

LAND SOLUTIONS  
COMPANY, LLC

2925 Berry Hill Drive, Nashville, TN 37204

Preliminary Specific Plan  
FOR  
Williams Mill  
Nashville, Tennessee

ISSUANCE/REVISION NOTES:  
- PLAN DATE: June 24, 2016

- A NONE
- B NONE
- C NONE
- D NONE

Cover Sheet  
C0.0

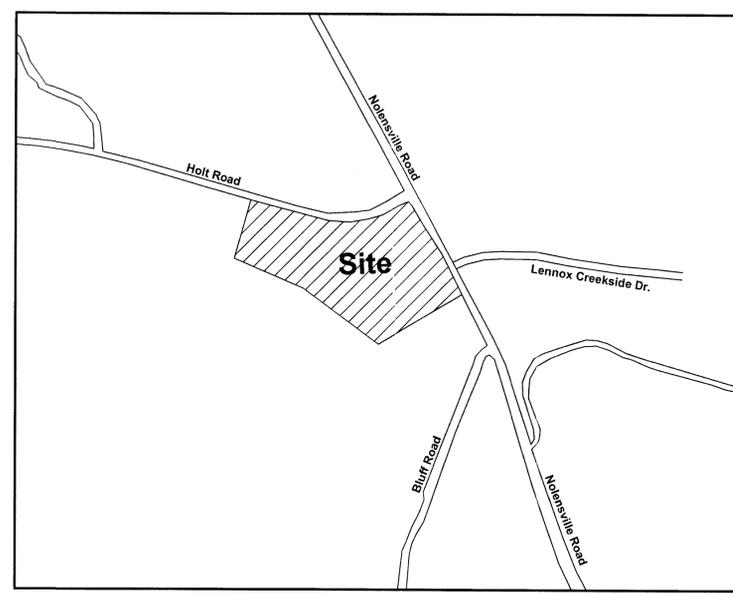
# Williams Mill

## An Active Adult Community

### Preliminary Specific Plan

#### 2016SP-028-001

6415 & 6419 Holt Road  
Being Parcels 92 & 94 on Tax Map 181  
Nashville, Davidson County, Tennessee



Vicinity Map

NTS

**Owner**  
Lunette Allen Pharr & Sara McKee Allen  
7233 Wild Apple Court  
Cane Ridge, TN 37013  
Tax Map 181 Parcels 92 & 94  
Property: 6415 & 6419 Holt Road

**Engineer**  
Land Solutions  
2925 Berry Hill Dr  
Nashville, TN 37204  
Phone: (615) 300-8496

**Floodnote**  
A Portion of this Property is Located Within a Flood Hazard Area, Zone A, as depicted on FEMA Map Number 47037C0364F. Dated: Unpublished.

**Sheet Schedule**

C0.0	Cover Sheet
C1.0	Existing Conditions
C2.0	Layout Plan
C3.0	Utility Plan
C4.0	Grading & Storm
C4.1	Enlarged Grading Plan
L1.0	Landscape Plan
L1.1	Landscape Plan
L1.2	Landscape Plan
L2.0	Nolensville Rd Sections
L2.1	Holt Rd Sections
C6.0	Concept Architecture
C6.1	Concept Architecture
C6.2	Concept Architecture

- Standard SP Notes**
- 1) The purpose of this SP is to receive preliminary approval to permit the development of 125 residential units.
  - 2) All roads in this development will be public.
  - 3) All units are to be sold fee-simple.
  - 4) Right-of-way dedication shall be completed prior to building permit issuance.
  - 5) Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
  - 6) This Property lies within a Flood Hazard Area as identified by FEMA on Map 47037C0364F. Dated: Unpublished.
  - 7) All public sidewalks are to be constructed in conformance with Metro Public Works Sidewalk Design Standards.
  - 8) Wheel chair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings.
  - 9) Fire-flow shall meet the requirements of the International Fire Code - 2006 edition - B105.1. (The minimum fire-flow requirements for one- and two-family dwellings having a fire-flow calculation area which does not exceed 3,600 square feet shall be 1,000 gallons per minutes for a duration of 2 hours.)
  - 10) Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro Right of Way is 15" CMP).
  - 11) Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any Stormwater facilities within the property.
  - 12) Individual water and/or sanitary sewer services are required for each parcel.
  - 13) Solid waste pickup to be provided by the HOA.
  - 14) All development due to be completed in 3 phases.
  - 15) The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures)
  - 16) The developer's Final Construction Drawings shall comply with the design regulations established by the Department of Public Works. Final Design may vary based on field conditions.
  - 17) Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers or egress windows.
  - 18) EIFS, vinyl siding, and untreated wood shall be prohibited.
  - 19) A raised foundation of 18" - 36" is required for all residential structures.
  - 20) Building facades fronting a street or open space shall provide a minimum of one principle entrance (doorway) and a minimum of 25% glazing

**Site Info**  
Councilmatic District: 4  
Proposed Zoning: SP  
Councilperson: Robert Swope  
Tax Map 181 Parcel 92: 2.7 Acres - Zoned AR2A  
Tax Map 181 Parcel 94: 36.26 Acres - Zoned AR2A  
Total Acreage - 38.96 Acres

**Bulk Regulations**  
Proposed Land Use: Multifamily Residential  
Setbacks:  
Front: 40' From ROW (Holt & Nolensville Rd.)  
20' from ROW (all internal roads)  
Side: 0' for attached Villa Units  
Rear: 20'  
Maximum Height at Setback: Limited to 2 stories reaching 35 feet, to the roofline.  
Total Units: 125  
Lot Dimensions: 28.2' Wide x 121.4' Deep (2,3,4, & 5 Attached Units per Building Typical)  
Parking Required: 250 (2 per Lot)  
Parking Provided: 500 (2 per Lot + 2-Car Garage Each Unit)  
Density: 3.44 Units/Acre  
Visitor Spaces: 36

**General Plan Consistency**  
The subject property is contained within Subarea 13: Southeast Community Structure Plan. The Structure Plan presents the land use policy for the community. It provides parcel-specific information about the type of development envisioned on the property. All boundaries of the Structure Plan areas are intended to be definitive lines that are subject to being modified only by amendment. These boundaries consist mainly of lot and property lines, centerlines of public and railroad right of-way, steep slope areas, or other easily identifiable features.

The Community Plan containing the subject property indicates that the area falls within the T3 Suburban Land Use Policy. The design standards for this land use policies can be found in the Metro Nashville Community Character Manual

**Traffic Study Conclusions**

The analyses presented in this study indicate that the following infrastructure improvements should be provided in order to accommodate the traffic generate by the proposed project:

1. The analyses conducted for the purposes of this study indicate that the intersection of Holt Road and the project access will operate acceptably during the peak hours even if the project access includes only one exiting lane. However, in order to facilitate safe and efficient turning movement operations at this location, the project access should be constructed to include one southbound entering lane and two northbound exiting lanes, striped as separate left and right turn lanes.
2. The analyses conducted for the purposes of this study indicate that the intersection of Holt Road and the project access will operate acceptably during the peak hours even if dedicated turn lanes are not provided on Holt Road. Also, the analyses also indicate that the eastbound vehicle queue on Holt Road will not extend beyond the project access during the peak hours. However, in order to facilitate safe and efficient turning movement operations at this location, a westbound left turn lane and an eastbound right turn lane should be provided on Holt Road at the project access. Each of these turn lanes should include at least 100 feet of storage and should be designed and constructed according to AASHTO standards. It is important to note that these turn lanes can be provided without impacting the right-of-way acquisition or roadway construction that TDOT plans for Nolensville Road and the easternmost portion of Holt Road.
3. The project access on Nolensville Road should be constructed directly opposite Lenox Creekside Drive and should include one entering lane and two exiting lanes, striped as a separate left turn lane and a shared through/right turn lane.
4. In conjunction with the preparation of final construction documents for the project, sight triangles should be provided to identify the sight distance which will be available at the new access on Holt Road, based on the specific location of the project access and its design parameters. These sight triangles were developed based on guidelines that are included in A Policy on Geometric Design of Highways and Streets, which is published by the American Association of State Highway and Transportation Officials (AASHTO) and commonly known as The Green Book. Specifically, The Green Book indicates that for a speed of 40 mph, the minimum stopping sight distance is 305 feet. This is the distance that a motorist on Holt Road will need to come to a stop if a vehicle turning from the project creates a conflict.
5. Adequate right-of-way should be provided on Nolensville Road and Holt Road, along the frontage of the project site, to accommodate TDOT's widening and improvement plans. Currently, there are no sidewalks on Nolensville Road or Holt Road within the study area. However, when TDOT widens Nolensville Road to a five-lane cross-section, sidewalks will be provided on this corridor. No bicycle lanes or paths are provided within the study, and none are planned. Also, the Nashville MTA does not offer bus service on Nolensville Road, south of Old Hickory Boulevard.
7. Developer shall provide cross access easement to Parcels 91 and 276 to allow future development connection to subdivision roads.
8. Developer shall construct a 3 lane cross-section along Holt Rd frontage and modify signal as necessary if TDOT roadway improvements have not been constructed prior to development of Phase 2 or Phase 3.

Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area
2	0.12 5113.5	45	0.09 3979.3	87	0.09 3979.3
3	0.12 5107.0	46	0.08 3407.6	88	0.09 4004.5
4	0.11 4974.7	47	0.08 3277.1	89	0.08 3273.3
5	0.13 5511.3	48	0.09 3982.0	90	0.15 6322.3
6	0.08 3276.2	49	0.09 3952.1	91	0.14 5903.3
7	0.09 3982.1	50	0.08 3401.4	92	0.08 3610.3
8	0.09 4013.5	51	0.08 3271.2	93	0.08 3302.3
9	0.09 3948.5	52	0.09 3974.7	94	0.08 3311.3
10	0.10 4376.6	53	0.09 4090.9	95	0.09 4003.9
11	0.10 4310.7	54	0.08 3354.8	96	0.09 4011.3
12	0.10 4369.9	55	0.09 4081.6	97	0.08 3416.9
13	0.08 3569.9	56	0.09 4103.1	98	0.08 3287.1
14	0.12 5346.0	57	0.15 6672.0	99	0.08 3300.9
15	0.12 5404.3	58	0.10 4199.2	100	0.09 3953.1
16	0.13 5612.4	59	0.08 3279.0	101	0.09 3960.0
17	0.13 5621.6	60	0.07 3263.3	102	0.08 3407.3
19	0.13 5664.2	61	0.08 3391.9	103	0.08 3276.3
20	0.08 3269.3	62	0.09 4080.4	104	0.08 3290.0
21	0.09 3976.1	63	0.10 4521.2	105	0.10 4431.7
22	0.09 3936.6	64	0.08 3278.9	106	0.09 3992.4
23	0.08 3402.5	65	0.07 3263.2	107	0.08 3434.6
24	0.08 3274.7	66	0.08 3391.7	108	0.08 3302.6
25	0.09 3982.1	67	0.11 4912.5	109	0.09 4012.4
26	0.09 3960.3	68	0.11 4895.1	110	0.09 3952.4
27	0.08 3407.8	69	0.08 3276.0	111	0.08 3402.4
28	0.08 3280.2	70	0.07 3260.4	112	0.08 3273.2
29	0.11 4745.1	71	0.08 3388.7	113	0.09 3978.8
30	0.11 4864.1	72	0.10 4524.7	114	0.09 3952.6
31	0.08 3416.2	73	0.10 4197.4	115	0.08 3402.0
32	0.08 3288.2	74	0.08 3276.9	116	0.08 3273.2
33	0.09 3999.0	75	0.07 3261.5	117	0.12 5378.8
34	0.09 3962.0	76	0.08 3389.4	118	0.09 4040.0
35	0.08 3411.0	77	0.10 4170.6	119	0.08 3397.6
36	0.08 3312.6	78	0.10 4389.8	120	0.08 3269.5
37	0.11 4579.7	79	0.08 3402.6	121	0.09 3975.3
38	0.09 4083.4	80	0.08 3273.7	122	0.09 3949.3
39	0.08 3522.1	81	0.08 3289.5	123	0.08 3400.4
40	0.08 3356.7	82	0.09 3979.6	124	0.08 3272.2
41	0.10 4240.8	83	0.09 3952.7	125	0.11 4775.4
42	0.10 4200.5	84	0.08 3402.6		
43	0.08 3282.9	85	0.08 3273.8		
44	0.09 3969.2	86	0.08 3289.5		



