SP PLAN AMENDMENT

HAMMER MILL MULTIFAMILY

CASE NO. 2016SP-005-003

Adams Street
Nashville, Davidson County, Tennessee

OCTOBER 18, 2017

VICINITY MAP
NOT TO SCALE

SITE DATA

PROJECT NAME:	HAMMER MILL MULTIFAMILY
MAP/PARCEL:	82-05 / 159
USE	
EXISTING USE:	RESIDENTIAL, RESTAURANT, OFFICE
EXISTING ZONING:	SP (SPECIFIC PLAN)
ZONING OVERLAY:	OV-UZO (URBAN ZONING OVERLAY)
	OV-FLD (FLOOD OVERLAY)
PROPOSED ZONING:	SP (SPECIFIC PLAN)
SITE CRITERIA	
LOT 1 SIZE	151,129 S.F.
LOT 2 SIZE	16,811 S.F.
FAR (LOT 1)	1.48 (223,830/151,129)
FAR (LOT 2)	1.26 (21,134/16,811)
ISR	.74% (123,475/167,940)
STREET SETBACK / STREET TYPE(S)	PER MAJOR COLLECTOR STREET PLAN
LOT 1 BUILDING HEIGHT	5 STORY W/ BASEMENT
LOT 2 BUILDING HEIGHT	2 STORY
PARKING GARAGE BUILDING HEIGHT	7 STORY
REQUIRED BUFFER YARDS	75' FLOOD
OPAQUE FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA	N/A
BUFFER YARD ADJUSTMENT	N/A
SCREENING AROUND DUMPSTERS	PROVIDED
SITE DATA	
COUNCIL DISTRICT	19
COUNCIL MEMBER:	FREDDIE O'CONNELL
TOTAL SITE ACREAGE:	3.99 Ac. (173,812 SQ. FT.)
R.O.W. TO BE DEDICATED:	0.13 Ac. (5,872 SQ. FT.)
LOT 1:	3.47 Ac. (151,129 SQ. FT.)
LOT 2:	0.39 Ac. (16,811 SQ. FT.)
BUILDING DATA	
LOT 1	
MULTI-FAMILY	151 – 1 BEDROOM
	51 – 2 BEDROOM
	53 – STUDIO
TOTAL MULTI-FAMILY UNITS:	255 / 220,530 GROSS S.F.
RESTAURANT	4,000 S.F.
LOT 2	
RESTAURANT (1st FLOOR HAMMER MILL):	13,465 S.F.
OFFICE (2nd FLOOR):	6,503 S.F.
DEVELOPER:	TRIBRIDGE RESIDENTIAL
ADDRESS	1575 NORTHSIDE DRIVE
	BUILDING 100, SUITE 200
	ATLANTA, GA 30318
PHONE NO.	404.352.2800
CONTACT NAME	WILLIAM NORRIS
EMAIL	williamn@tribridgeres.com
APPLICANT	LITTLEJOHN
ADDRESS	1935 21st AVE. SOUTH
	NASHVILLE, TN 37212
PHONE NO.	615.385.4144
FAX NO.	615.385.4020
CONTACT NAME	MR. ANDREW WOLTHERS
EMAIL	awolthers@smeinc.com
MINIMUM PARKING REQUIREMENTS	
LOT 1	
MULTI-FAMILY (1 SP/BEDROOM + 1.5 SP/2 OR MORE BR.) (204 + 77 (1.5x51) = 281)	281 SPACES
RESTAURANT (1 SP/150 S.F. ABOVE 1,000 S.F.) (3,000 S.F./150 S.F. = 20)	20 SPACES
LOT 2	
RESTAURANT (1 SP/150 S.F. ABOVE 1,000 S.F.) (12,465 S.F./150 S.F. = 84)	84 SPACES
OFFICE (1 SP/500 S.F. ABOVE 2,000 S.F.) (4,503 S.F./500 S.F. = 9)	9 SPACES
REQUIRED PARKING	394 SPACES
PARKING REDUCTIONS (PEDESTRIAN ACCESS -10% (390x.10)	-39 SPACES
TOTAL REQUIRED PARKING	355 SPACES
BICYCLE (1/4 UNITS (25%) (MAX 50) (255 UNITS / 4 = 64; MAX. 50)	50 SPACES
GARAGE PARKING PROVIDED	
BASEMENT/TRASH	55 SPACES
LEVEL 1	55 SPACES
LEVEL 2	63 SPACES
LEVEL 3	63 SPACES
LEVEL 4	64 SPACES
LEVEL 5	44 SPACES
TOTAL GARAGE PARKING PROVIDED	344 SPACES
ACCESSIBLE SPACES	8 SPACES TOTAL (2 VAN)
SITE PARKING PROVIDED	
ON-SITE PARALLEL PARKING	2 SPACES
ON-STREET PARKING PROVIDED	
ON-STREET PARALLEL PARKING	20 SPACES
TOTAL ON STREET PARKING (50% COUNTED)	10 SPACES
TOTAL PARKING PROVIDED	356 SPACES
BICYCLE PARKING PROVIDED	
IN GARAGE SPACES	40 SPACES
PUBLIC ON SITE	10 SPACES
TOTAL BICYCLE PARKING PROVIDED	50 SPACES

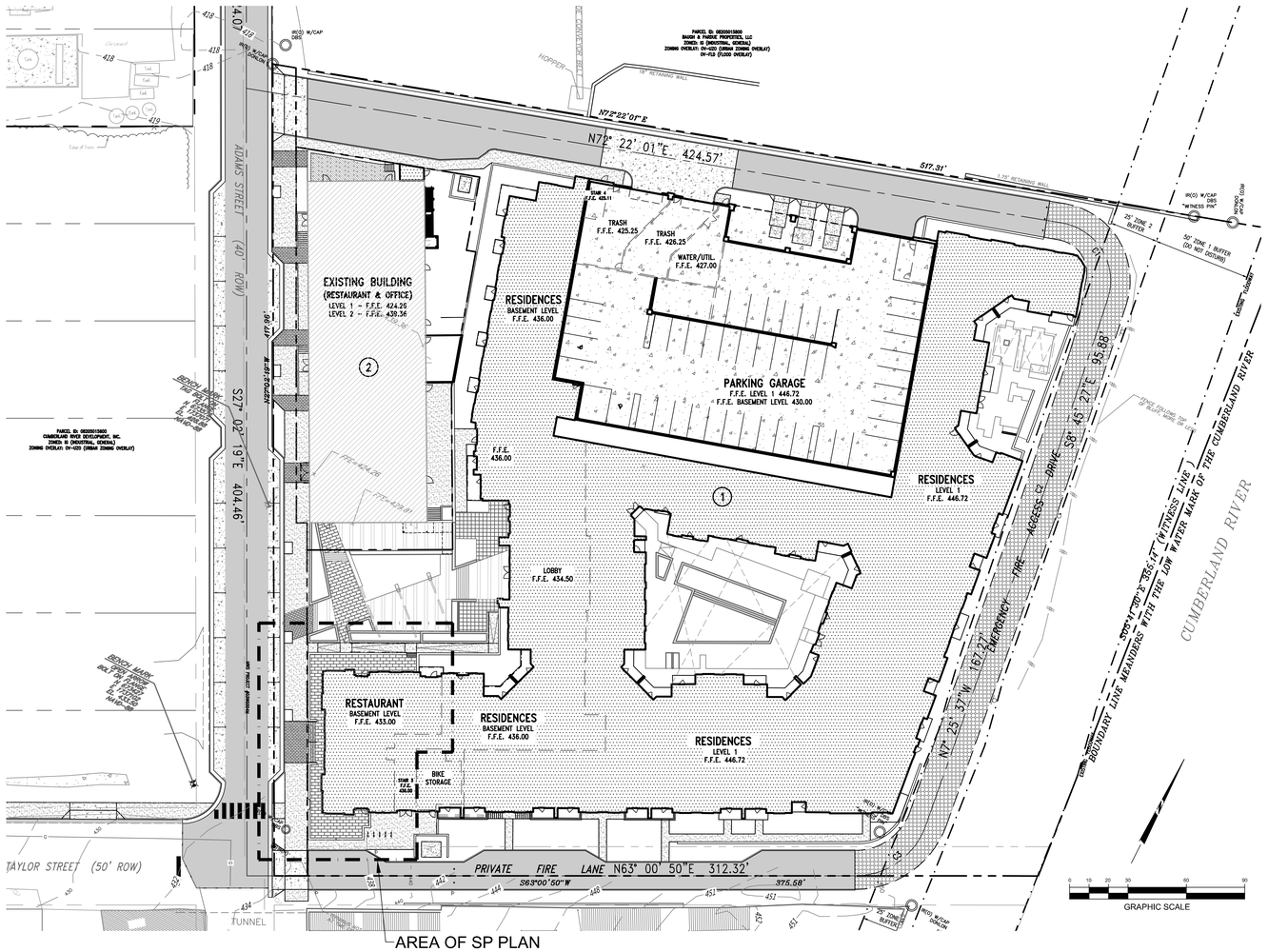
PROPOSED LAND USE TABLE (QUALIFYING USES)

MULTI-FAMILY RESIDENTIAL

COMMERCIAL USES:
- HOTEL
- RESTAURANT
- BAR OR NIGHTCLUB
- RETAIL
- BUSINESS SERVICE
- PERSONAL CARE SERVICE

OFFICE USES:
- GENERAL OFFICE
- LEASING AND SALES OFFICE

NOTE: ANY ADDITIONAL USES QUALIFYING ORDER THE MUI ZONING DESIGNATION



AREA OF SP PLAN AMENDMENT

INDEX OF SHEETS

SHT. NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C3.0	EPSC PLAN - INITIAL
C3.1	EPSC PLAN - INTERIM
C3.2	EPSC PLAN - FINAL
C3.3	EPSC DETAILS
C4.0	SITE DEMOLITION
C5.0	SITE LAYOUT
C5.1	OFF-SITE LAYOUT
C6.0	SITE GRADING & DRAINAGE
C6.1	OFF-SITE GRADING & DRAINAGE
C7.0	SITE UTILITIES
C7.1	PUBLIC SANITARY SEWER
C7.2	PUBLIC WATER PLAN
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C8.2	SITE DETAILS
C8.3	SITE DETAILS
C8.4	SITE DETAILS
L7.00	REQUIRED PLANTING PLAN
SP4-01	EXTERIOR ELEVATIONS
SP4-02	EXTERIOR ELEVATIONS

DEVELOPMENT SUMMARY & NOTES

- THE PURPOSE OF THIS SPECIFIC PLAN IS TO AMEND THE CURRENT SPECIFIC PLAN ZONING FOR THIS DEVELOPMENT TO ALLOW FOR AN ADDITIONAL 4,000 SQUARE FEET OF COMMERCIAL USE.
- AS THE PROPERTY EXTENDS TO THE LOW WATER MARK OF THE CUMBERLAND RIVER, A PORTION OF THE PARCEL DOES LIE WITHIN THE 100 YEAR FLOODPLAIN AND IS DETERMINED TO BE IN ZONE 'AE'. HOWEVER, THE DEVELOPABLE PORTION OF THE SITE THAT LIES WEST OF THE RIVER BLUFF DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE 'X' PER THE FEDERAL EMERGENCY MANAGEMENT FIRM PANEL NUMBER 47037C0241H, APRIL 5, 2017, PANEL 241 OF 478. THE 100-YR FLOOD ELEVATION IS 415.6' (NGVD-29).
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WTIH STORM WATER MANAGEMENT ORDINANCE NO. 78/ 840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN NOVEMBER OF 2016 AND WILL TAKE APPROXIMATELY 24 MONTHS TO BE COMPLETED.
- THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.

