Side yard	20' from property line
Rear yard	20' from property line
Height standards	2 story

### Parking and Access

Ramp location and muber (1) exist access on Gifford Place

Distance to nearest intersection 450 feet to Whites Creek Pike

Required parking based on uses 20 units @ 2 spaces per unit = 40 spaces  
Parking Proposed 54 spaces exist/proposed

CASE # 61-77P-002

## Sheet Schedule

C0.0 Notes & Project Standards  
C1.0 Site Plan

Notes & Project Standards

Drawing Date:  
April 28, 2016

Revisions:

XXXXX

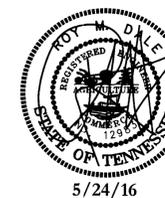
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**Gifford Commercial PUD**  
Planned Unit Development Amendment

Being Parcel 201, on Tax Map 22

Nashville, Davidson County, Tennessee

PERMITS:



5/24/16

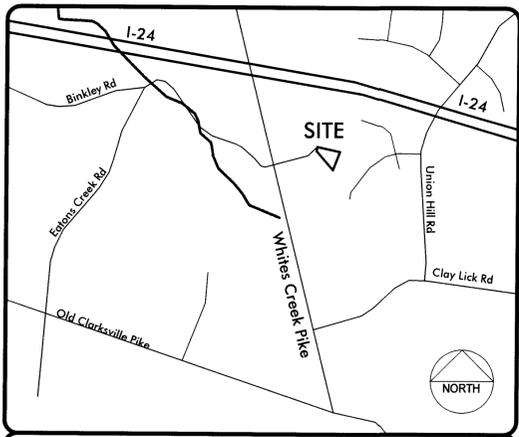
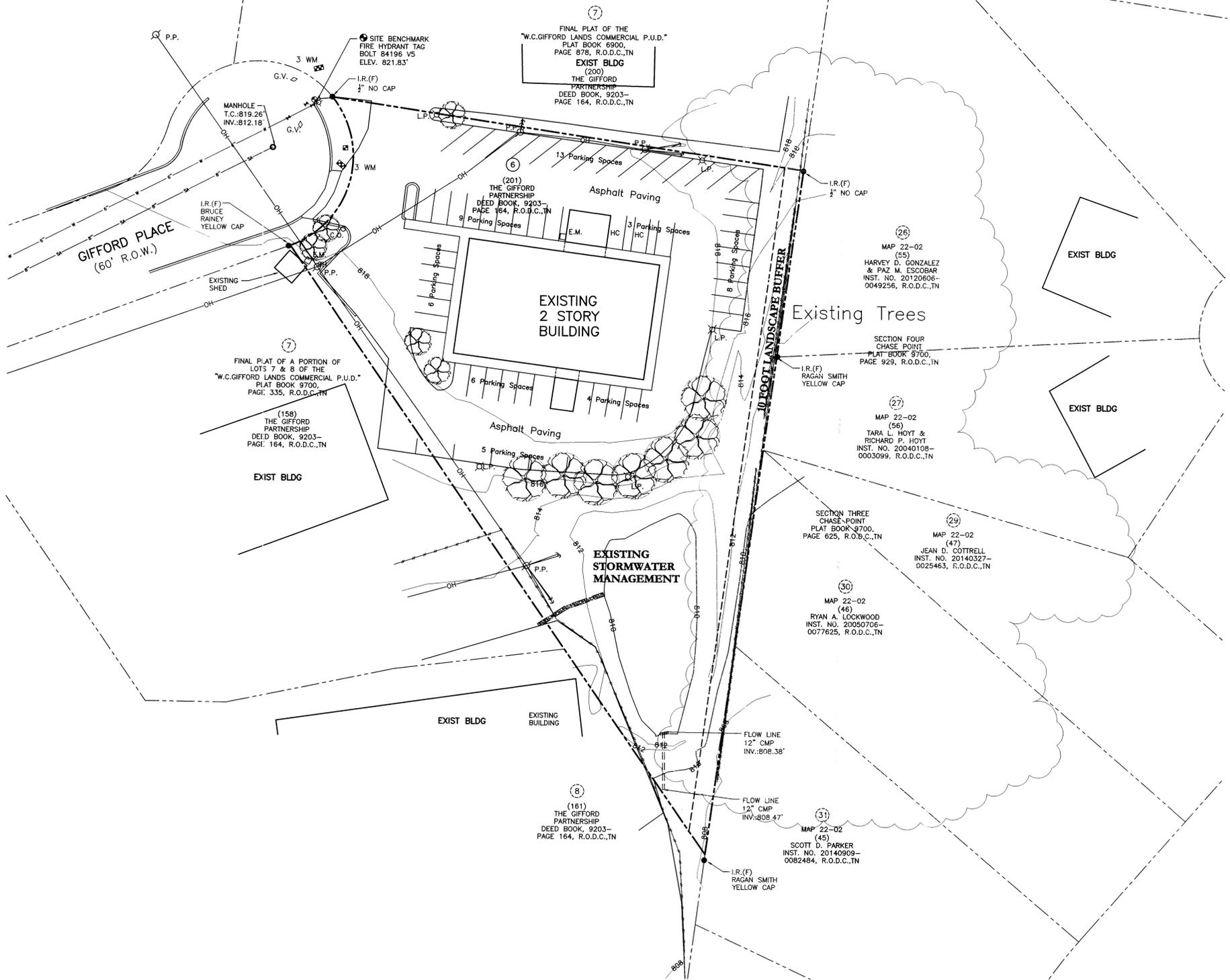
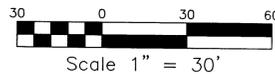
**Dale & Associates**  
Consulting Civil Engineering  
Land Planning & Zoning  
Surveying  
516 Heather Place  
Nashville, Tennessee 37204  
(615) 297-5166

MPC Case Number  
CASE # 61-77P-002

D&A Project #16016

**C0.0**  
Sheet 1 of 2

TOTAL AREA = 1.301 ACRES  
= 56,677.071 S.F.



Vicinity Map NTS



REVISIONS:  
  
DATE: April 13, 2016

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**Gifford Commercial PUD**  
Planned Unit Development Amendment  
Being Parcel 201, on Tax Map 22  
Nashville, Davidson County, Tennessee



5/24/16

**Site Plan**

**Dale & Associates**  
Consulting Civil Engineering  
Land Planning & Zoning  
Landscape Architecture

MPC Case Number  
CASE # 61-77P-002  
D&A Project #16016

**C1.0**  
Sheet 2 of 2