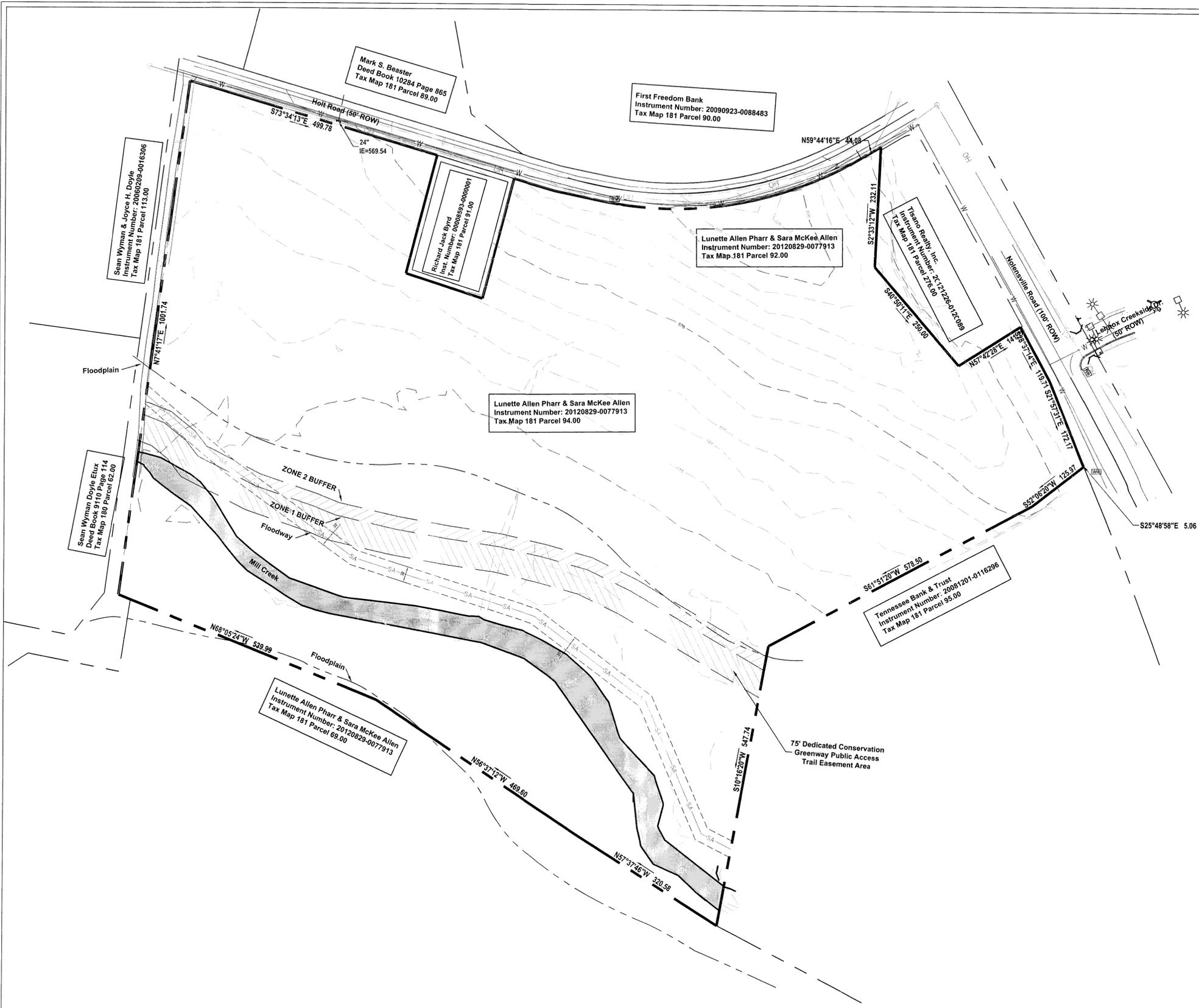
LAND SOLUTIONS  
COMPANY, LLC  
2925 Berry Hill Drive, Nashville, TN 37204

# Preliminary Specific Plan for Williams Mill Nashville, Tennessee

ISSUANCE/REVISION NOTES:  
- PLAN DATE: June 24, 2016

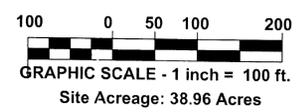
- A NONE
- B NONE
- C NONE
- D NONE

Existing  
Conditions  
**C1.0**



**Notes**

1. This survey based on N.A.D 1983
2. Survey data based on topographic survey provided by Clint Elliot Surveying on April 5, 2016



**Floodnote**  
A Portion of this Property is Located Within a Flood Hazard Area, Zone A, as depicted on FEMA Map Number 47037C0203F. Dated: Unpublished

**Benchmark**  
Hydrant Tag Bolt  
N:611559.80  
E:1760867.69  
Elevation: 562.02





LAND SOLUTIONS COMPANY, LLC

2925 Berry Hill Drive, Nashville, TN 37204

Preliminary Specific Plan for Williams Mill Nashville, Tennessee

ISSUANCE/REVISION NOTES

- Legend for issuance and revision notes: A, B, C, D

Layout Plan C2.0

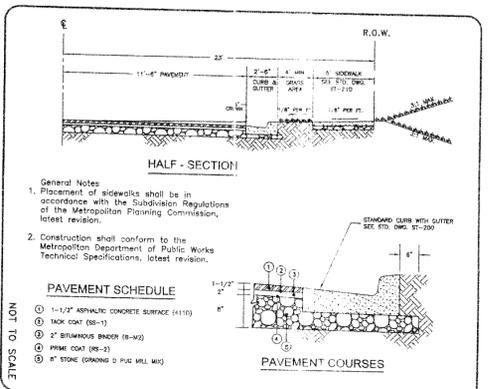
PHASE PLAN table with 3 columns: PHASE, UNITS, and other details.

- Standard SP Notes: 1) The purpose of this SP is to receive preliminary approval... 2) All roads in this development will be public... 3) All units are to be sold fee-simple... 4) Right-of-way dedication shall be completed prior to building permit issuance... 5) Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services... 6) This Property lies within a Flood Hazard Area as identified by FEMA on Map 47037C0364F. Dated: Unpublished... 7) All public sidewalks are to be constructed in conformance with Metro Public Works Sidewalk Design Standards... 8) Wheel chair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings... 9) Fire-flow shall meet the requirements of the International Fire Code - 2006 edition - B105.1. (The minimum fire-flow requirements for one- and two-family dwellings having a fire-flow calculation area which does not exceed 3,600 square feet shall be 1,000 gallons per minutes for a duration of 2 hours.)... 10) Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro Right of Way is 15" CMP)... 11) Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any Stormwater facilities within the property... 12) Individual water and/or sanitary sewer services are required for each parcel... 13) Solid waste pickup to be provided by the HOA... 14) All development due to be completed in 3 phases... 15) The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures)... 16) The developer's Final Construction Drawings shall copy with the design regulations established by the Department of Public Works. Final Design may vary based on field conditions... 17) Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers or egress windows... 18) EIFS, vinyl siding, and untreated wood shall be prohibited... 19) A raised foundation of 18" - 36" is required for all residential structures... 20) Building facades fronting a street or open space shall provide a minimum of one principle entrance (doorway) and a minimum of 25% glazing.

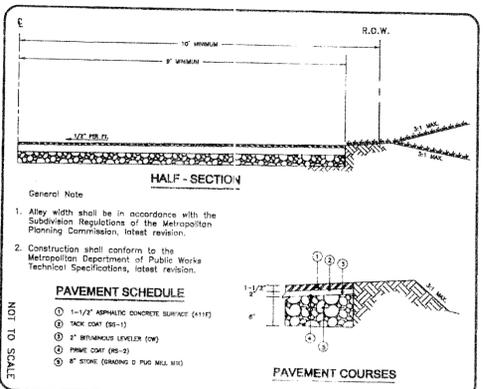
Floodnote: A Portion of this Property is Located Within a Flood Hazard Area, Zone A, as depicted on FEMA Map Number 47037C0203F. Dated: Unpublished