ARCHITECT:
dwell design studio
3655 BROOKSIDE PKWY., SUITE 150
ALPHARETTA, GA 30022
770.864.1035

PREPARED FOR:
Gateway TBR Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318
404.352.2800

CIVIL ENGINEER:
Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.leainc.com

C0.0

NOTE
ALL SOILS ON SITE ARE TYPE Ln
(LINDELL-URBAN LAND COMPLEX)

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Case No: 2016SP-005-003
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HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
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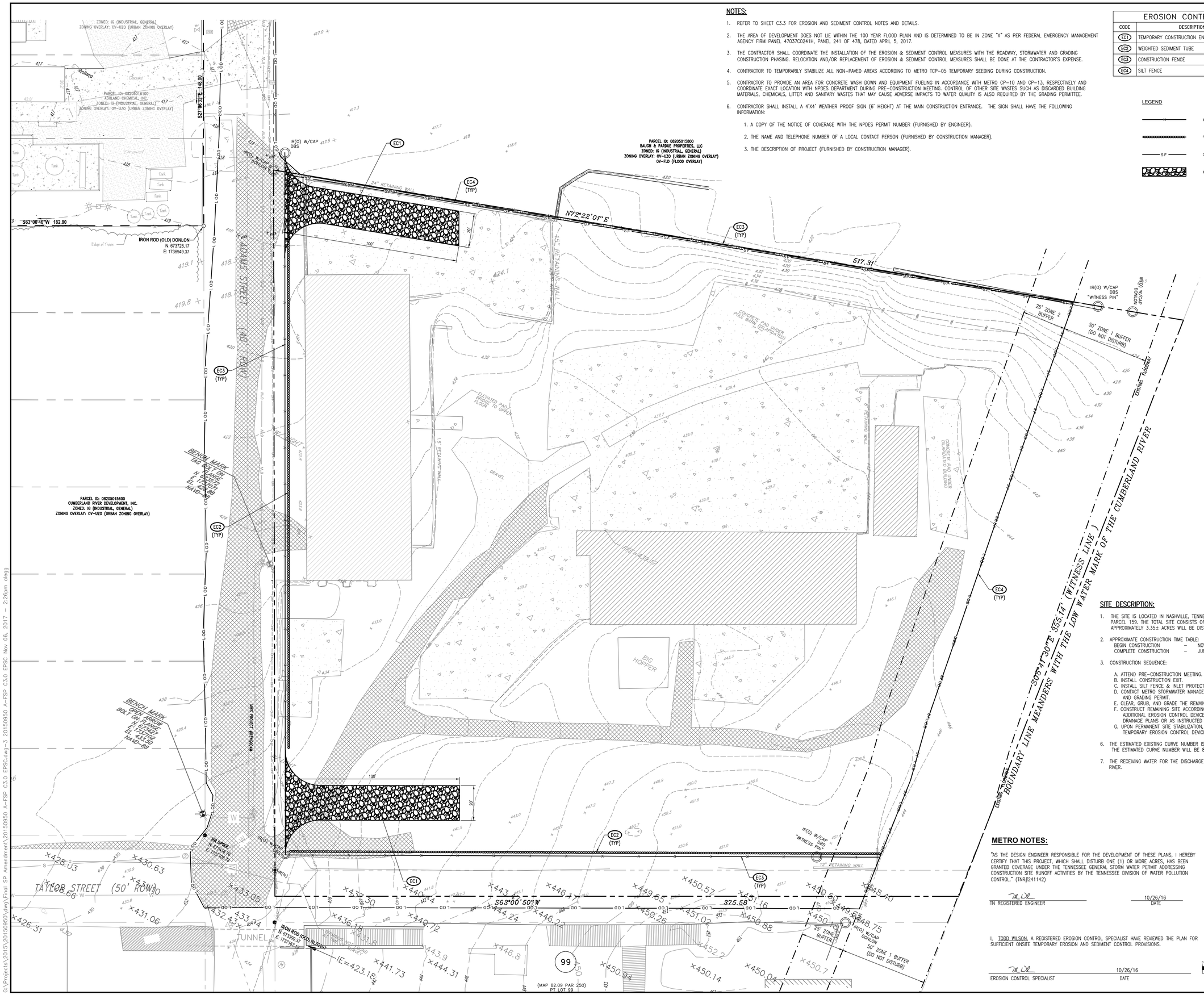
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C1.0

EXISTING CONDITIONS



NOTES:

1. REFER TO SHEET C3.3 FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
2. THE AREA OF DEVELOPMENT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL 47037C0241H, PANEL 241 OF 478, DATED APRIL 5, 2017.
3. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE EROSION & SEDIMENT CONTROL MEASURES WITH THE ROADWAY, STORMWATER AND GRADING CONSTRUCTION PHASING. RELOCATION AND/OR REPLACEMENT OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR TO TEMPORARILY STABILIZE ALL NON-PAVED AREAS ACCORDING TO METRO TCP-05 TEMPORARY SEEDING DURING CONSTRUCTION.
5. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY AND COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.
6. CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:
   1. A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
   2. THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
   3. THE DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

EROSION CONTROL KEY NOTE

CODE	DESCRIPTION	DTL #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1/C3.3
EC2	WEIGHTED SEDIMENT TUBE	2/C3.3
EC3	CONSTRUCTION FENCE	3/C3.3
EC4	SILT FENCE	4/C3.3

LEGEND

- CONSTRUCTION FENCE
- WEIGHTED SEDIMENT TUBE
- SILT FENCE (SF)
- CONSTRUCTION ENTRANCE/EXIT

SITE DESCRIPTION:

1. THE SITE IS LOCATED IN NASHVILLE, TENNESSEE, DAVIDSON COUNTY TAX MAP 82-05, PARCEL 159. THE TOTAL SITE CONSISTS OF APPROX. 3.79± ACRES OF WHICH APPROXIMATELY 3.35± ACRES WILL BE DISTURBED FOR THIS CONSTRUCTION.
2. APPROXIMATE CONSTRUCTION TIME TABLE:
   BEGIN CONSTRUCTION – NOVEMBER 2016
   COMPLETE CONSTRUCTION – JUNE 2018
3. CONSTRUCTION SEQUENCE:
   A. ATTEND PRE-CONSTRUCTION MEETING.
   B. INSTALL CONSTRUCTION EXIT.
   C. INSTALL SILT FENCE & INLET PROTECTION.
   D. CONTACT METRO STORMWATER MANAGEMENT SECTION TO OBTAIN INSPECTION AND GRADING PERMIT.
   E. CLEAR, GRUB, AND GRADE THE REMAINING SITE.
   F. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES AS SHOWN ON THE GRADING AND DRAINAGE PLANS OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.
   G. UPON PERMANENT SITE STABILIZATION, REMOVE CHECK DAM AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
6. THE ESTIMATED EXISTING CURVE NUMBER IS 71. UPON COMPLETION OF THE SITE, THE ESTIMATED CURVE NUMBER WILL BE 88.
7. THE RECEIVING WATER FOR THE DISCHARGE FROM THIS SITE IS THE CUMBERLAND RIVER.

METRO NOTES:

"AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I HEREBY CERTIFY THAT THIS PROJECT, WHICH SHALL DISTURB ONE (1) OR MORE ACRES, HAS BEEN GRANTED COVERAGE UNDER THE TENNESSEE GENERAL STORM WATER PERMIT ADDRESSING CONSTRUCTION SITE RUNOFF ACTIVITIES BY THE TENNESSEE DIVISION OF WATER POLLUTION CONTROL." (TNR#241142)

TN REGISTERED ENGINEER — DATE: 10/26/16

I, TODD WILSON, A REGISTERED EROSION CONTROL SPECIALIST HAVE REVIEWED THE PLAN FOR SUFFICIENT ONSITE TEMPORARY EROSION AND EROSION CONTROL PROVISIONS.

EROSION CONTROL SPECIALIST — DATE: 10/26/16

GRAPHIC SCALE: 0 5 10 15 20 40 60

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Case No: 2016SP-005-003
SP PLAN AMENDMENT

HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C3.0

EPSC PLAN - INITIAL

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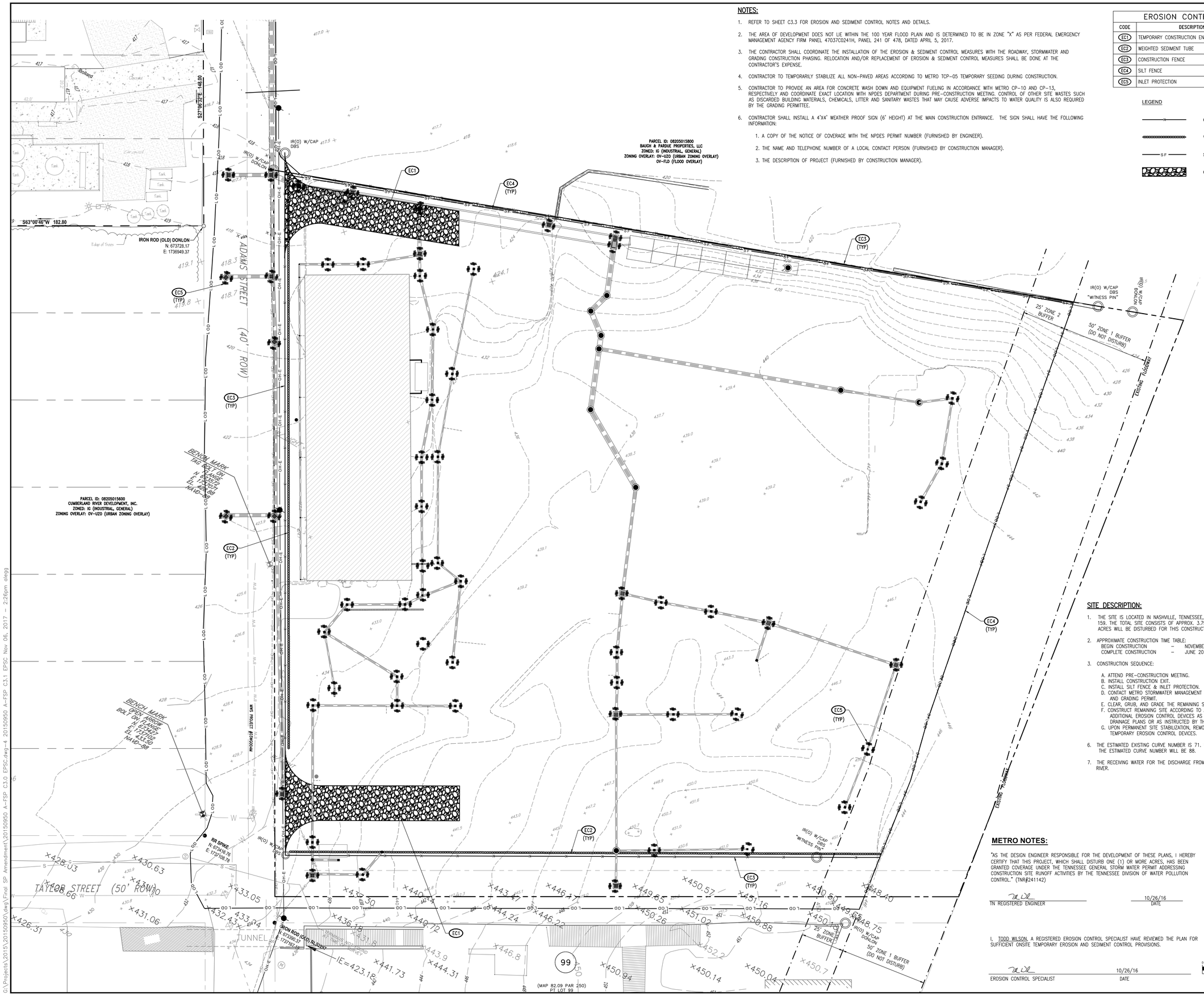

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EC3	CONSTRUCTION FENCE	3/C3.3
EC4	SILT FENCE	4/C3.3
EC5	INLET PROTECTION	5/C3.3

LEGEND

- CONSTRUCTION FENCE
- WEIGHTED SEDIMENT TUBE
- SILT FENCE
- CONSTRUCTION ENTRANCE/EXIT

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   E. CLEAR, GRUB, AND GRADE THE REMAINING SITE.
   F. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES AS SHOWN ON THE GRADING AND DRAINAGE PLANS OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.
   G. UPON PERMANENT SITE STABILIZATION, REMOVE CHECK DAM AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
6. THE ESTIMATED EXISTING CURVE NUMBER IS 71, UPON COMPLETION OF THE SITE, THE ESTIMATED CURVE NUMBER WILL BE 88.
7. THE RECEIVING WATER FOR THE DISCHARGE FROM THIS SITE IS THE CUMBERLAND RIVER.

METRO NOTES:

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EROSION CONTROL SPECIALIST — DATE 10/26/16

0 5 10 15 20 40 60
GRAPHIC SCALE

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HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

CHRISTIAN T. LANDON
REGISTERED ENGINEER
No. 110322
STATE OF TENNESSEE

DATE	REVISIONS
2017.09.28	20150950

C3.1

EPSC PLAN - INTERIM

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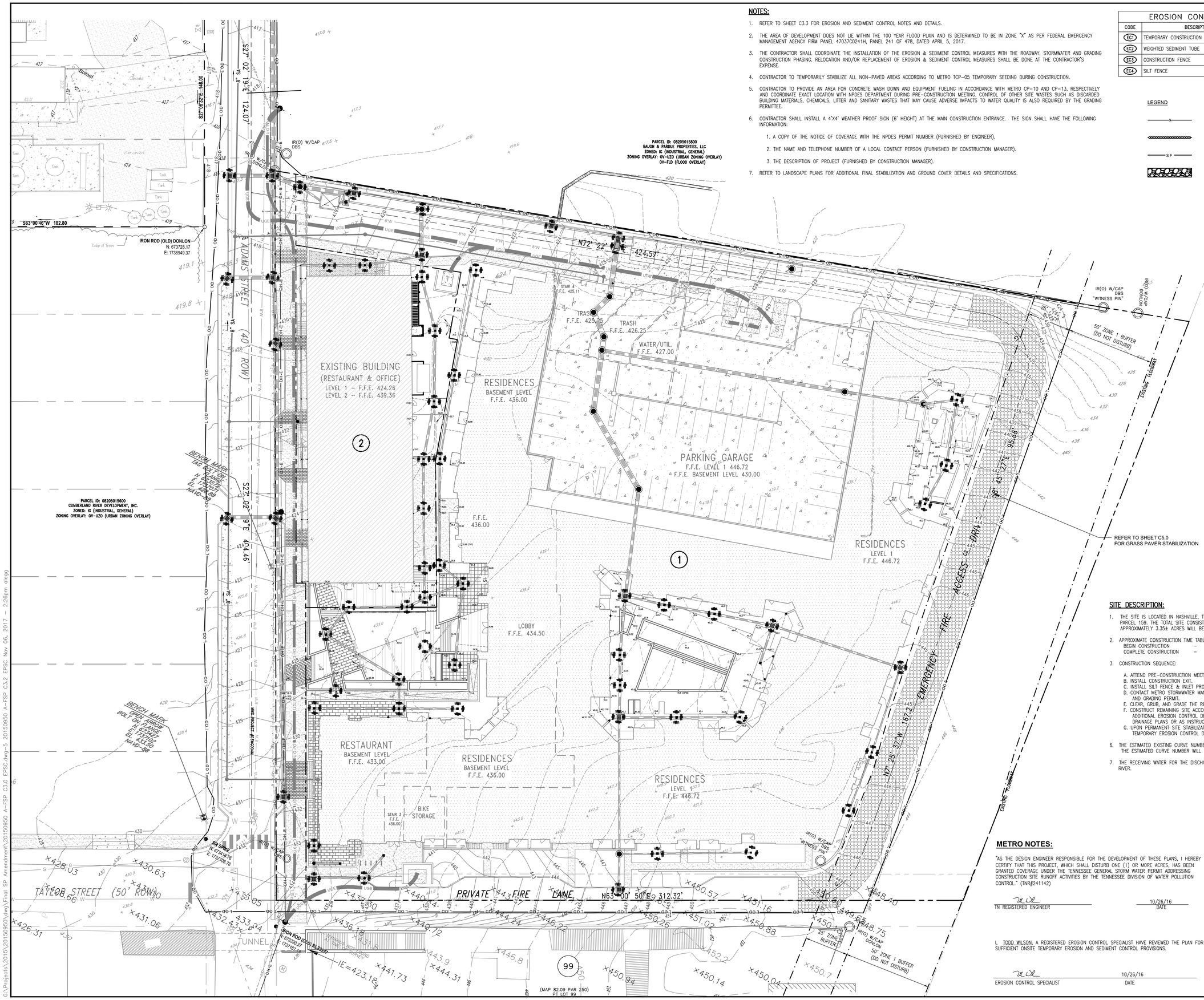

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7. REFER TO LANDSCAPE PLANS FOR ADDITIONAL FINAL STABILIZATION AND GROUND COVER DETAILS AND SPECIFICATIONS.

EROSION CONTROL KEY NOTE

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- SF — SILT FENCE
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7. THE RECEIVING WATER FOR THE DISCHARGE FROM THIS SITE IS THE CUMBERLAND RIVER.

METRO NOTES:

"AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I HEREBY CERTIFY THAT THIS PROJECT, WHICH SHALL DISTURB ONE (1) OR MORE ACRES, HAS BEEN GRANTED COVERAGE UNDER THE TENNESSEE GENERAL STORM WATER PERMIT ADDRESSING CONSTRUCTION SITE RUNOFF ACTIVITIES BY THE TENNESSEE DIVISION OF WATER POLLUTION CONTROL." (TNR#241142)

TN REGISTERED ENGINEER — DATE: 10/26/16

I, TODD WILSON, A REGISTERED EROSION CONTROL SPECIALIST HAVE REVIEWED THE PLAN FOR SUFFICIENT ONSITE TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS.

EROSION CONTROL SPECIALIST — DATE: 10/26/16

0 5 10 15 20 40 60
GRAPHIC SCALE

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Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

CHRISTIAN DAVID WILSON
REGISTERED ENGINEER
No. 110192
STATE OF TENNESSEE
10/26/16

DATE	REVISIONS
2017.09.28	20150950

C3.2

EPSC PLAN - FINAL

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SCHEDULE OF INSPECTIONS AND MAINTENANCE NOTES

1) INSPECTIONS DESCRIBED IN PARAGRAPHS 2, 3 AND 4 BELOW, SHALL BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS APART. WHERE SITES OR PORTION(S) OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G., SITE COVERED WITH SNOW OR ICE) OR DUE TO EXTREME DROUGHT, SUCH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITY RESUMES. INSPECTION REQUIREMENTS DO NOT APPLY TO DEFINABLE AREAS THAT HAVE BEEN FINALLY STABILIZED. WRITTEN NOTIFICATION OF THE INTENT TO CHANGE THE INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AND THE TENNESSEE VALLEY AUTHORITY (TVA). SHOULD TDEC DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION MEASURES OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. TDEC MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.

2) QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE OR COOPERATIVELY BY MULTIPLE PERMITTEES) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND EACH OUTFALL.

3) DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE SITE'S DRAINAGE SYSTEM. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.

4) OUTFALL POINTS (WHERE DISCHARGES LEAVE THE SITE AND/OR ENTER WATERS OF THE STATE) SHALL BE INSPECTED TO DETERMINE WHETHER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

5) BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DISREPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IS IDENTIFIED.

6) BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THIS SWPPP SHALL BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE SWPPP, BUT IN NO CASE LATER THAN 14 DAYS FOLLOWING THE INSPECTION.

7) ALL INSPECTIONS SHALL BE DOCUMENTED ON THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT FOR ALL CONSTRUCTION SITES. INSPECTION DOCUMENTATION WILL BE MAINTAINED ON SITE AND MADE AVAILABLE TO TDEC UPON REQUEST. INSPECTION REPORTS MUST BE SUBMITTED TO TDEC WITHIN 10 DAYS OF THE REQUEST. IF TDEC REQUESTS THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM TO BE SUBMITTED, THE SUBMITTED FORM MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE TRAINED CERTIFIED INSPECTOR AND THE PERSON WHO MEETS THE SIGNATORY REQUIREMENTS OF SECTION 7.7.2 OF THE NPDES GENERAL PERMIT.

8) TRAINED CERTIFIED INSPECTORS SHALL COMPLETE INSPECTION DOCUMENTATION TO THE BEST OF THEIR ABILITY. FALSIFYING INSPECTION RECORDS OR OTHER DOCUMENTATION OR FAILURE TO COMPLETE INSPECTION DOCUMENTATION SHALL RESULT IN A VIOLATION OF THIS PERMIT AND ANY OTHER APPLICABLE ACTS OR RULES.

9) SUBSEQUENT OPERATOR(S) (PRIMARY PERMITTEES) WHO HAVE OBTAINED COVERAGE UNDER THE NPDES GENERAL PERMIT SHOULD CONDUCT TWICE WEEKLY INSPECTIONS, UNLESS THEIR PORTION(S) OF THE SITE HAS BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT AS STATED IN PARAGRAPH A) ABOVE. THE PRIMARY PERMITTEE (SUCH AS A DEVELOPER) IS NO LONGER REQUIRED TO CONDUCT INSPECTIONS OF PORTIONS OF THE SITE THAT ARE COVERED BY A SUBSEQUENT PRIMARY PERMITTEE (SUCH AS A HOME BUILDER).

NOTE:

CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:

1. A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
2. THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
3. DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

NOTE:

1. AFTER EVERY STORM EVENT, THE ENTIRE SILT FENCE MUST BE INSPECTED AND ANY NEEDED REPAIRS DONE AT THAT TIME. SHOULD ANY DAMAGE OCCUR DUE TO TRAFFIC OR ANY OTHER ACTIVITY THE FENCE MUST BE REPAIRED BEFORE THE END OF EACH WORK DAY.