Benchmark Hydrant Tag Bolt N:611559.80 E:1760867.69 Elevation: 562.02

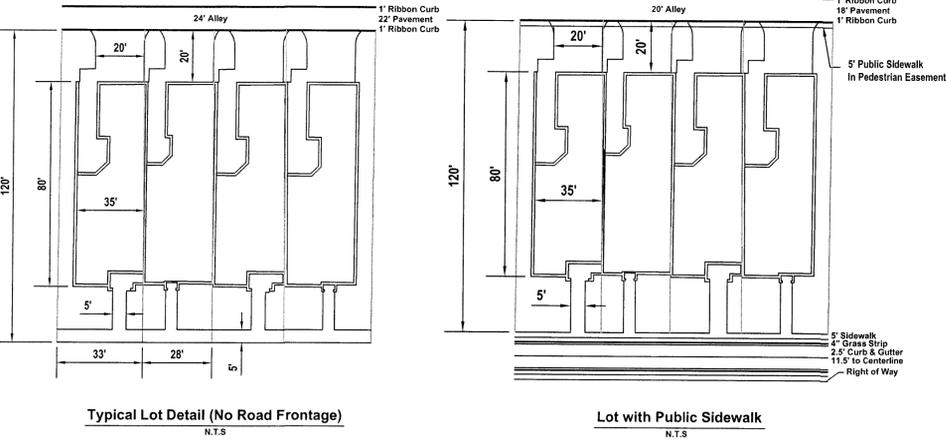
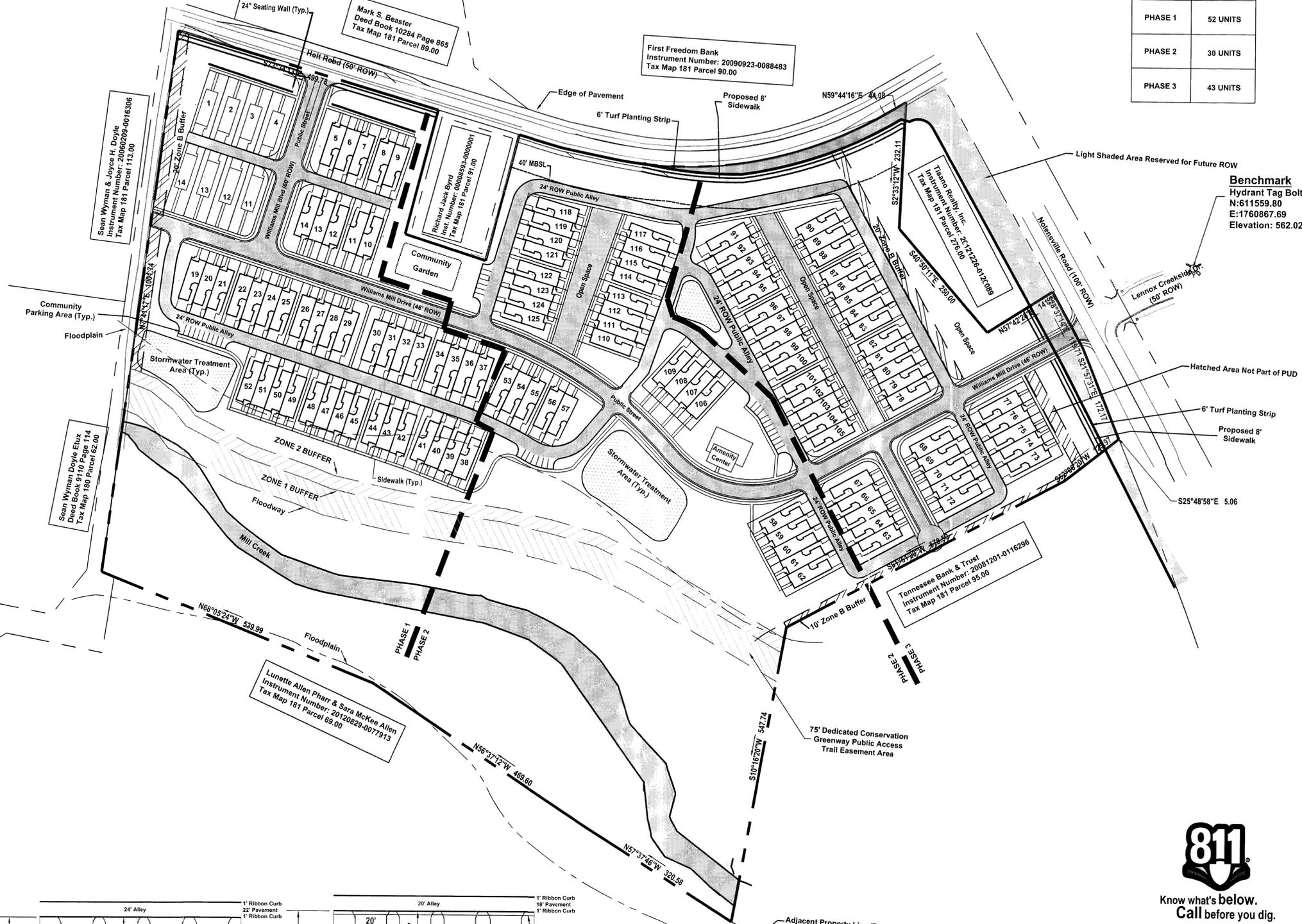
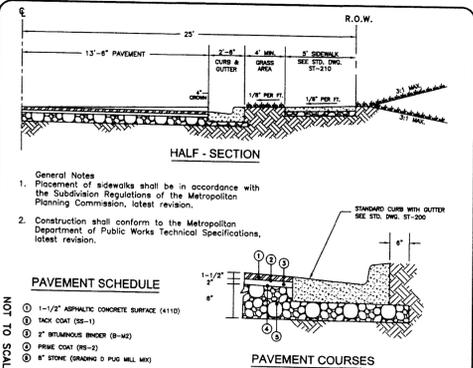
RESIDENTIAL - LOW DENSITY (R-1) LOCAL STREET (60' R.O.W.)



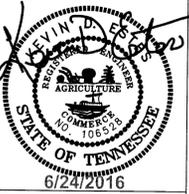
RESIDENTIAL - MEDIUM DENSITY (R-2) LOCAL STREET (60' R.O.W.)



RESIDENTIAL - MEDIUM DENSITY (R-2) LOCAL STREET (60' R.O.W.)







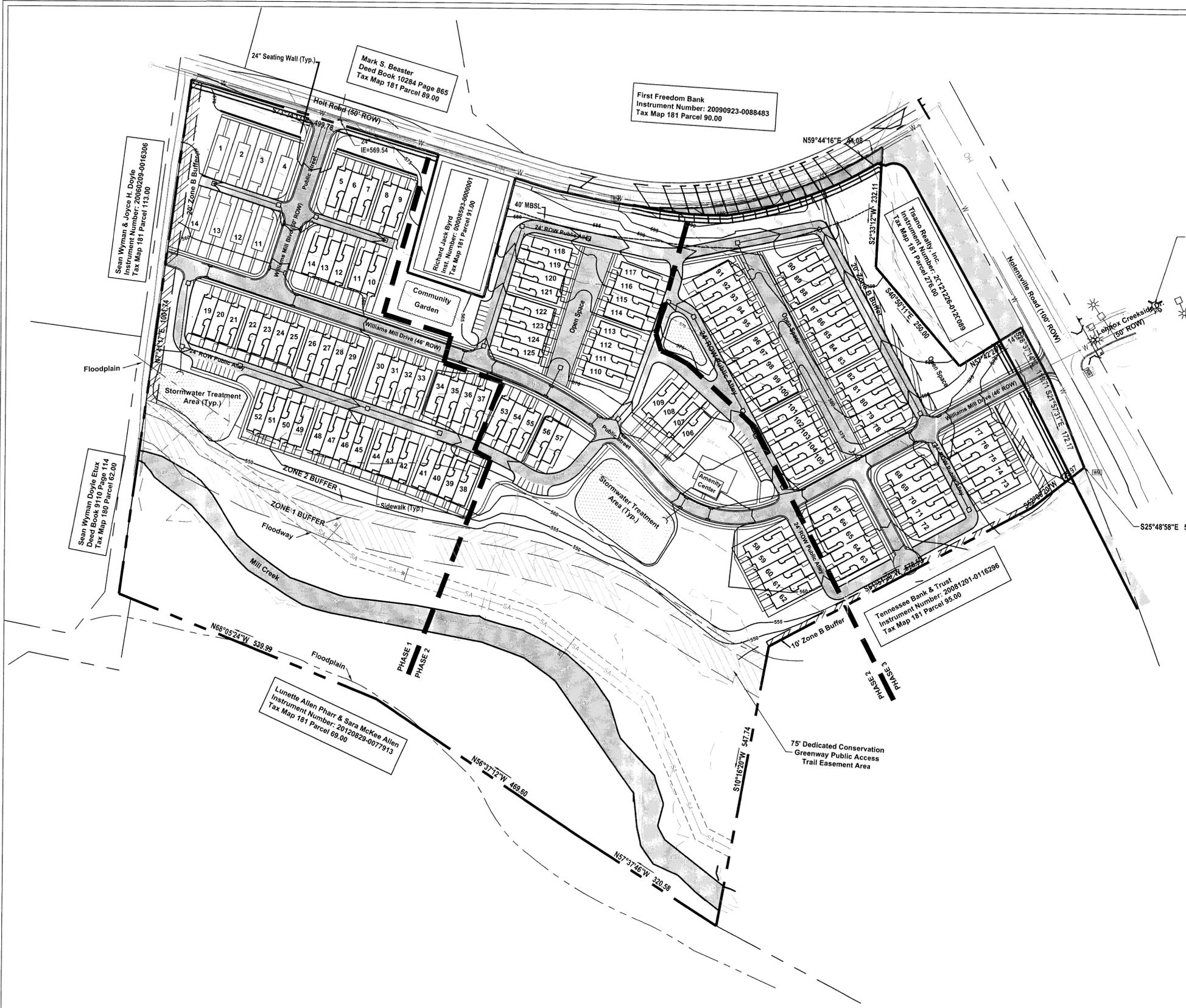
LAND SOLUTIONS  
COMPANY, LLC  
2925 Berry Hill Drive, Nashville, TN 37204

# Preliminary Specific Plan FOR Williams Mill Nashville, Tennessee

ISSUANCE/REVISION NOTES:  
- PLAN DATED June 24, 2016

- A NONE
- B NONE
- C NONE
- D NONE

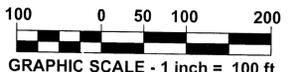
Grading and Storm  
**C4.0**



**Benchmark**  
Hydrant Tag Bolt  
N: 611559.80  
E: 1760867.69  
Elevation: 562.02

**Notes**

- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.



**Floodnote**  
A Portion of this Property is Located Within a Flood Hazard Area, Zone A, as depicted on FEMA Map Number 47037C0203F. Dated: Unpublished

**Benchmark**  
Hydrant Tag Bolt  
N: 611559.80  
E: 1760867.69  
Elevation: 562.02





**GDC**  
**GAMBLE**  
 DESIGN COLLABORATIVE  
 DEVELOPMENT PLANNING AND  
 LANDSCAPE ARCHITECTURE  
 144 SOUTH EAST PARKWAY  
 SUITE 200  
 FRANKLIN, TENNESSEE 37064  
 GREG GAMBLE  
 greggamble2019@gmail.com  
 615.975.5765

**Site Plan**  
 FOR  
**Williams Mill**  
 Nashville, Tennessee

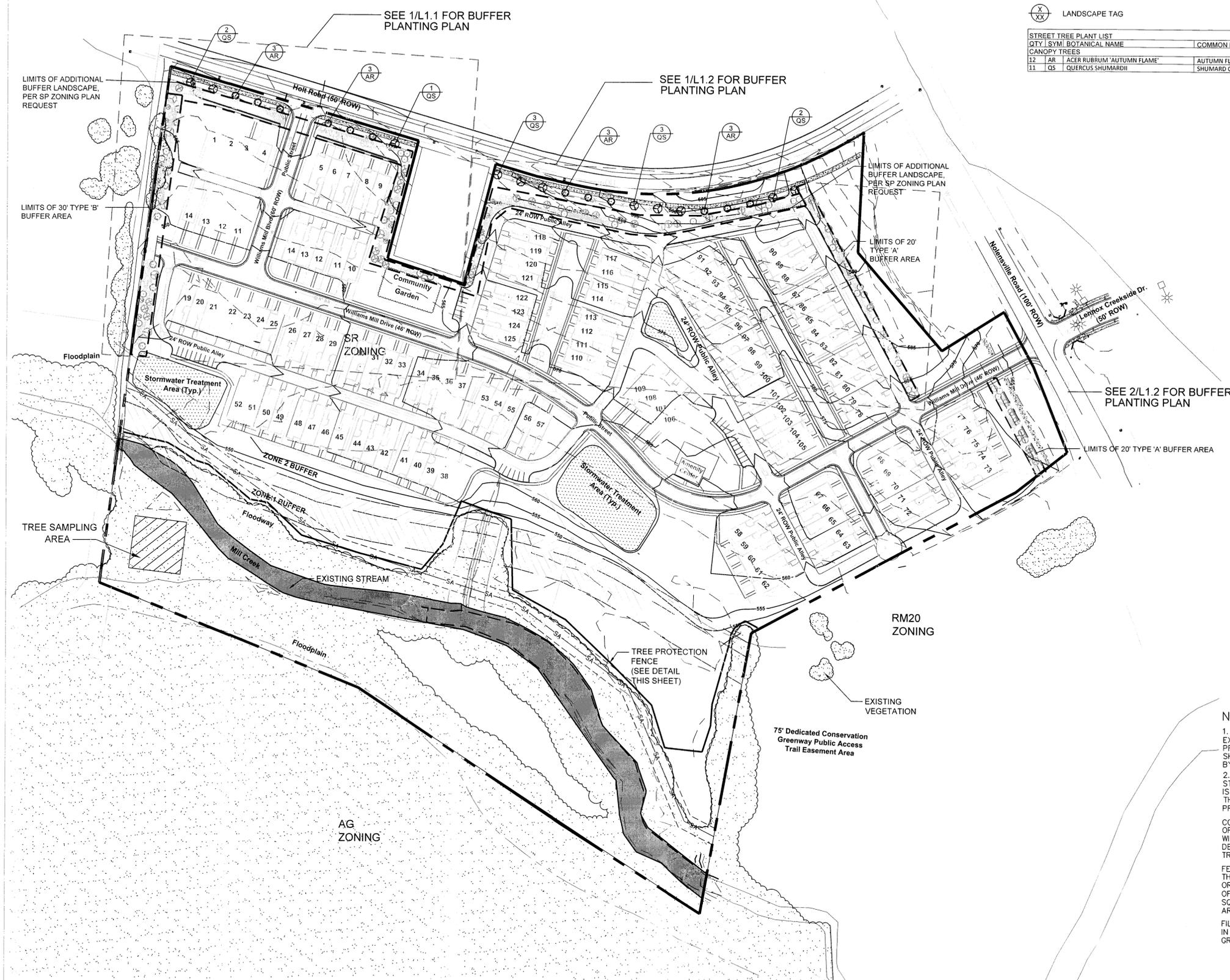
**ISSUANCE/REVISION NOTES:**  
 - PLAN DATE: June 16, 2016