2. PLEASE SEE SHEETS C2.0 & C6.0 OF THE CONTRACT DOCUMENTS FOR THE SITE GRADING AND DRAINAGE PLAN AND ADDITIONAL SITE GRADING & EROSION CONTROL NOTES. THESE SHEETS SHALL REMAIN A PERMANENT PART OF THE SWPPP AFTER CONSTRUCTION IS COMPLETE.

TYPICAL NOTES

1. ALL CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS AND THE CONTRACT DOCUMENTS. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS.

2. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED IMMEDIATELY TO MINIMIZE OFF-SITE IMPACTS. PERMITTEES SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DIVISION FIRST. THIS PERMIT DOES NOT, HOWEVER, AUTHORIZE ACCESS TO PRIVATE PROPERTY.

3. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, AND OTHER SEDIMENT CONTROLS AS NECESSARY, AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 33%.

4. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

5. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 15 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.

6. CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.

7. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.

8. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.

9. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.

10. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. EXCEPT IN THE FOLLOWING TWO SITUATIONS: 1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL; OR 2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.

11. CONSTRUCTION MUST BE PHASED FOR PROJECTS IN WHICH OVER 50 ACRES OF SOIL WILL BE DISTURBED. AREAS OF THE COMPLETED PHASE MUST BE STABILIZED WITHIN 21 DAYS AFTER ANOTHER PHASE HAS BEEN INITIATED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES: AFTER USE, SILT FENCES SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

12. TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE ACCOMPLISHED WITHIN 15 DAYS AFTER FINAL GRADING OR OTHER EARTH WORK. PERMANENT STABILIZATION WITH PERENNIAL VEGETATION OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE SHALL REPLACE ANY TEMPORARY MEASURES AS SOON AS PRACTICABLE.

13. NO SOLID MATERIALS INCLUDING BUILDING MATERIAL, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT AND/OR TENNESSEE AQUATIC RESOURCE ALTERATION PERMIT.

14. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED.

NOTE:

1. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP)

2. MAINTENANCE AGREEMENT #: 20161122-0123478

SITE ASSESSMENT NOTES

1) THE SITE ASSESSMENT SHALL BE PERFORMED BY INDIVIDUALS WITH THE FOLLOWING QUALIFICATIONS:
- A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT
- A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) OR
- A PERSON THAT SUCCESSFULLY COMPLETED THE "LEVEL II DESIGN PRINCIPLES FOR EROSION PREVENTION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES" COURSE.

2) QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE DONE BY PERFORMING SITE ASSESSMENT AT A CONSTRUCTION SITE. THE SITE ASSESSMENT SHALL BE CONDUCTED AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES OR 5 OR MORE ACRES IF DRAINING TO AN IMPAIRED OR EXCEPTIONAL QUALITY WATERS, WITHIN A MONTH OF CONSTRUCTION COMMENCING AT EACH PORTION OF THE SITE THAT DRAINS THE QUALIFYING ACREAGE OF SUCH PORTION OF THE SITE.

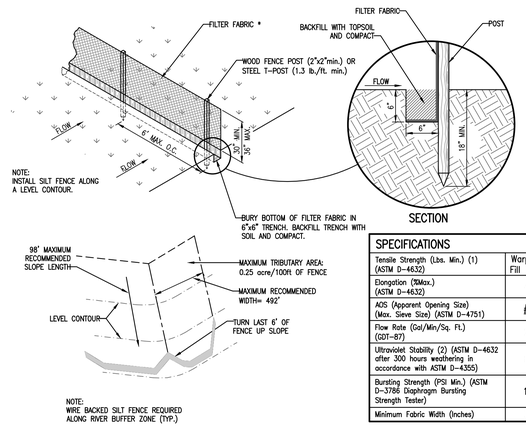
3) AS A MINIMUM, SITE ASSESSMENT SHOULD BE PERFORMED TO VERIFY THE INSTALLATION, FUNCTIONALITY AND PERFORMANCE OF THE EPSC MEASURES DESCRIBED IN THE SWPPP REPORT. THE SITE ASSESSMENT SHOULD BE PERFORMED WITH THE INSPECTOR, AND SHOULD INCLUDE A REVIEW AND UPDATE (IF APPLICABLE) OF THE SWPPP REPORT. MODIFICATIONS OF PLANS AND SPECIFICATIONS FOR ANY BUILDING OR STRUCTURE, INCLUDING THE DESIGN OF SEDIMENT BASINS OR OTHER SEDIMENT CONTROLS INVOLVING STRUCTURAL, HYDRAULIC, HYDROLOGIC OR OTHER ENGINEERING CALCULATIONS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT AND STAMPED AND CERTIFIED IN ACCORDANCE WITH THE TENNESSEE CODE ANNOTATED, TITLE 62, CHAPTER 2 AND THE RULES OF THE TENNESSEE BOARD OF ARCHITECTURAL AND ENGINEERING EXAMINERS.

4) THE SITE ASSESSMENT FINDINGS SHALL BE DOCUMENTED AND THE DOCUMENTATION KEPT WITH THE SWPPP REPORT AT THE SITE. AT A MINIMUM, THE DOCUMENTATION SHALL INCLUDE INFORMATION INCLUDED IN THE INSPECTION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT. THE DOCUMENTATION MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE INDIVIDUAL PERFORMING THE SITE ASSESSMENT AND THE FOLLOWING CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS REPORT AND ALL ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

5) THE SITE ASSESSMENT CAN TAKE THE PLACE OF ONE OF THE TWICE WEEKLY INSPECTIONS REQUIREMENT.

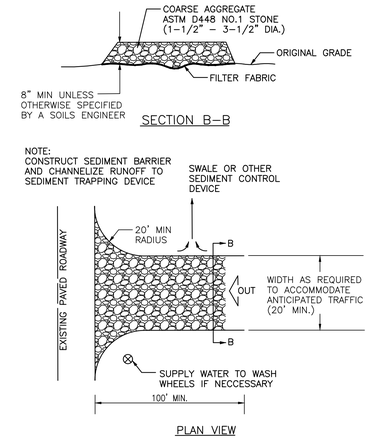
6) TDEC MAY REQUIRE ADDITIONAL SITE ASSESSMENT(S) TO BE PERFORMED IF SITE INSPECTION BY TDEC'S PERSONNEL REVEALS SITE CONDITIONS THAT HAVE POTENTIAL OF CAUSING POLLUTION TO THE WATERS OF THE STATE.



SPECIFICATIONS	
Tensile Strength (Lbs. Min.) (1) (ASTM D-4632)	Warp-120 Fill -100
Elongation (%Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	#30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	25
Ultraviolet Stability (2) (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36

4 SILT FENCE (TCP-13)

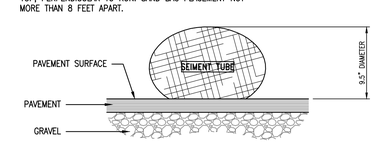
NOT TO SCALE



1 TEMPORARY CONSTRUCTION ENTRANCE (TCP-03)

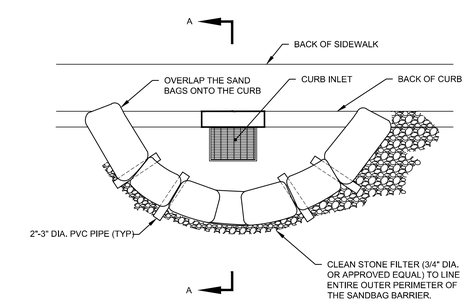
NOT TO SCALE

NOTE:
SILT PROTECTION PLACED IN ASPHALT LOCATIONS SHALL HAVE SAND BAGS PLACED AT POINTS ALONG THE BARRIER. BAGS ARE INTENDED TO PREVENT MOVEMENT AND PROVIDE STABILIZATION FOR THE DEVICE AND SHALL BE PLACED ON TOP, PERPENDICULAR TO RUN. SAND BAG PLACEMENT NOT MORE THAN 8 FEET APART.

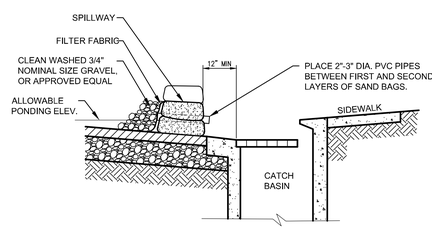


2 SEDIMENT TUBE (TCP-14)

NO SCALE



PLAN



SECTION A-A

NOTES:

1. NOT APPLICABLE IN AREAS OF HIGH SILTS AND CLAYS WITHOUT USE OF FILTER FABRIC LAYER.
2. PERIODICALLY REMOVE AND REPLACE GRAVEL. OLD GRAVEL MAY BE USED AS BACKFILL MATERIAL IF APPROVED BY THE ENGINEER.

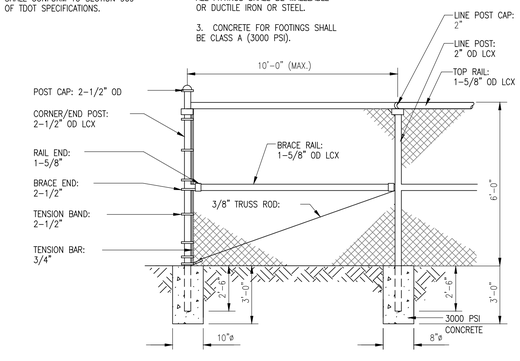
5 INLET PROTECTION (TCP-24)

NO SCALE

1. FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OF TDOT SPECIFICATIONS. MATERIALS SHALL CONFORM TO SECTION 909 OF TDOT SPECIFICATIONS.

2. ALL POSTS AND OTHER APPURTENANCES SHALL BE HOT DIP GALVANIZED W/MIN. 1.2 O.S.F. ZINC. ALL FITTINGS SHALL BE MALLEABLE OR DUCTILE IRON OR STEEL.

3. CONCRETE FOR FOOTINGS SHALL BE CLASS A (3000 PSI).



3 CONSTRUCTION FENCE

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EPSC DETAILS

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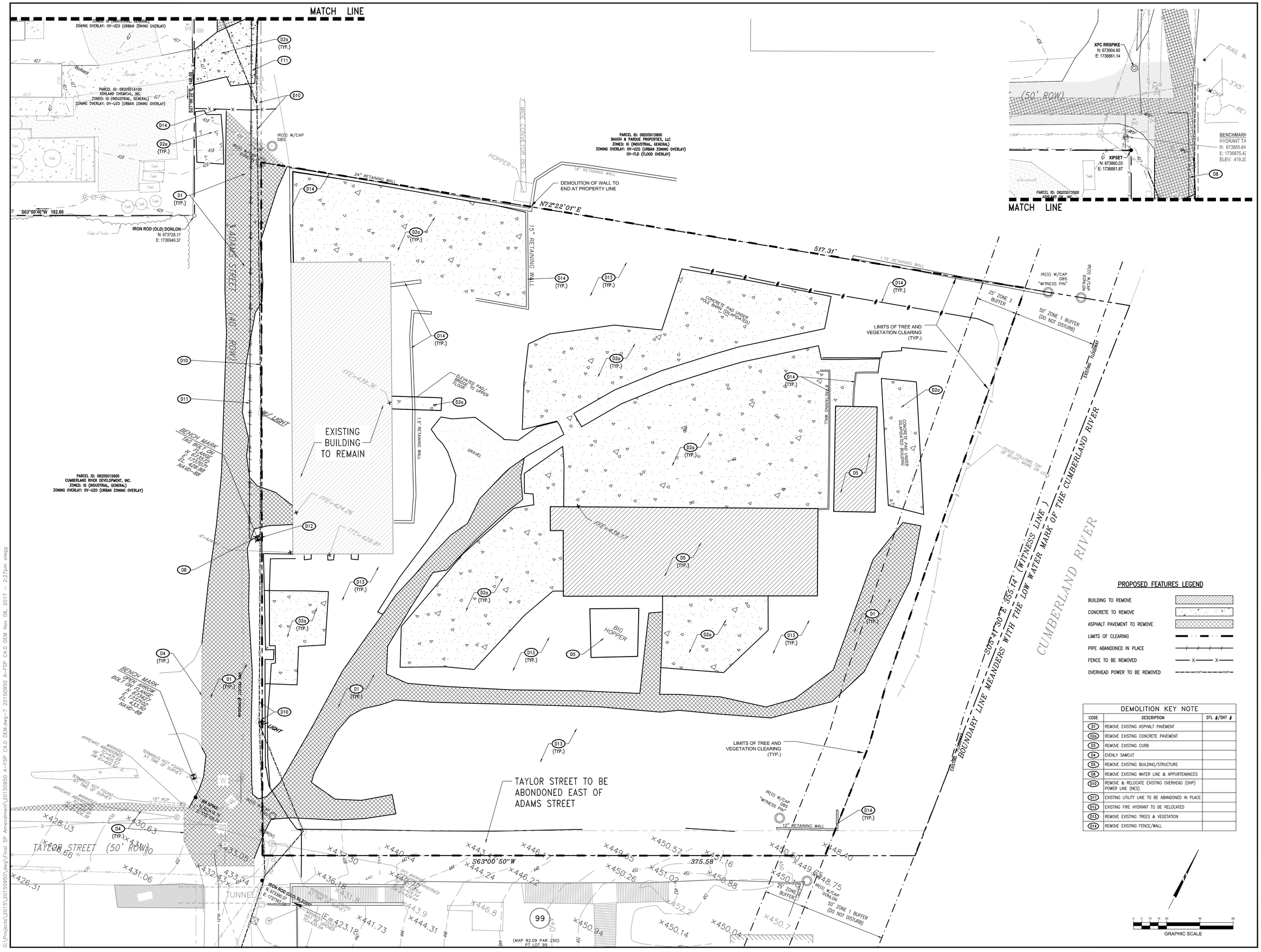

DEMOLITION KEY NOTE

CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D3	REMOVE EXISTING CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D8	REMOVE EXISTING WATER LINE & APPURTENANCES	
D10	REMOVE & RELOCATE EXISTING OVERHEAD (OHP) POWER LINE (NES)	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREES & VEGETATION	
D14	REMOVE EXISTING FENCE/WALL	

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SITE DEMOLITION

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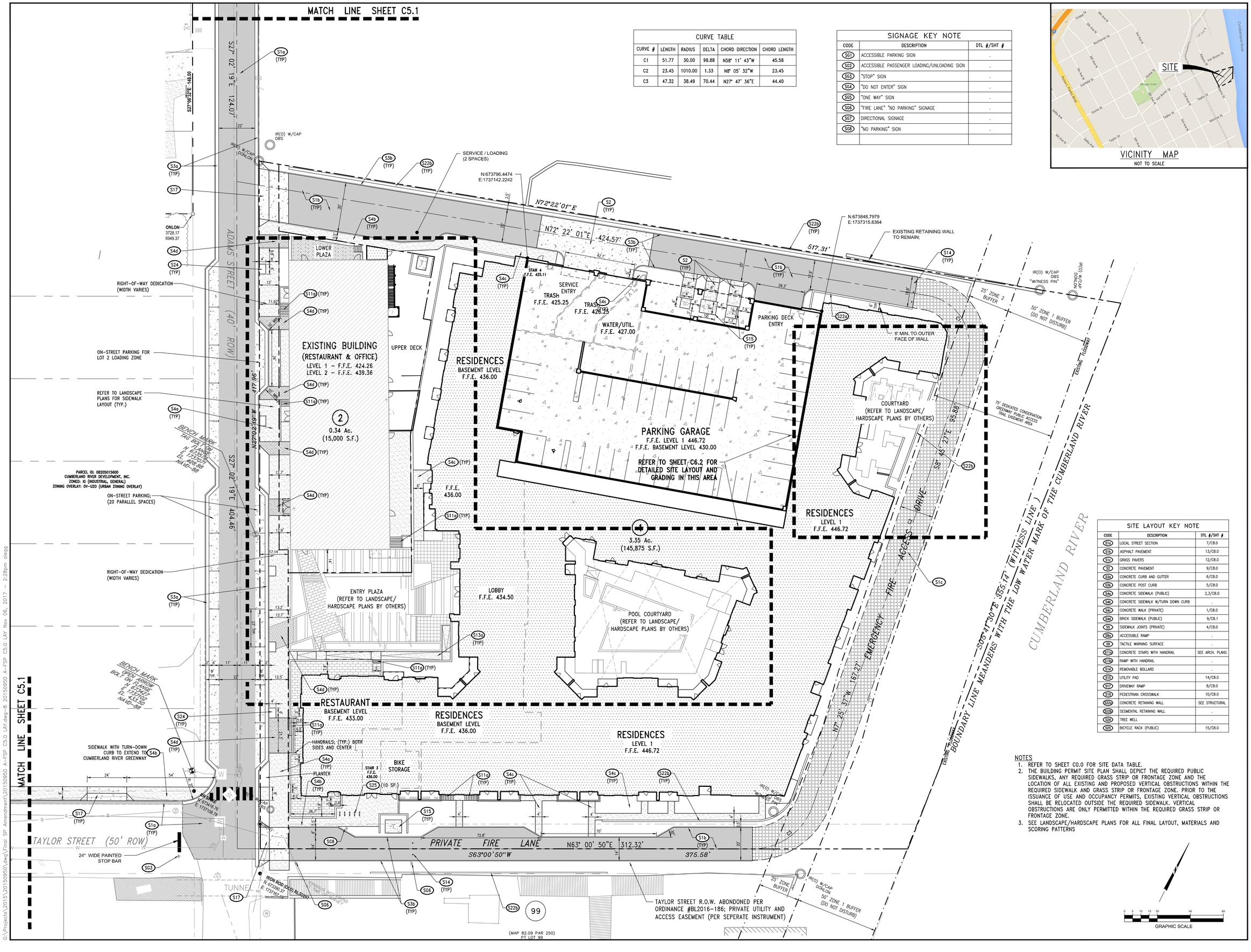

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	51.77	30.00	98.88	N58° 11' 43"W	45.58
C2	23.45	1010.00	1.33	N8° 05' 32"W	23.45
C3	47.32	38.49	70.44	N27° 47' 36"E	44.40

SIGNAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
SG1	ACCESSIBLE PARKING SIGN	.
SG2	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	.
SG3	"STOP" SIGN	.
SG4	"DO NOT ENTER" SIGN	.
SG5	"ONE WAY" SIGN	.
SG6	"FIRE LANE" "NO PARKING" SIGNAGE	.
SG7	DIRECTIONAL SIGNAGE	.
SG8	"NO PARKING" SIGN	.

VICINITY MAP
NOT TO SCALE

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1a	LOCAL STREET SECTION	7/C8.0
S1b	ASPHALT PAVEMENT	13/C8.0
S1c	GRASS PAVERS	12/C8.0
S2	CONCRETE PAVEMENT	9/C8.0
S3a	CONCRETE CURB AND GUTTER	6/C8.0
S3b	CONCRETE POST CURB	5/C8.0
S4a	CONCRETE SIDEWALK (PUBLIC)	2,3/C8.0
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK (PRIVATE)	1/C8.0
S4d	BRICK SIDEWALK (PUBLIC)	9/C8.1
S5	SIDEWALK JOINTS (PRIVATE)	4/C8.0
S6a	ACCESSIBLE RAMP	.
S6	TACTILE WARNING SURFACE	.
S11a	CONCRETE STAIRS WITH HANDRAIL	SEE ARCH. PLANS
S11b	RAMP WITH HANDRAIL	.
S14	REMOVABLE BOLLARD	.
S15	UTILITY PAD	14/C8.0
S17	DRIVEWAY RAMP	8/C8.0
S18	PEDESTRIAN CROSSWALK	10/C8.0
S22a	CONCRETE RETAINING WALL	SEE STRUCTURAL
S22b	SEGMENTAL RETAINING WALL	.
S24	TREE WELL	.
S25	BICYCLE RACK (PUBLIC)	15/C8.0

NOTES

1. REFER TO SHEET C0.0 FOR SITE DATA TABLE.
2. THE BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
3. SEE LANDSCAPE/HARDSCAPE PLANS FOR ALL FINAL LAYOUT, MATERIALS AND SCORING PATTERNS

GRAPHIC SCALE

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SITE LAYOUT

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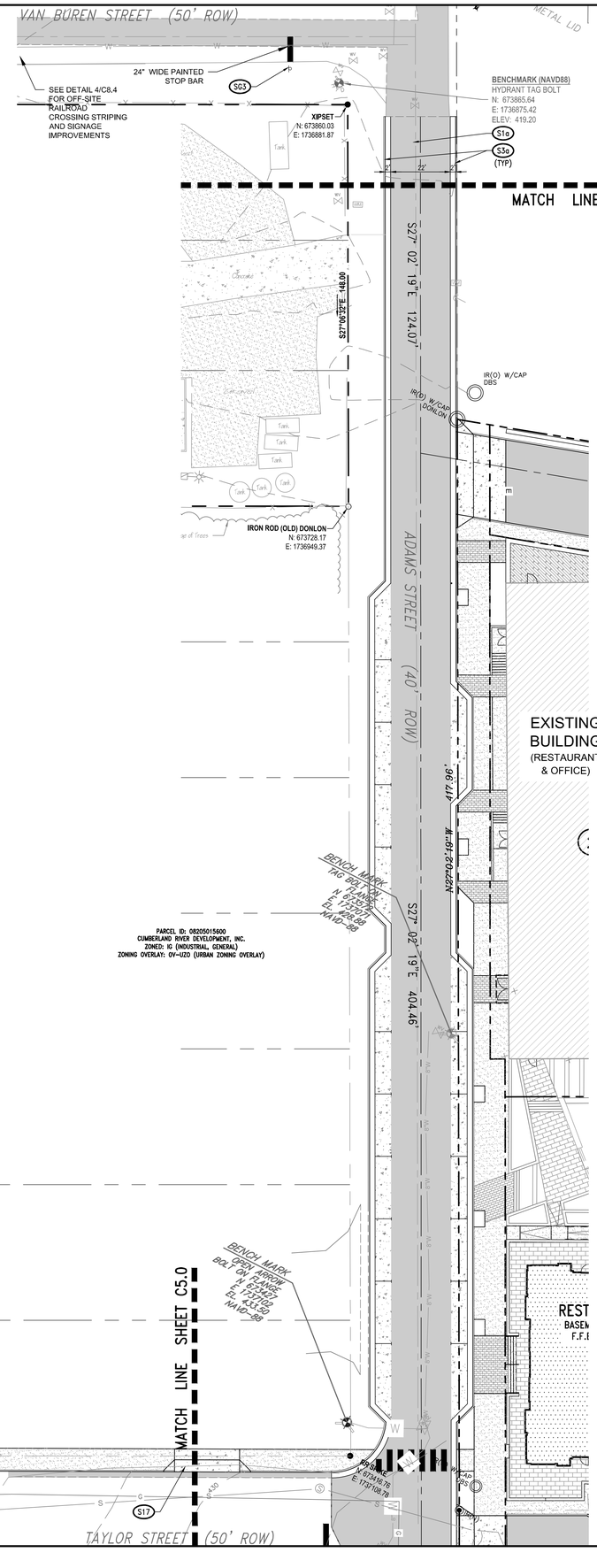
NO GRADING PERMIT SHALL BE REQUIRED FOR AN EXCAVATION OR FILL THAT SATISFIES ALL OF THE FOLLOWING CRITERIA:

1. FILL MATERIAL CONTAINS ONLY INERT SOIL, ROCK, CONCRETE WITHOUT REBAR AND NO MORE THAN 24 INCHES IN LENGTH, AND/OR BRICK RUBBLE.
2. FILL IS NOT IN THE 100-YEAR FLOODPLAIN AND IS LESS THAN FIVE (5) FEET IN VERTICAL DEPTH AT ITS DEEPEST POINT AS MEASURED FROM THE NATURAL GROUND.
3. DOES NOT RESULT IN A TOTAL QUANTITY OF MORE THAN 100 CUBIC YARDS OF MATERIAL BEING REMOVED FROM, DEPOSITED ON, OR DISTURBED ON ANY LOT, PARCEL, OR SUBDIVISION THEREOF.
4. DOES NOT IMPAIR EXISTING SURFACE STORMWATER MANAGEMENT SYSTEMS, CONSTITUTE A POTENTIAL EROSION HAZARD, OR ACT AS A SOURCE OF SEDIMENTATION TO ANY ADJACENT LAND OR WATERCOURSE.
5. HAS NO FILL PLACED ON A SURFACE HAVING A SLOPE STEEPER THAN FIVE (5) FEET HORIZONTAL TO ONE FOOT VERTICAL (STEEPER SLOPES CAN BE ALLOWED IF JUSTIFIED BY CALCULATIONS FOR APPROPRIATE STABILIZATION MEASURES).
6. HAS NO FINAL SLOPES STEEPER THAN ONE (1) FOOT VERTICAL TO THREE (3) FEET HORIZONTAL (STEEPER SLOPES CAN BE ALLOWED IF JUSTIFIED BY CALCULATIONS FOR APPROPRIATE STABILIZATION MEASURES).
7. HAS TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES APPLIED TO DENUDED AREA S WITHIN 15 DAYS OF DISTURBANCE.
8. DOES NOT CONTAIN HAZARDOUS SUBSTANCES.
9. IS NOT PARTIALLY OR TOTALLY IN A WATERSHED WITH OUTLET TO A SINKHOLE OR DRAINAGE WELL.
10. DOES NOT RESULT IN THE EXPOSURE OR DISTURBANCE OF MORE THAN 10,000 SQUARE FEET OF LAND.

SITE LAYOUT KEY NOTE

CODE	DESCRIPTION	DTL #/SHT #
S1a	LOCAL STREET SECTION	7/C8.0
S1b	ASPHALT PAVEMENT	13/C8.0
S1c	GRASS PAVERS	12/C8.0
S2	CONCRETE PAVEMENT	9/C8.0
S3a	CONCRETE CURB AND GUTTER	6/C8.0
S3b	CONCRETE POST CURB	5/C8.0
S4a	CONCRETE SIDEWALK (PUBLIC)	2,3/C8.0
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK (PRIVATE)	1/C8.0
S4d	BRICK SIDEWALK (PUBLIC)	9/C8.1
S5	SIDEWALK JOINTS (PRIVATE)	4/C8.0
S8a	ACCESSIBLE RAMP	.
S9	TACTILE WARNING SURFACE	.
S11a	CONCRETE STAIRS WITH HANDRAIL	SEE ARCH. PLANS
S15a	RAMP WITH HANDRAIL	.
S16	REMOVABLE BOLLARD	.
S15	UTILITY PAD	14/C8.0
S17	DRIVEWAY RAMP	8/C8.0
S19	PEDESTRIAN CROSSWALK	10/C8.0
S22a	CONCRETE RETAINING WALL	SEE STRUCTURAL
S22b	SEGMENTAL RETAINING WALL	.
S24	TREE WELL	.
S25	BICYCLE RACK (PUBLIC)	15/C8.0



VICINITY MAP
NOT TO SCALE

NOTES

1. THE FINAL SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5 FEET CLEAR ACCESS.

SITE DATA

PROJECT NAME:	HAMMER MILL MULTIFAMILY
MAP/PARCEL:	82-05 / 159
USE	
EXISTING USE:	RESIDENTIAL, RESTAURANT, OFFICE
EXISTING ZONING:	SP (SPECIFIC PLAN)
ZONING OVERLAY:	OV-UZO (URBAN ZONING OVERLAY) OV-FLD (FLOOD OVERLAY)
PROPOSED ZONING:	SP (SPECIFIC PLAN)
SITE CRITERIA	
LOT 1 SIZE	151,129 S.F.
LOT 2 SIZE	16,811 S.F.
FAR (LOT 1)	1.48 (225,830/151,129)
FAR (LOT 2)	1.26 (21,134/16,811)
ISR	74% (123,475/167,940)
STREET SETBACK / STREET TYPE(S)	PER MAJOR COLLECTOR STREET PLAN
LOT 1 BUILDING HEIGHT	5 STORY W/ BASEMENT
LOT 2 BUILDING HEIGHT	2 STORY
PARKING GARAGE BUILDING HEIGHT	7 STORY
REQUIRED BUFFER YARDS	75' FLOOD
OPAQUE FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA	N/A
BUFFER YARD ADJUSTMENT	N/A
SCREENING AROUND DUMPSTERS	PROVIDED
SITE DATA	
COUNCIL DISTRICT	19
COUNCIL MEMBER:	FREDDIE O'CONNELL
TOTAL SITE ACREAGE:	3.99 Ac. (173,812 SQ. FT.)
R.O.W. TO BE DEDICATED:	0.13 Ac. (5,872 SQ. FT.)
LOT 1:	3.47 Ac. (151,129 SQ. FT.)
LOT 2:	0.39 Ac. (16,811 SQ. FT.)
BUILDING DATA	
LOT 1	
MULTI-FAMILY	151 – 1 BEDROOM 51 – 2 BEDROOM 53 – STUDIO
TOTAL MULTI-FAMILY UNITS:	255 / 220,530 GROSS S.F.
RESTAURANT	4,000 S.F.
LOT 2	
RESTAURANT (1st FLOOR HAMMER MILL):	13,465 S.F.
OFFICE (2nd FLOOR):	6,503 S.F.
DEVELOPER:	TRIBRIDGE RESIDENTIAL
ADDRESS	1575 NORTHSIDE DRIVE BUILDING 100, SUITE 200 ATLANTA, GA 30318
PHONE NO.	404.352.2800
CONTACT NAME	WILLIAM NORRIS
EMAIL	williamn@tribridgeres.com
APPLICANT	LITTLEJOHN
ADDRESS	1935 21st AVE. SOUTH NASHVILLE, TN 37212
PHONE NO.	615.385.4144
FAX NO.	615.385.4020
CONTACT NAME	MR. ANDREW WOLTHERS
EMAIL	awolthers@smeinc.com
MINIMUM PARKING REQUIREMENTS	
LOT 1	
MULTI-FAMILY (1 SP/BEDROOM + 1.5 SP/2 OR MORE BR.) (204 + 77 (1.5x51) = 281)	281 SPACES
RESTAURANT (1 SP/150 S.F. ABOVE 1,000 S.F.) (3,000 S.F./150 S.F. = 20)	20 SPACES
LOT 2	
RESTAURANT (1 SP/150 S.F. ABOVE 1,000 S.F.) (12,465 S.F./150 S.F. = 84)	84 SPACES
OFFICE (1 SP/500 S.F. ABOVE 2,000 S.F.) (4,503 S.F./500 S.F. = 9)	9 SPACES
REQUIRED PARKING	394 SPACES
PARKING REDUCTIONS (PEDESTRIAN ACCESS -10% (390x.10)	-39 SPACES
TOTAL REQUIRED PARKING	355 SPACES
BICYCLE (1/4 UNITS (25%) /MAX 50) (255 UNITS / 4 = 64; MAX. 50)	50 SPACES
GARAGE PARKING PROVIDED	
BASEMENT/TRASH	55 SPACES
LEVEL 1	55 SPACES
LEVEL 2	63 SPACES
LEVEL 3	63 SPACES
LEVEL 4	64 SPACES
LEVEL 5	44 SPACES
TOTAL GARAGE PARKING PROVIDED	344 SPACES
ACCESSIBLE SPACES	8 SPACES TOTAL (2 VAN)
SITE PARKING PROVIDED	
ON-SITE PARALLEL PARKING	2 SPACES
ON-STREET PARKING PROVIDED	
ON-STREET PARALLEL PARKING	20 SPACES
TOTAL ON STREET PARKING (50% COUNTED)	10 SPACES
TOTAL PARKING PROVIDED	356 SPACES
BICYCLE PARKING PROVIDED	
IN GARAGE SPACES	40 SPACES
PUBLIC ON SITE	10 SPACES
TOTAL BICYCLE PARKING PROVIDED	50 SPACES

PROPOSED LAND USE TABLE (QUALIFYING USES)