A	NONE
B	NONE
C	NONE
D	NONE

Landscape Plan  
**L1.0**

(X) LANDSCAPE TAG

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
12	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL. B/B	12'-14'	DECIDUOUS	145' O.C.	FULL BRANCHING, CENTRAL LEADER
11	QS	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL. B/B	12'-14'	DECIDUOUS	145' O.C.	FULL BRANCHING, CENTRAL LEADER



**EXISTING VEGETATION**

EXISTING TREE MASSES ARE SHOWN BASED ON AN AERIAL PHOTOGRAPH OF THE SITE. THE SOUTHERN AREA OF THE SITE WILL REMAIN TREE PRESERVATION AS INDICATED. THIS AREA EQUATES TO APPROXIMATELY 334,744 SQUARE FEET OR 7.68 ACRES. DURING A SITE VISIT A 100' X 100' SQUARE WAS FLAGGED AND AN INVENTORY OF THE TREES WAS PERFORMED. UTILIZING THE PROTECTED TREE TREE SCHEDULE OF THE METRO ZONING ORDINANCE (SECTION 17.24.100) THERE 32.1 UNITS WITHIN THE 10,000 SQUARE FEET SAMPLED WHICH WOULD EQUATE TO 1,074.5 UNITS OF PROTECTED TREES IN THIS MASS. TREES FOUND WERE TYPICAL OF A FLOODPLAIN ENVIRONMENT IN THE MIDDLE TENNESSEE AREA AND INCLUDED ASH, ELM, CEDAR, HACKBERRY AND SYCAMORE. MOST TREES WERE WITHIN THE 6-10 INCH RANGE WITH SOME SYCAMORES RANGING UPWARDS OF 20-24 INCHES.

**TREE DENSITY**

TOTAL SITE AREA AFTER ROW DEDICATION IS 34.92 ACRES; AT 14 UNITS/ACRE THE SITE REQUIRES 488.9 UNITS OF EITHER PROTECTED OR REPLACEMENT TREES. THIS IS MET BY PROTECTED TREES.

TOTAL REQUIRED UNITS PRESERVED	UNITS PER 10,000SF SAMPLE AREA	PRESERVATION AREA	ESTIMATED UNITS PRESERVED
488.9 UNITS	32.1 UNITS	334,744 SF	1,074.5 UNITS

**TREE PROTECTION**

THE AREA DESIGNATED ON THIS PLAN WILL BE PROTECTED BY TREE PROTECTION FENCING AS SHOWN ON THIS PLAN IN CONFORMANCE WITH THE DETAIL PROVIDED PRIOR TO ANY GRADING.

**BUFFER REQUIREMENTS**

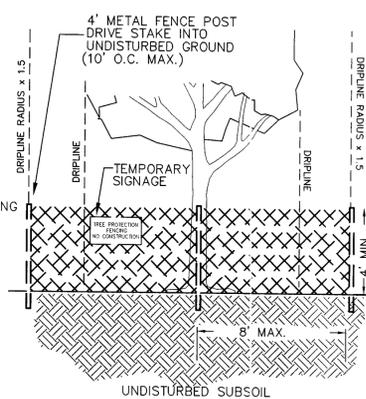
PROPOSED SITE IS IN THE SP ZONING DISTRICT WITH A DENSITY OF 3.15 PER ACRE. THIS TYPE ZONING IS MOST CONSISTANT WITH THE RM4 ZONING DISTRICT. THEREFORE:  
 1. NO BUFFER IS REQUIRED BETWEEN THE PROVIDING RM4 ZONE AND AN ABUTTING AG ZONE.  
 2. TYPE A BUFFER IS REQUIRED BETWEEN THE PROVIDING RM4 ZONE AND THE ABUTTING RM20 ZONE.

**TREE PROTECTION NOTES:**

- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc. shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.

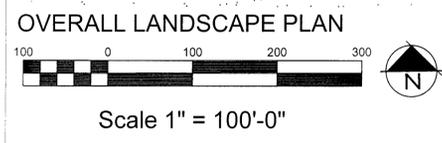
**NOTE:**

- ANY REQUIRED EXCAVATION WITHIN THE PROTECTION ZONE SHALL BE EXCAVATED BY HAND.
- NO STOCKPILING OR STORAGE OF MATERIALS IS PERMITTED WITHIN THE LIMITS OF THE PROTECTION AREA.
- CONTINUOUS BARRIER OF 4" HIGH CHAIN LINK FENCING WITH TEMPORARY SIGNAGE DELINEATING BOUNDARIES OF TREE PROTECTION FENCING
- FENCING TO ENCOMPASS THE CRITICAL ROOT ZONE OR 1.5 X THE DRIFLINE OF THE TREE. MIN. 10' SQUARE PROTECTED AREA REQUIRED
- FILLING MAY BE ALLOWED IN CERTAIN AREAS, SEE GRADING PLANS

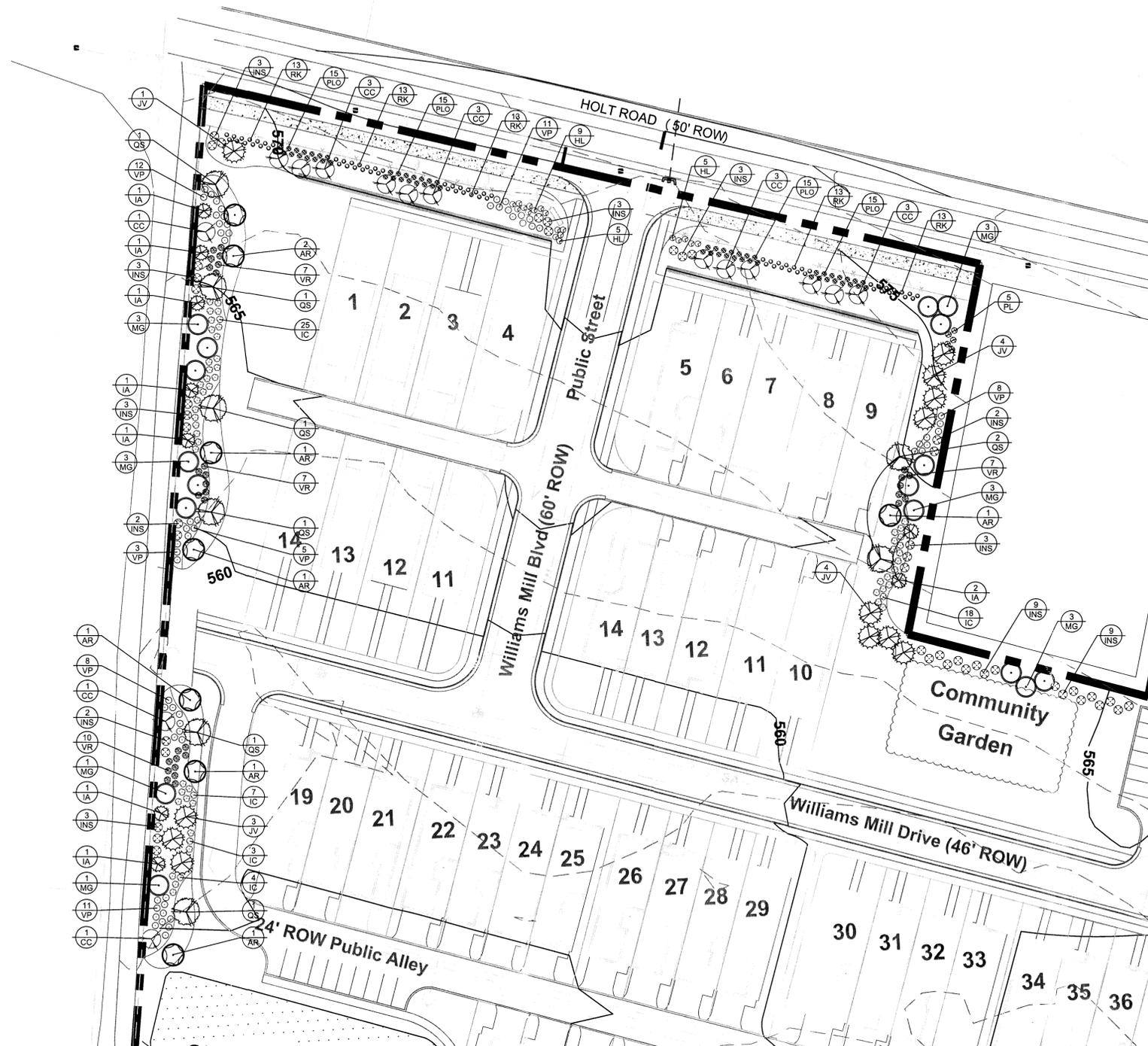


CONTRACTORS RESPONSIBILITY TO ACQUIRE TREE REMOVAL PERMITS

**TREE PROTECTION FENCING DETAIL (NASHVILLE)**



**OVERALL LANDSCAPE PLAN**



1 XX LANDSCAPE TAG

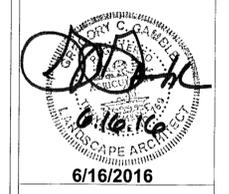
**TYPE B BUFFER YARD PLANT LIST**

QTY	SYMB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
<b>CANOPY TREES</b>								
7	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	FULL BRANCHING, CENTRAL LEADER
6	QS	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	FULL BRANCHING, CENTRAL LEADER
8	MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
7	IA	ILEX X ATTENUATA 'FOSTERI'	FOSTER HOLLY	2" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
3	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	3" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
<b>UNDERSTORY TREES</b>								
3	CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	1.5" CAL, B/B	6'-8'	DECIDUOUS	AS SHOWN	SINGLE TRUNK, BALANCED CANOPY
13	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL, B/B	6'-8'	EVERGREEN	AS SHOWN	FULL AND DENSE
<b>SHRUBS</b>								
39	VP	VIBURNUM 'PRAGENSE'	PRAGUE VIBURNUM	7 GAL	24"x30"	DECIDUOUS	AS SHOWN	
39	IC	ILEX CRENATA 'DWARF BURFORD'	DWARF BURFORD HOLLY	7 GAL	24"x30"	EVERGREEN	AS SHOWN	
24	VR	VIBURNUM RHYTIIDOPHYLLUM	LEATHERLEAF VIBURNUM	7 GAL	24"x30"	DECIDUOUS	AS SHOWN	