MULTI-FAMILY RESIDENTIAL

COMMERCIAL USES:
- HOTEL
- RESTAURANT
- BAR OR NIGHTCLUB
- RETAIL
- BUSINESS SERVICE
- PERSONAL CARE SERVICE

OFFICE USES:
- GENERAL OFFICE
- LEASING AND SALES OFFICE

NOTE: ANY ADDITIONAL USES QUALIFYING ORDER THE MUI ZONING DESIGNATION

GRAPHIC SCALE

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.lean-c.com

Case No: 2016SP-005-003
SP PLAN AMENDMENT

HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C5.1

OFF-SITE LAYOUT

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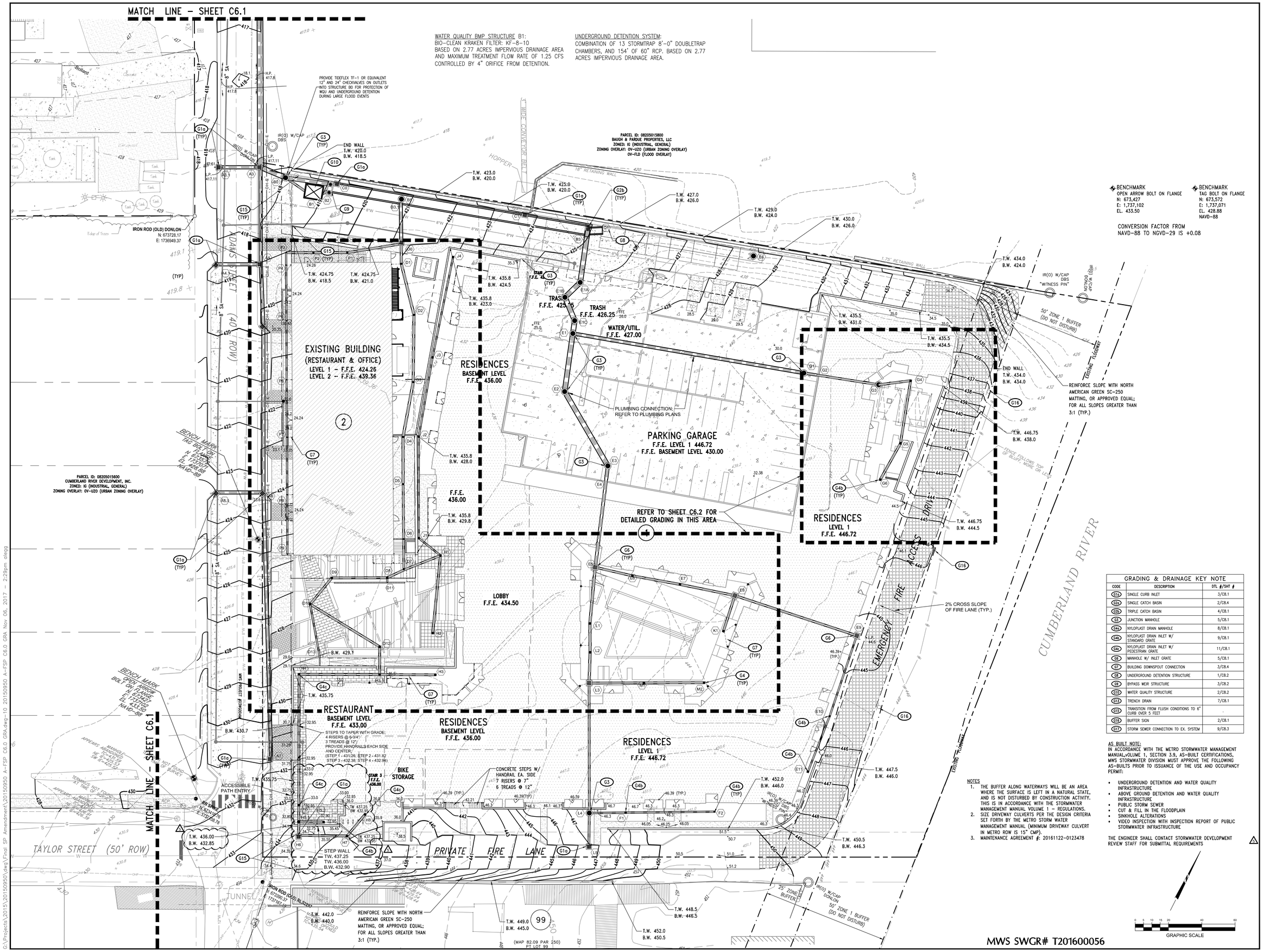

GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1a	SINGLE CURB INLET	3/C8.1
G2a	SINGLE CATCH BASIN	2/C8.4
G2b	TRIPLE CATCH BASIN	4/C8.1
G3	JUNCTION MANHOLE	5/C8.1
G4a	NYLOPLAST DRAIN MANHOLE	8/C8.1
G4b	NYLOPLAST DRAIN INLET W/ STANDARD GRATE	9/C8.1
G4c	NYLOPLAST DRAIN INLET W/ PEDESTRIAN GRATE	11/C8.1
G5	MANHOLE W/ INLET GRATE	5/C8.1
G7	BUILDING DOWNSPOUT CONNECTION	3/C8.4
G8	UNDERGROUND DETENTION STRUCTURE	1/C8.2
G9	BYPASS WEIR STRUCTURE	3/C8.2
G10	WATER QUALITY STRUCTURE	2/C8.2
G13	TRENCH DRAIN	7/C8.1
G15	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER 5 FEET	.
G16	BUFFER SIGN	2/C8.1
G17	STORM SEWER CONNECTION TO EX. SYSTEM	9/C8.3

AS BUILT NOTE:
IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL,VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE AND OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER
- CUT & FILL IN THE FLOODPLAIN
- SINKHOLE ALTERATIONS
- VIDEO INSPECTION WITH INSPECTION REPORT OF PUBLIC STORMWATER INFRASTRUCTURE

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS

NOTES
1. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 – REGULATIONS.
2. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
3. MAINTENANCE AGREEMENT #: 20161122-0123478

MWS SWGR# T201600056

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Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.10.20	REVISION 5
2017.09.28	20150950

C6.0

SITE GRADING & DRAINAGE

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PIPE TABLE

FROM CODE	FROM INV	TO CODE	TO INV	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
A1	404.98	A0	404.68	0.59%	30"	48	RCP
A2	405.83	A1	404.98	0.56%	30"	150	RCP
A2.1	410.43	A2	409.93	2.32%	18"	22	RCP
A3	406.42	A2	405.83	0.57%	30"	102	RCP
A3.1	411.50	A3	411.00	1.93%	18"	23	RCP
A4	413.12	A3	411.61	2.59%	18"	55	RCP
A4.1	413.78	A4	413.40	1.38%	18"	24	RCP
A5	414.40	A4	413.12	3.46%	18"	33	RCP
A6	415.50	A5	414.40	1.10%	18"	96	RCP
A6.1	418.00	A6	417.90	0.34%	18"	27	RCP
A7	425.65	A6	418.15	4.68%	15"	158	RCP
B0	407.01	A3	406.92	0.58%	24"	13	RCP
B1	407.18	B0	407.11	0.50%	12"	12	HDPE
B2	409.69	B1	409.68	0.29%	12"	3	HDPE
B2	409.69	B0	409.09	2.29%	24"	24	HDPE
B3	410.00	B2	409.69	0.20%	60"	154	RCP
D0	415.70	B3.1	415.30	1.64%	15"	23	RCP
D1	418.70	D0	417.23	12.26%	15"	9	HDPE
D2	419.25	D1	418.76	1.55%	15"	28	HDPE
D3	419.76	D2	419.25	1.26%	15"	37	HDPE
D4	420.04	D3	419.76	0.84%	15"	30	HDPE
D5	420.25	D4	420.04	0.75%	15"	25	HDPE

PIPE TABLE

FROM CODE	FROM INV	TO CODE	TO INV	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
D6	421.09	D5	420.50	1.82%	12"	30	HDPE
D7	421.97	D6	421.13	4.82%	12"	15	HDPE
D8	422.08	D7	421.97	1.00%	12"	8	HDPE
D9	422.72	D8	422.41	0.93%	12"	30	HDPE
D10	423.00	D9	422.72	1.37%	12"	16	HDPE
D11	425.00	D8	422.00	115.56%	8"	2	HDPE
D12	423.49	D10	423.00	1.00%	12"	45	HDPE
D13	426.00	D10	423.00	9.21%	8"	30	HDPE
E1	420.03	E1c	419.42	7.47%	24"	4	RCP
E1a	417.69	B3	415.36	7.47%	24"	25	RCP
E1b	418.47	E1a	417.69	6.12%	24"	9	RCP
E1c	419.42	E1b	418.47	6.25%	24"	11	RCP
E2	420.95	E1	420.00	2.84%	24"	31	RCP
E3	421.50	E2	421.04	0.93%	24"	48	RCP
E4	422.20	E3	422.00	2.51%	18"	6	RCP
E5	439.50	E4	433.25	11.71%	18"	52	DIP
E6	441.30	E5	441.00	1.31%	12"	20	HDPE
E7	441.70	E6	441.30	1.37%	12"	26	HDPE
E8	442.20	E7	441.70	1.49%	12"	31	HDPE
E9	442.90	E8	442.20	0.91%	12"	74	DIP
E10	443.50	E9	443.23	0.53%	8"	48	HDPE
E11	443.70	E10	443.50	0.56%	8"	33	HDPE

PIPE TABLE

FROM CODE	FROM INV	TO CODE	TO INV	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
F1	442.70	L4	442.40	1.37%	8"	18	HDPE
F2	443.00	F1	442.70	0.56%	8"	50	HDPE
G1	426.50	E1	420.78	4.07%	15"	137	RCP
G2	427.00	G1	426.75	3.30%	12"	6	RCP
G3	441.00	G2	435.50	14.50%	12"	36	DIP
G4	441.30	G3	441.10	1.04%	12"	16	HDPE
G5	441.85	G4	441.50	0.92%	12"	35	HDPE
G6	442.45	G5	442.05	1.60%	12"	22	HDPE
H1	422.50	D7	422.00	2.11%	12"	20	HDPE
H2	429.85	H1	429.60	0.53%	12"	44	HDPE
H3	430.00	H3.1	425.00	14.95%	12"	30	HDPE
H3.1	424.80	D12	423.50	7.79%	12"	14	HDPE
H4	429.10	H3.1	425.00	8.48%	12"	45	HDPE
H5	429.48	H4	429.10	0.48%	12"	76	HDPE
H5.1	429.53	H5	429.48	0.50%	12"	7	HDPE
H5.2	429.64	H5.1	429.53	0.74%	12"	11	HDPE
H6	429.57	H5.1	429.53	0.49%	12"	6	HDPE
H7	432.35	H6	429.53	9.72%	12"	29	HDPE
H8	433.00	H7	432.35	3.83%	12"	14	HDPE
J1	430.80	H1	429.60	7.18%	8"	13	HDPE
J2	431.10	J1	430.80	0.49%	8"	58	HDPE
J3	431.40	J2	431.10	0.62%	8"	45	HDPE

PIPE TABLE

FROM CODE	FROM INV	TO CODE	TO INV	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
J4	431.80	J3	431.40	0.65%	8"	58	HDPE
K1	442.50	E8	442.20	1.34%	12"	19	HDPE
L1	440.25	E5	439.75	1.48%	15"	31	HDPE
L2	440.50	L1	440.25	1.44%	15"	14	HDPE
L3	440.75	L2	440.50	1.35%	15"	15	HDPE
L4	442.00	L3	441.00	1.28%	12"	75	DIP
L5	442.50	L4	442.00	2.58%	12"	16	HDPE
M1	441.40	L3	441.00	1.22%	12"	30	HDPE
M2	441.80	M1	441.40	1.11%	12"	35	HDPE
N2	407.50	N1	406.84	2.94%	18"	20	RCP
P1	416.12	D0	415.95	0.52%	12"	30	HDPE
P2	416.25	P1	416.12	0.64%	12"	17	HDPE
P3	416.42	P2	416.25	1.04%	12"	13	HDPE
P4	417.02	P3	416.75	3.60%	8"	3	HDPE
P5	418.22	P4	417.02	3.58%	8"	30	HDPE
P6	419.49	P5	418.22	3.59%	8"	31	HDPE
P7	420.73	P6	419.49	3.59%	8"	31	HDPE
P8	421.97	P7	420.73	3.59%	8"	31	HDPE
P9	423.25	P8	421.97	3.60%	8"	32	HDPE
Q1	410.00	B3	410.00	0.00%	42"	7	RCP