**ADDITIONAL BUFFER YARD PLANT LIST**

QTY	SYMB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
<b>CANOPY TREES</b>								
1	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	FULL BRANCHING, CENTRAL LEADER
2	IA	ILEX X ATTENUATA 'FOSTERI'	FOSTER HOLLY	2" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
9	MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
9	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	3" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL AND DENSE
2	QS	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	FULL BRANCHING, CENTRAL LEADER
<b>UNDERSTORY TREES</b>								
12	CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	1.5" CAL, B/B	6'-8'	DECIDUOUS	AS SHOWN	SINGLE TRUNK, BALANCED CANOPY
32	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL, B/B	6'-8'	EVERGREEN	AS SHOWN	FULL AND DENSE
<b>SHRUBS</b>								
18	IC	ILEX CRENATA 'DWARF BURFORD'	DWARF BURFORD HOLLY	7 GAL	24"x30"	EVERGREEN	AS SHOWN	
19	VP	VIBURNUM 'PRAGENSE'	PRAGUE VIBURNUM	7 GAL	24"x30"	DECIDUOUS	AS SHOWN	
7	VR	VIBURNUM RHYTIIDOPHYLLUM	LEATHERLEAF VIBURNUM	7 GAL	24"x30"	DECIDUOUS	AS SHOWN	
5	PL	PRUNUS LAUROCERASUS 'SCHIPPAENSIS'	SHIP LAUREL	5 GAL	24"x30"	EVERGREEN	48" OC	
19	HL	HYDRANGEA PANICULATA 'LIMELIGHT'	PANICLE HYDRANGEA	5 GAL	24"x30"	DECIDUOUS		
65	RK	ROSA RADTKO	DOUBLE KNOCKOUT ROSE	3 GAL	24"x24"	DECIDUOUS		
80	PLO	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	5 GAL	24"x24"	EVERGREEN		

1 HOLT ROAD AND 30' TYPE 'B' BUFFERS  
L1.1 PLAN  
DETAIL #  
1" = 40'-0"

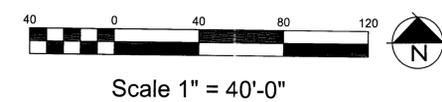


**GDC**  
GAMBLE  
DESIGN COLLABORATIVE  
DEVELOPMENT PLANNING AND  
LANDSCAPE ARCHITECTURE  
144 SOUTHEAST PARKWAY  
SUITE 200  
FRANKLIN, TENNESSEE 37064  
GREG GAMBLE  
greggamble209@gmail.com  
615.975.5765

Site Plan  
FOR  
Williams Mill  
Nashville, Tennessee

**ISSUANCE/REVISION NOTES**  
- PLAN DATE: June 16, 2016

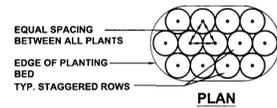
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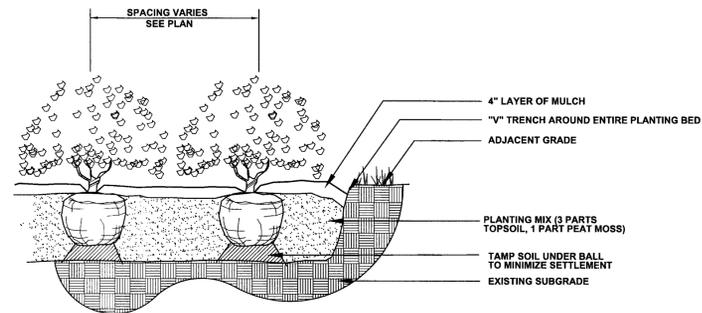
Buffer  
Landscape  
Plan  
L1.1

**LANDSCAPE PLANTING GENERAL NOTES**

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLODS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLODS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLODS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

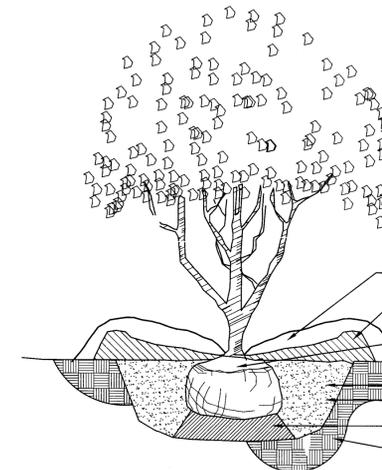


- GENERAL NOTES:**
1. Install top of plant ball 2" above adjacent grade.
  2. Tamp planting mix firmly as pit is filled around each plant ball.
  3. Soak each plant ball and pit immediately after installation.



**1 SHRUB PLANTING**  
L1.2 PLAN/SECTION

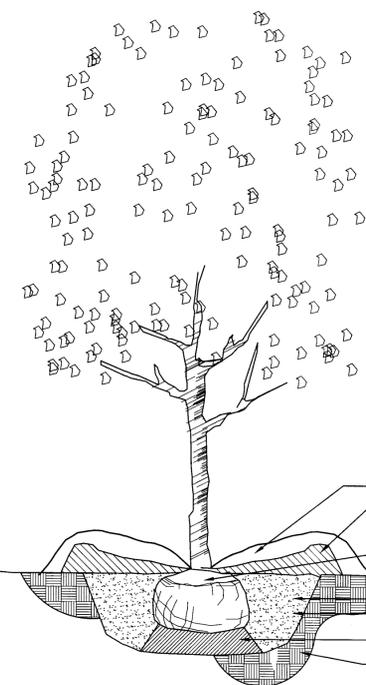
DETAIL #  
NTS



- GENERAL NOTES:**
1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
  2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
  3. Install top of plant ball even with or 1" above existing grade.
  4. Set tree in vertical position prior to staking.
  5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.

**2 UNDERSTORY TREE**  
L1.2 SECTION

DETAIL #  
NTS



- GENERAL NOTES:**
1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
  2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
  3. Install top of plant ball even with or 1" above existing grade.
  4. Set tree in vertical position prior to staking.
  5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.

**3 SINGLE TRUNK DECIDUOUS TREE**  
L1.2 SECTION

DETAIL #  
NTS



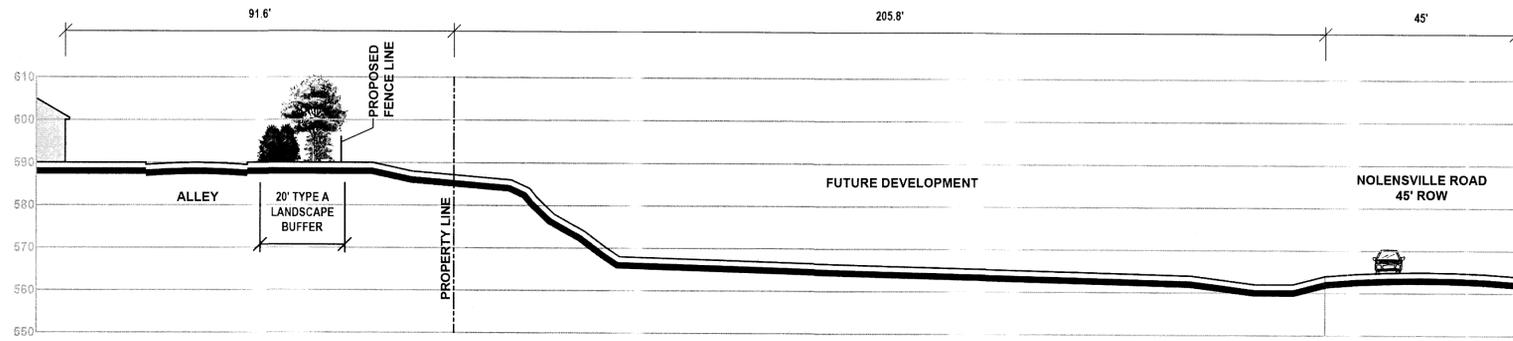
**GDC**  
**GAMBLE**  
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Site Plan  
FOR  
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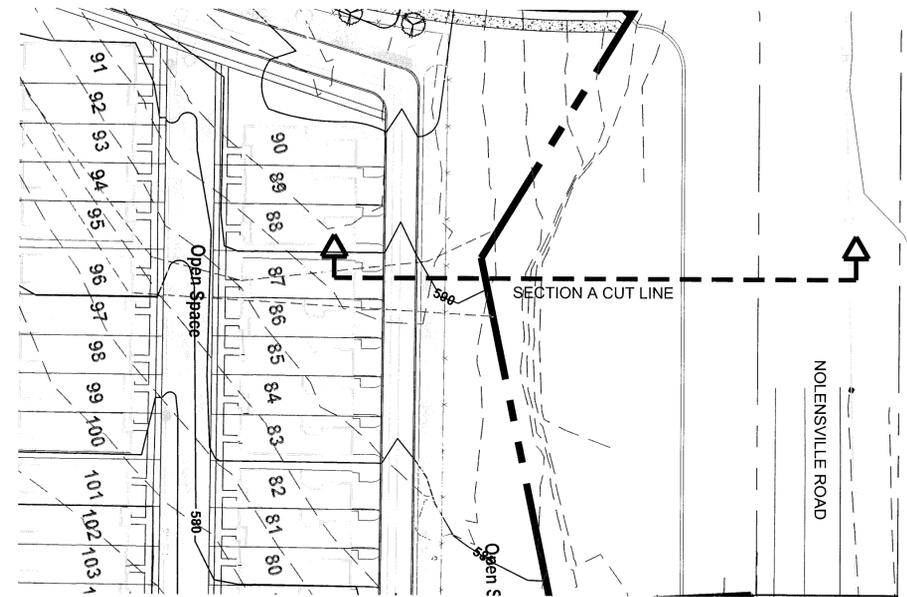
**ISSUANCE/REVISION NOTES:**  
- PLAN DATE: June 16, 2016

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B	NONE
C	NONE
D	NONE

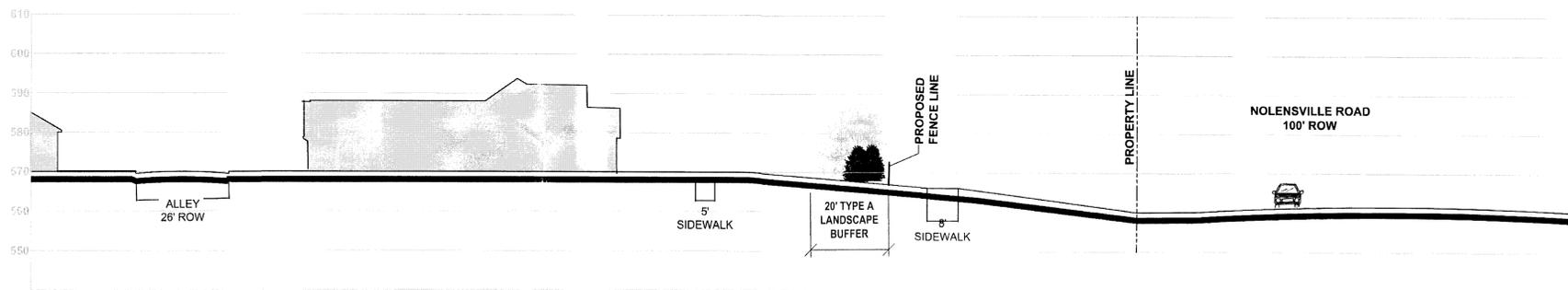
Landscape  
Notes and  
Details  
**L1.3**



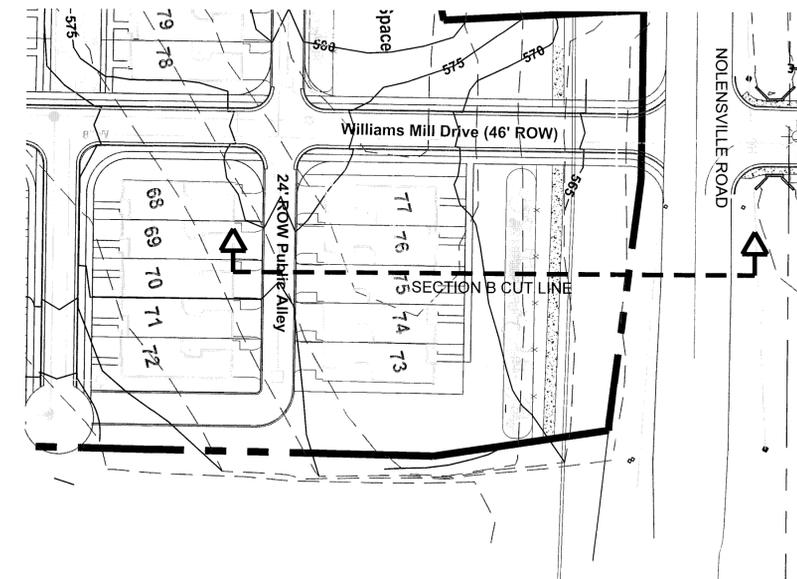
**1 SECTION A**  
L2.0 SECTION/ELEVATION  
DETAIL #1  
1" = 20'-0"



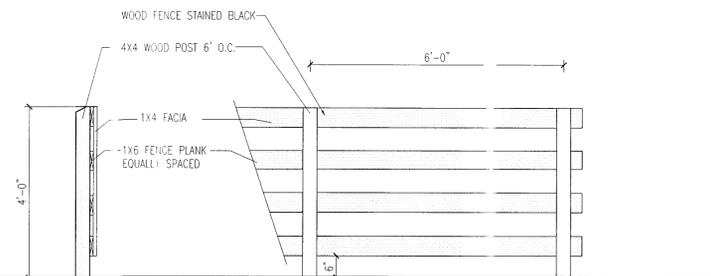
**2 SECTION A**  
L2.0 PLAN  
DETAIL #2  
1" = 60'-0"



**3 SECTION B**  
L2.0 SECTION/ELEVATION  
DETAIL #3  
1" = 20'-0"



**4 SECTION B**  
L2.0 PLAN  
DETAIL #4  
1" = 60'-0"



**5 FOUR RAIL FENCE**  
L2.0 SECTION/ELEVATION  
DETAIL #5  
1/2" = 1'-0"

6/16/2016

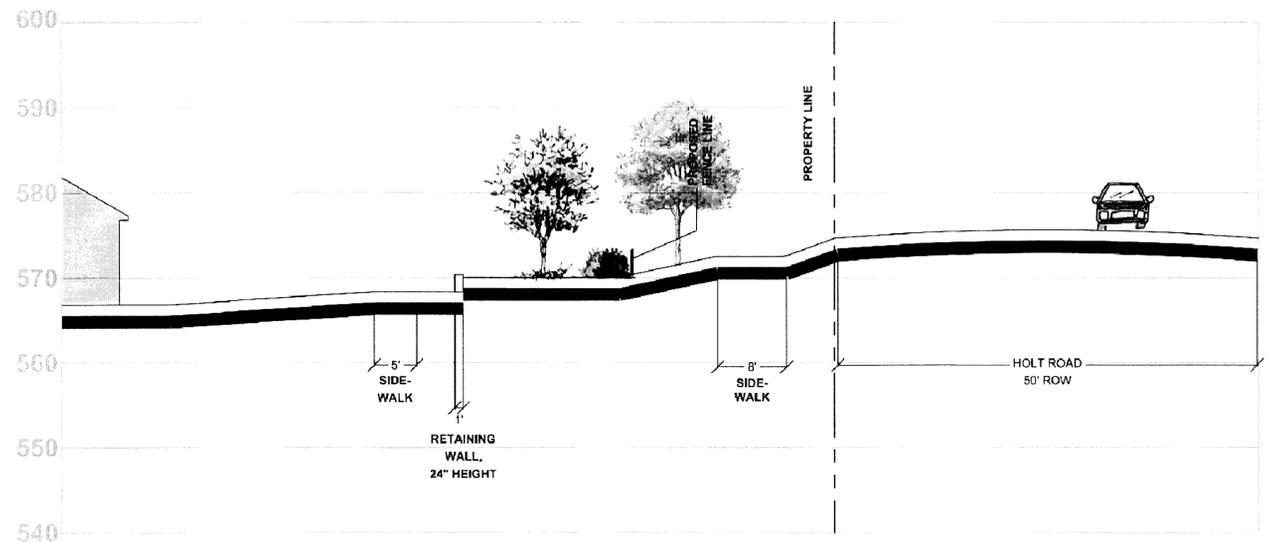
**GDC**  
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Site Plan  
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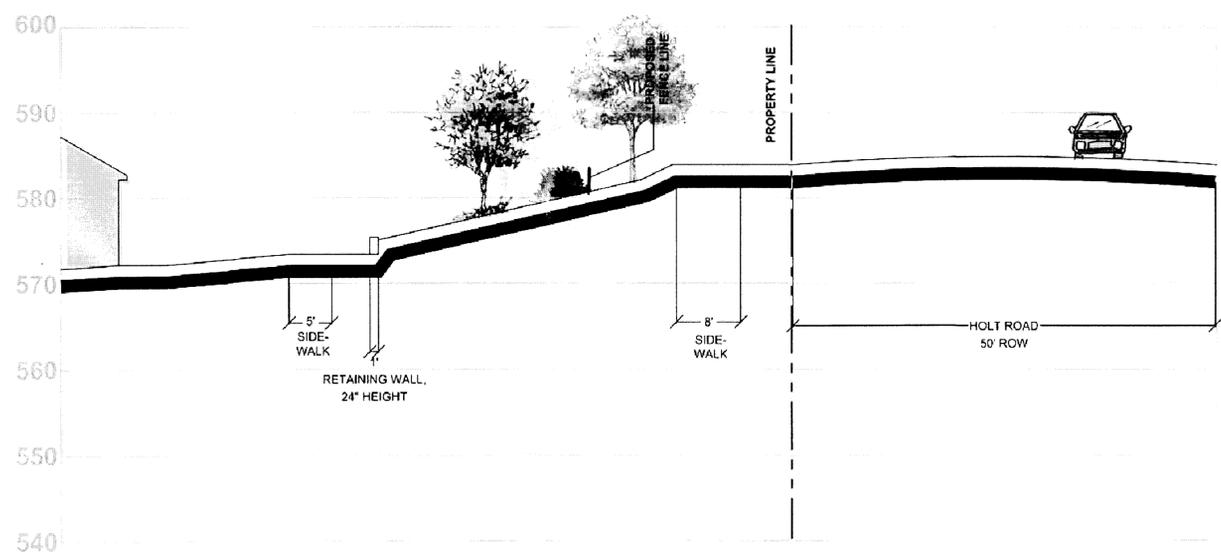
ISSUANCE/REVISION NOTES:  
- PLAN DATE: June 16, 2016

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D	NONE

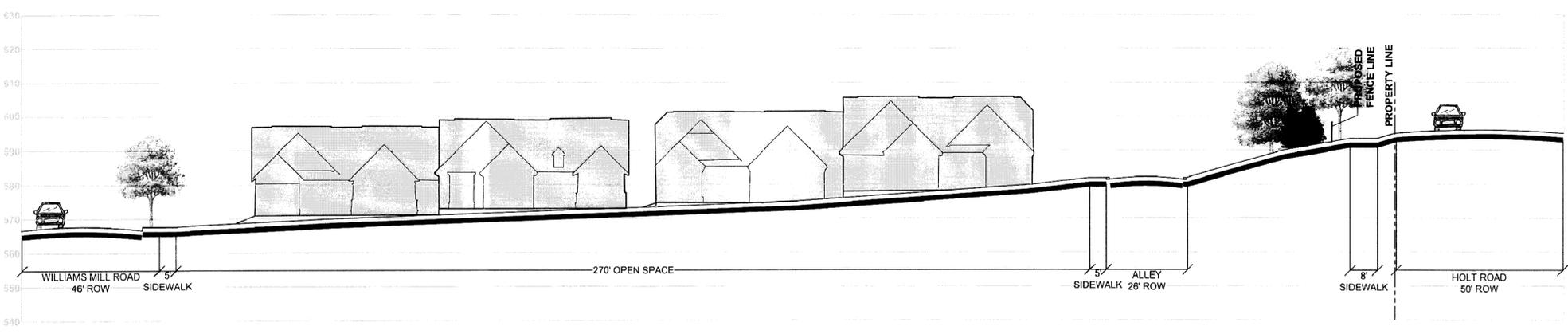
Nolensville  
Road  
Sections  
L2.0



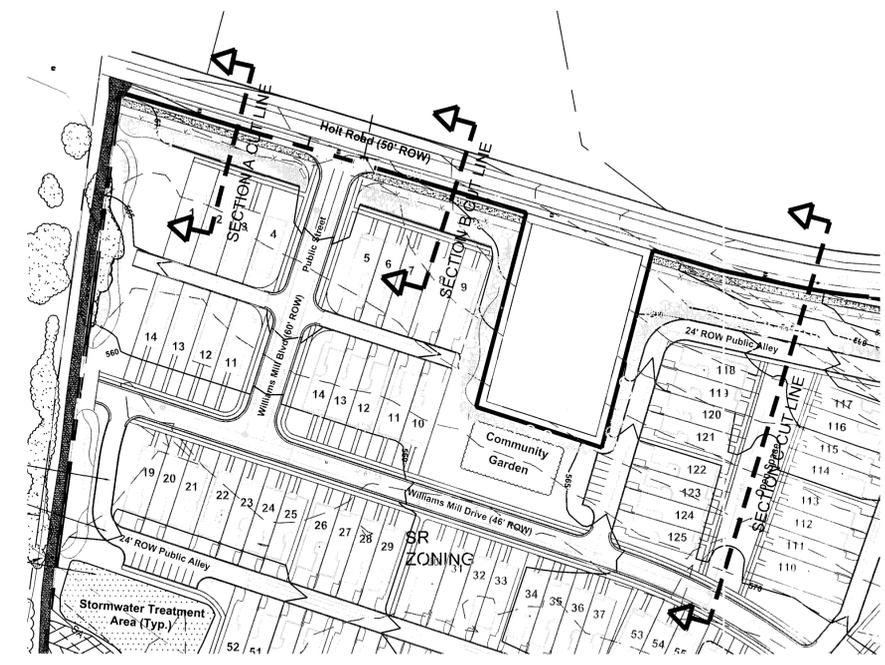
**1 SECTION A**  
 L2.1 SECTION/ELEVATION  
 DETAIL #1  
 1" = 10'-0"



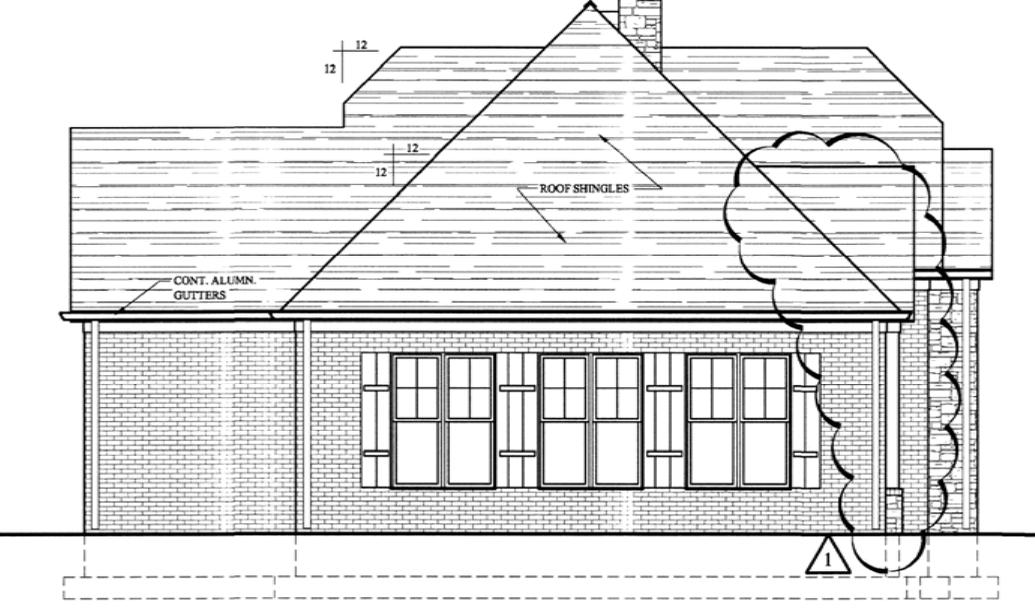
**2 SECTION B**  
 L2.1 SECTION/ELEVATION  
 DETAIL #3  
 1" = 10'-0"



**3 SECTION C**  
 L2.1 SECTION/ELEVATION  
 DETAIL #4  
 1" = 20'-0"



**4 SECTIONS A, B, C CUT LINE**  
 L2.1 PLAN  
 DETAIL #2  
 1" = 100'-0"



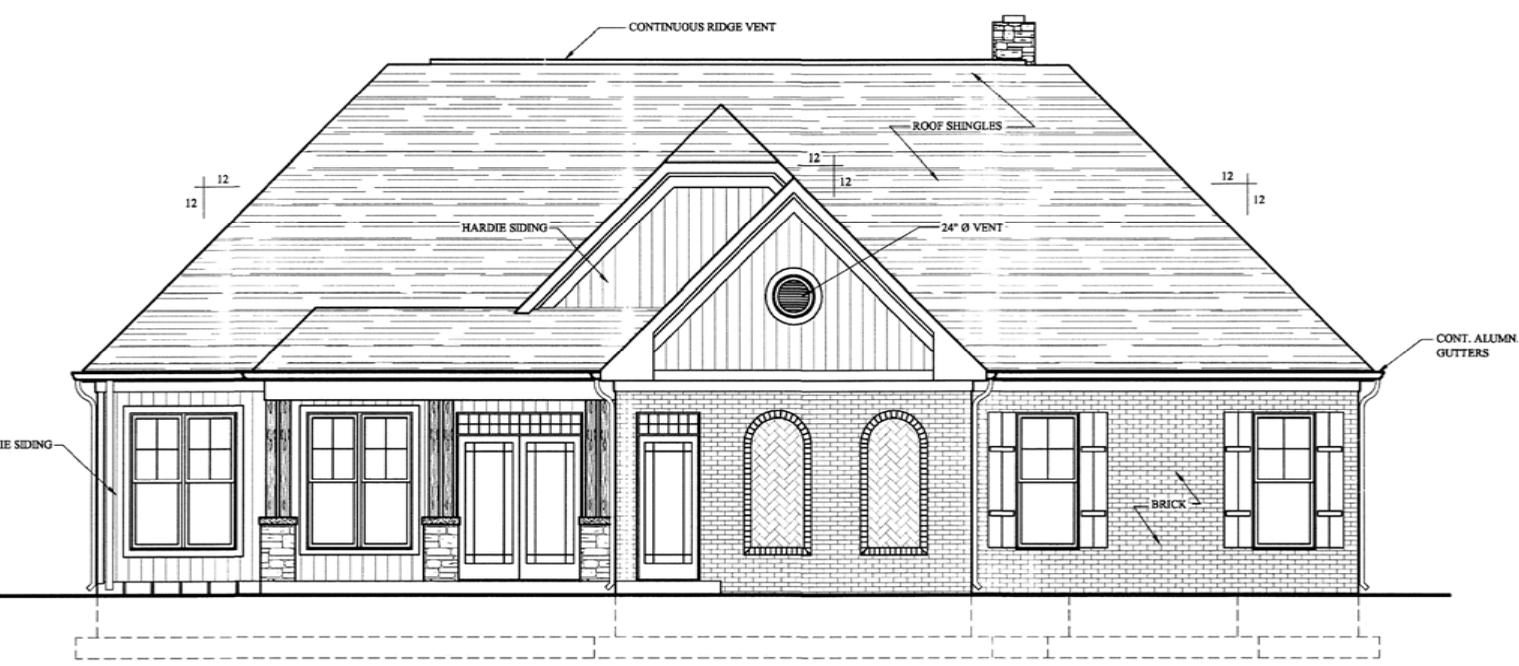
**LEFT END ELEVATION**

SCALE: 1/4"=1'-0"



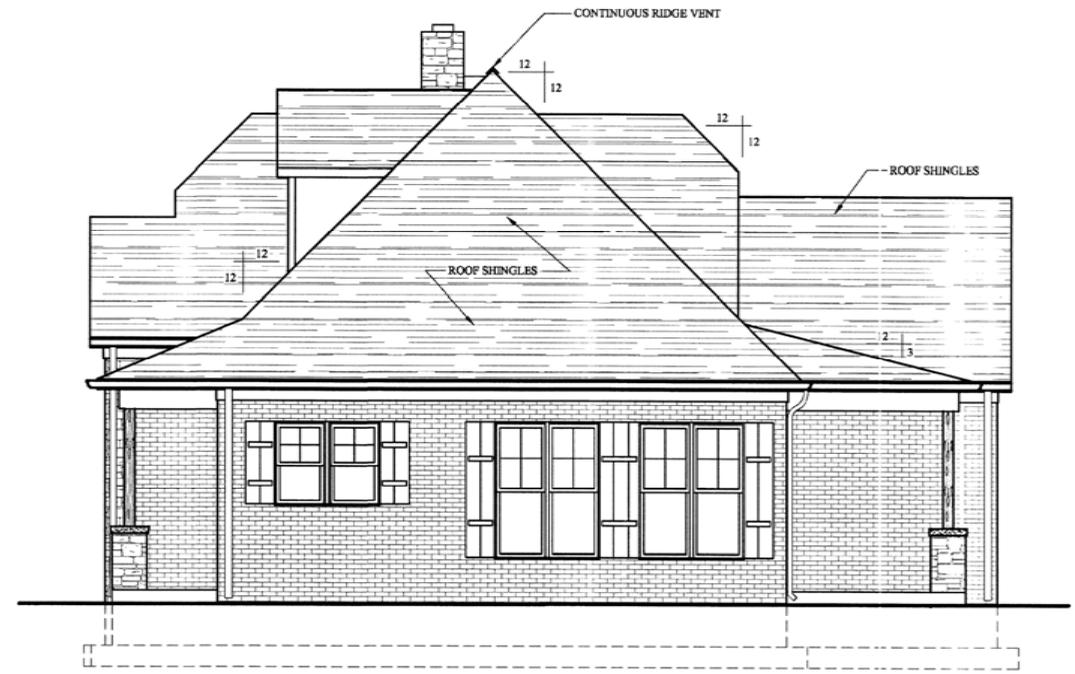
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



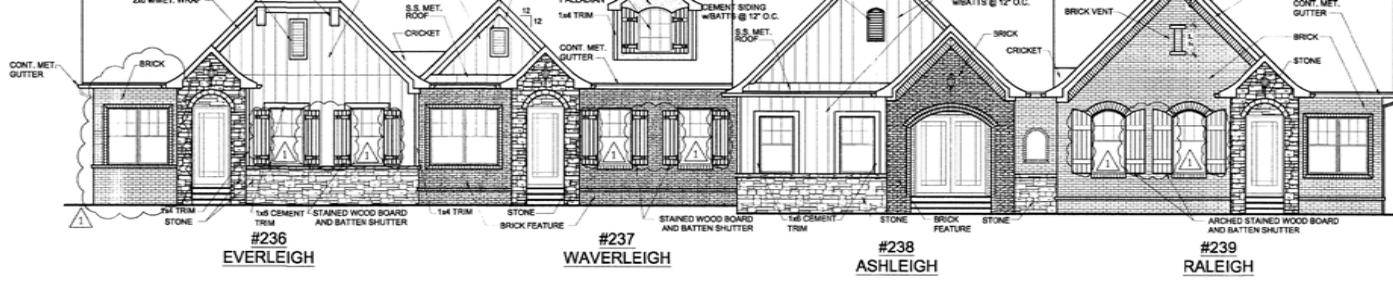
**REAR ELEVATION**

SCALE: 1/4"=1'-0"

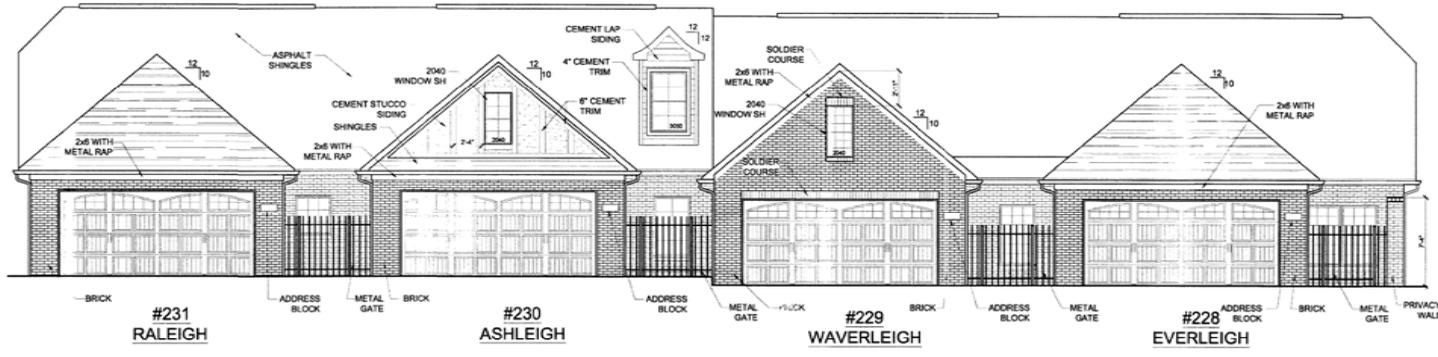


**RIGHT END ELEVATION**

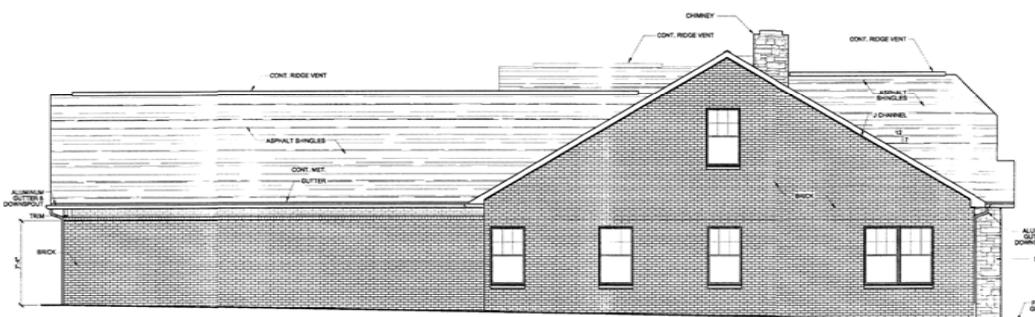
SCALE: 1/4"=1'-0"



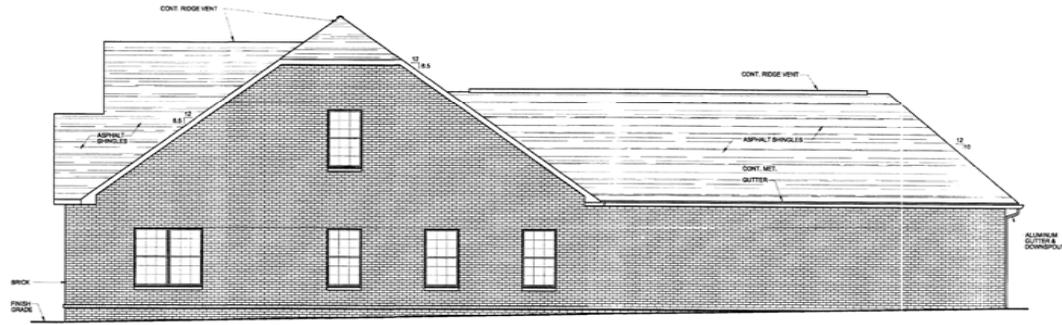
**FRONT ELEVATION**



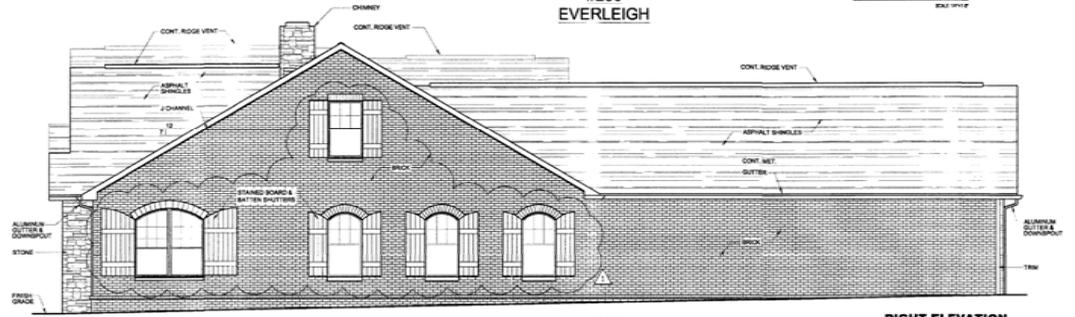
**REAR ELEVATION**



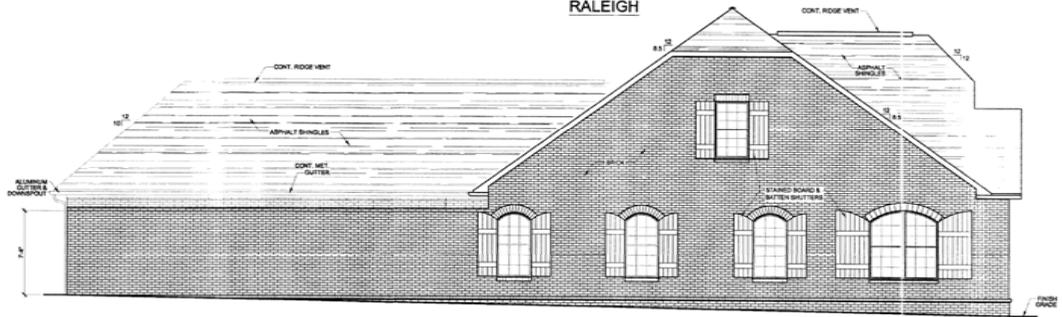
**#236 EVERLEIGH LEFT ELEVATION**



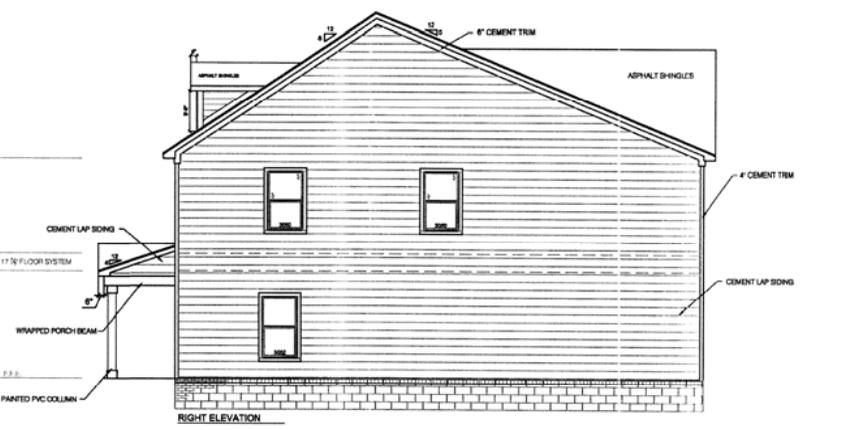
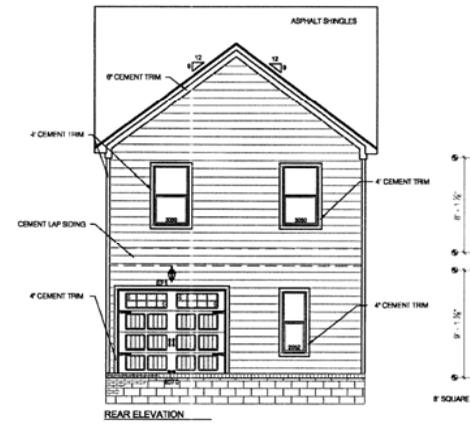
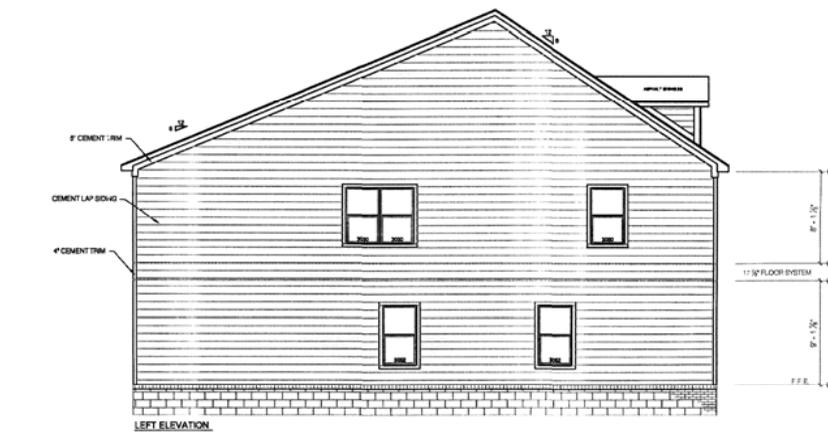
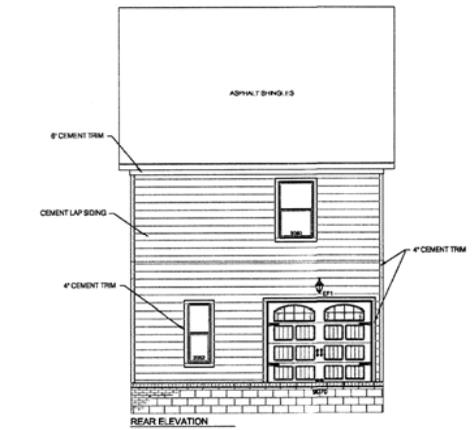
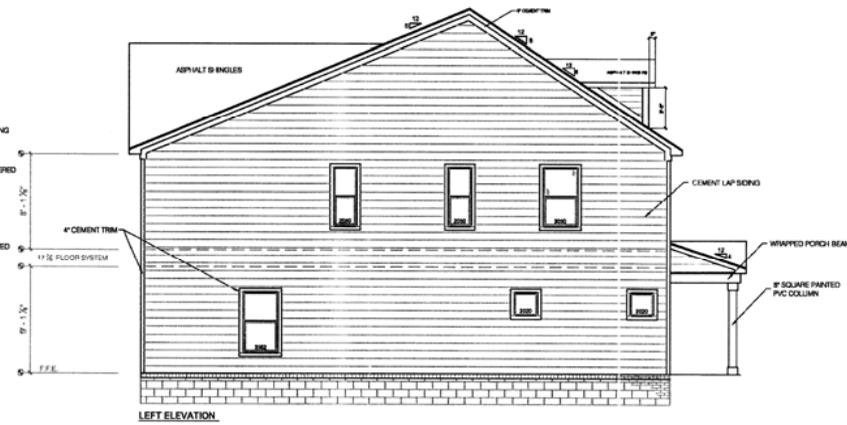
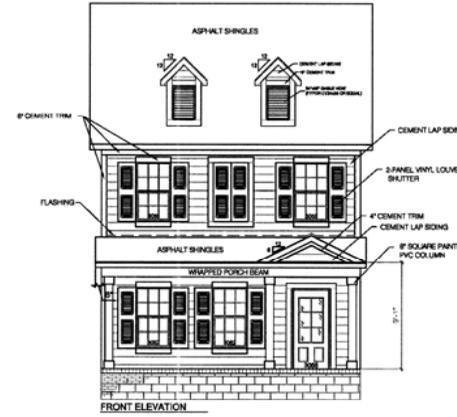
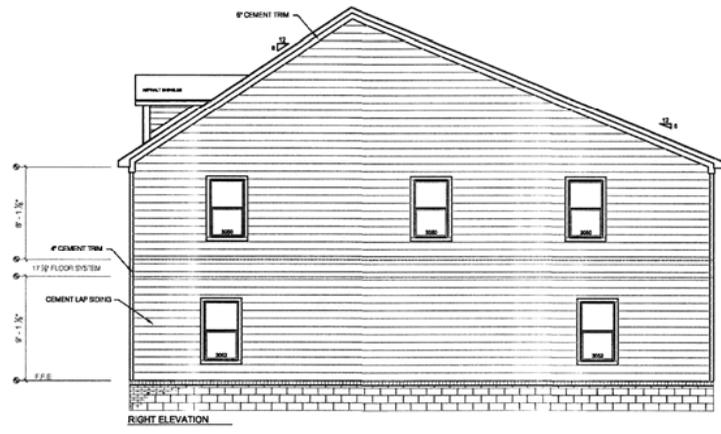
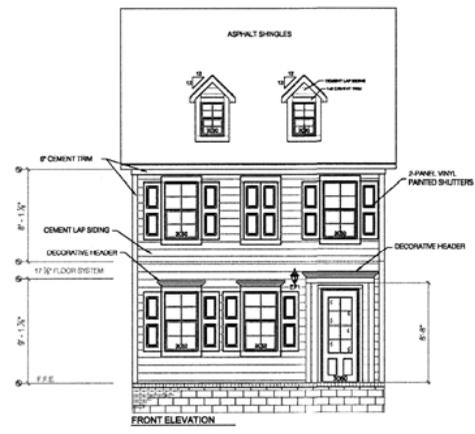
**#231 RALEIGH RIGHT ELEVATION**



**#239 RALEIGH RIGHT ELEVATION**



**#228 EVERLEIGH LEFT ELEVATION**



**Detached Townhome Elevations**

Not to Scale