STRUCTURE TABLE

CODE	DESCRIPTION	TOP GRATE
A0	EXISTING STORM TIE-IN STRUCTURE	415.30
A1	SINGLE CATCH BASIN	415.02
A2	SINGLE CURB INLET	416.31
A2.1	SINGLE CURB INLET	416.31
A3	SINGLE CURB INLET	417.11
A3.1	SINGLE CURB INLET	417.11
A4	SINGLE CURB INLET	418.62
A4.1	SINGLE CURB INLET	418.70
A5	SINGLE CURB INLET	419.90
A6	SINGLE CURB INLET	423.40
A6.1	SINGLE CURB INLET	423.50
A7	SINGLE CURB INLET	430.90
B0	JUNCTION BOX	418.10
B1	WATER QUALITY UNIT	419.00
B2	BYPASS WEIR STRUCTURE	419.63
B3	TRIPLE CATCH BASIN W/SOLID MH COVER	425.00
B3.1	CONNECTION	N/A
B4	ACCESS MANHOLE	428.61
B5	ACCESS MANHOLE	420.96
C0	SINGLE CURB INLET	419.20

STRUCTURE TABLE

CODE	DESCRIPTION	TOP GRATE
C1	SINGLE CURB INLET	423.70
D0	SINGLE CURB INLET	421.20
D1	12" HDPE INLET	423.00
D2	12" HDPE INLET	423.90
D3	12" HDPE INLET	424.00
D4	12" HDPE INLET	424.20
D5	12" HDPE INLET	424.00
D6	TRENCH DRAIN	424.10
D7	12" HDPE INLET (SOLID)	428.35
D8	12" HDPE INLET	428.20
D9	12" HDPE INLET	428.22
D10	12" HDPE INLET	430.05
D11	JUNCTION BOX	430.20
D12	12" HDPE INLET	431.55
D13	TRENCH DRAIN	429.70
E1	MANHOLE	426.00
E1a	JUNCTION BOX	425.25
E1b	JUNCTION BOX	425.25
E1c	JUNCTION BOX	N/A
E2	MANHOLE	435.00

STRUCTURE TABLE

CODE	DESCRIPTION	TOP GRATE
E3	MANHOLE	435.00
E4	PLUMBING CONNECTION	435.46
E5	SINGLE CATCH BASIN	445.30
E6	12" HDPE INLET	445.00
E7	12" HDPE INLET	445.00
E8	SINGLE CATCH BASIN	446.08
E9	SINGLE CATCH BASIN	446.88
E10	12" HDPE INLET	445.50
E11	12" HDPE INLET	445.80
F1	12" HDPE INLET	445.50
F2	12" HDPE INLET	445.50
G1	MANHOLE	430.92
G2	PLUMBING CONNECTION	437.04
G3	MANHOLE W/INLET GRATE	445.50
G4	12" HDPE INLET	445.40
G5	12" HDPE INLET	445.75
G6	12" HDPE INLET	445.50
H1	12" HDPE INLET	434.20
H2	12" HDPE INLET	434.10
H3	12" HDPE INLET	431.13

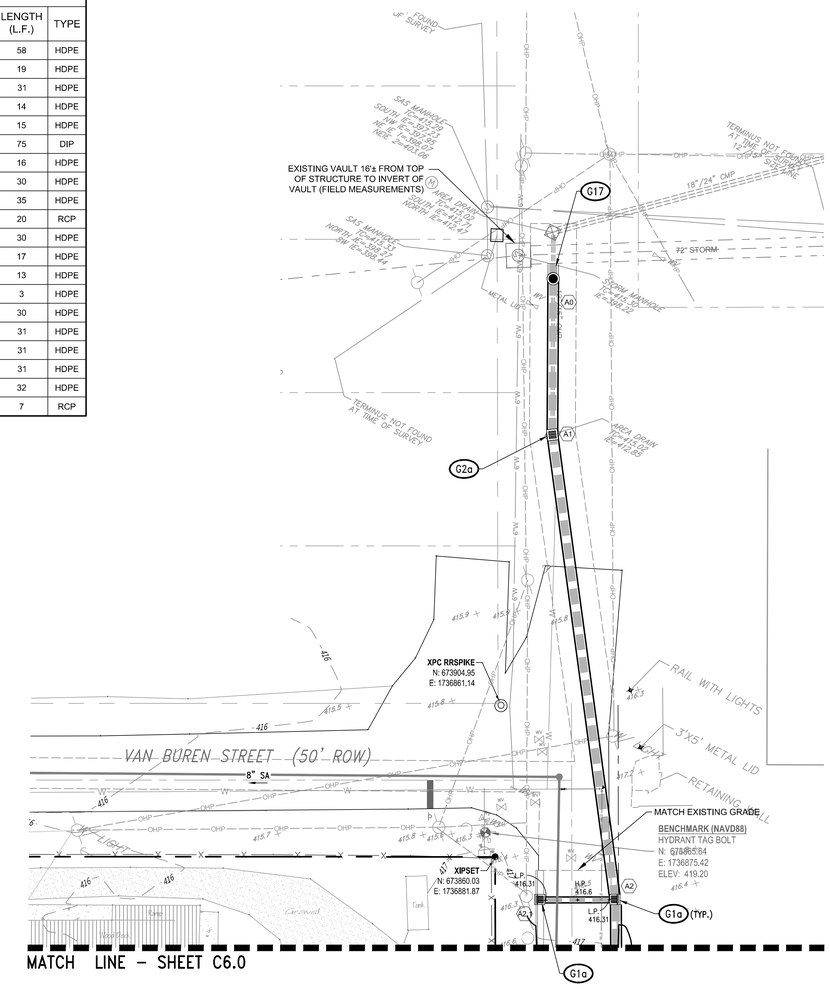
STRUCTURE TABLE

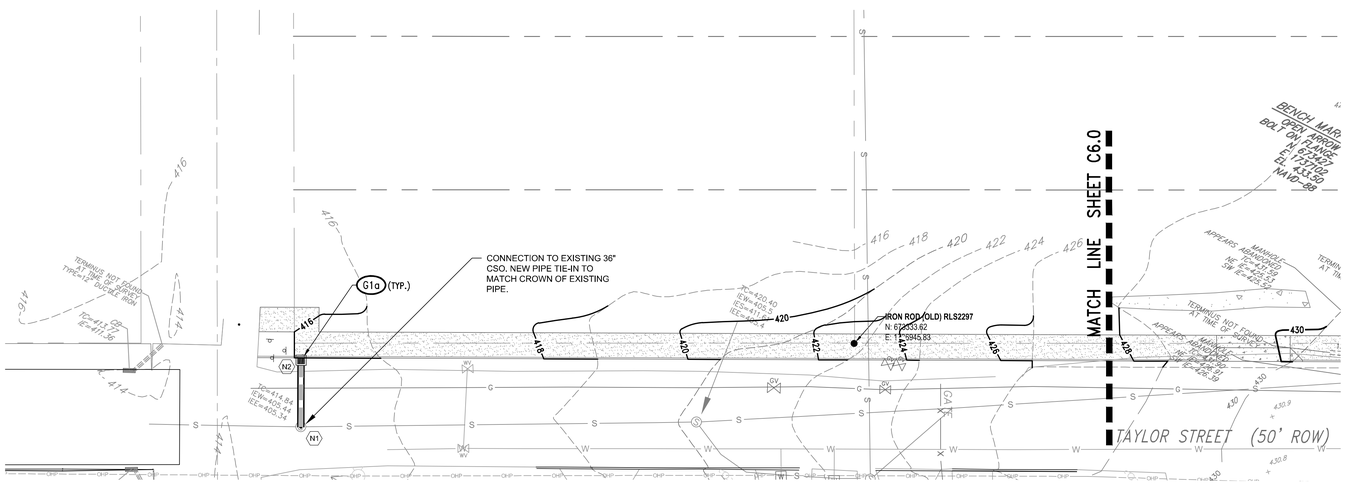
CODE	DESCRIPTION	TOP GRATE
H3.1	12" HDPE INLET	432.75
H4	12" HDPE INLET	430.23
H5	12" HDPE INLET *	432.85
H5.1	CLEANOUT	432.50
H5.2	12" HDPE INLET	432.90
H6	SINGLE CURB INLET	434.15
H7	12" HDPE INLET	435.90
H8	12" HDPE INLET	435.55
J1	12" HDPE INLET	434.55
J2	12" HDPE INLET	435.35
J3	12" HDPE INLET	435.20
J4	12" HDPE INLET	434.70
K1	12" HDPE INLET	445.25
L1	12" HDPE INLET	445.30
L2	12" HDPE INLET	445.35
L3	SINGLE CATCH BASIN	445.00
L4	JUNCTION MANHOLE	446.40
L5	SINGLE CURB INLET	446.50
M1	12" HDPE INLET	445.00
M2	12" HDPE INLET	445.00

STRUCTURE TABLE

CODE	DESCRIPTION	TOP GRATE
N1	EXIST INLET	414.84
N2	SINGLE CURB INLET	415.60
P1	12" HDPE INLET	424.10
P2	12" HDPE INLET	424.10
P3	12" HDPE INLET (SOLID)	419.79
P4	ROOF DRAIN CONNECTION	420.06
P5	ROOF DRAIN CONNECTION	421.27
P6	ROOF DRAIN CONNECTION	422.54
P7	ROOF DRAIN CONNECTION	423.78
P8	ROOF DRAIN CONNECTION	425.02
P9	ROOF DRAIN CONNECTION	426.29
Q1	STORMTRAP BOXES	414.32

* NOTE: 12" HDPE INLETS WITHIN PATIO/PAVER AREAS SHALL BE PEDESTRIAN/ADA COMPLIANT MODEL NDS #1214 MANGANESE BRONZE





GRADING & DRAINAGE KEY NOTE

CODE	DESCRIPTION	DTL #/SHT #
G1a	SINGLE CURB INLET	3/C8.1
G2a	SINGLE CATCH BASIN	2/C8.4
G2s	TRIPLE CATCH BASIN	4/C8.1
G3	JUNCTION MANHOLE	5/C8.1
G4a	NYLOPLAST DRAIN MANHOLE	8/C8.1
G4b	NYLOPLAST DRAIN INLET W/ STANDARD GRATE	9/C8.1
G4c	NYLOPLAST DRAIN INLET W/ PEDESTRIAN GRATE	11/C8.1
G4	MANHOLE W/ INLET GRATE	5/C8.1
G7	BUILDING DOWNSPOUT CONNECTION	3/C8.4
G8	UNDERGROUND DETENTION STRUCTURE	1/C8.2
G9	BYPASS WEIR STRUCTURE	3/C8.2
G10	WATER QUALITY STRUCTURE	2/C8.2
G13	TRENCH DRAIN	7/C8.1
G15	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER 5 FEET	-
G16	BUFFER SIGN	2/C8.1
G17	STORM SEWER CONNECTION TO EX. SYSTEM	9/C8.3

GRAPHIC SCALE

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.lean-c.com

Case No: 2016SP-005-003
SP PLAN AMENDMENT

HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

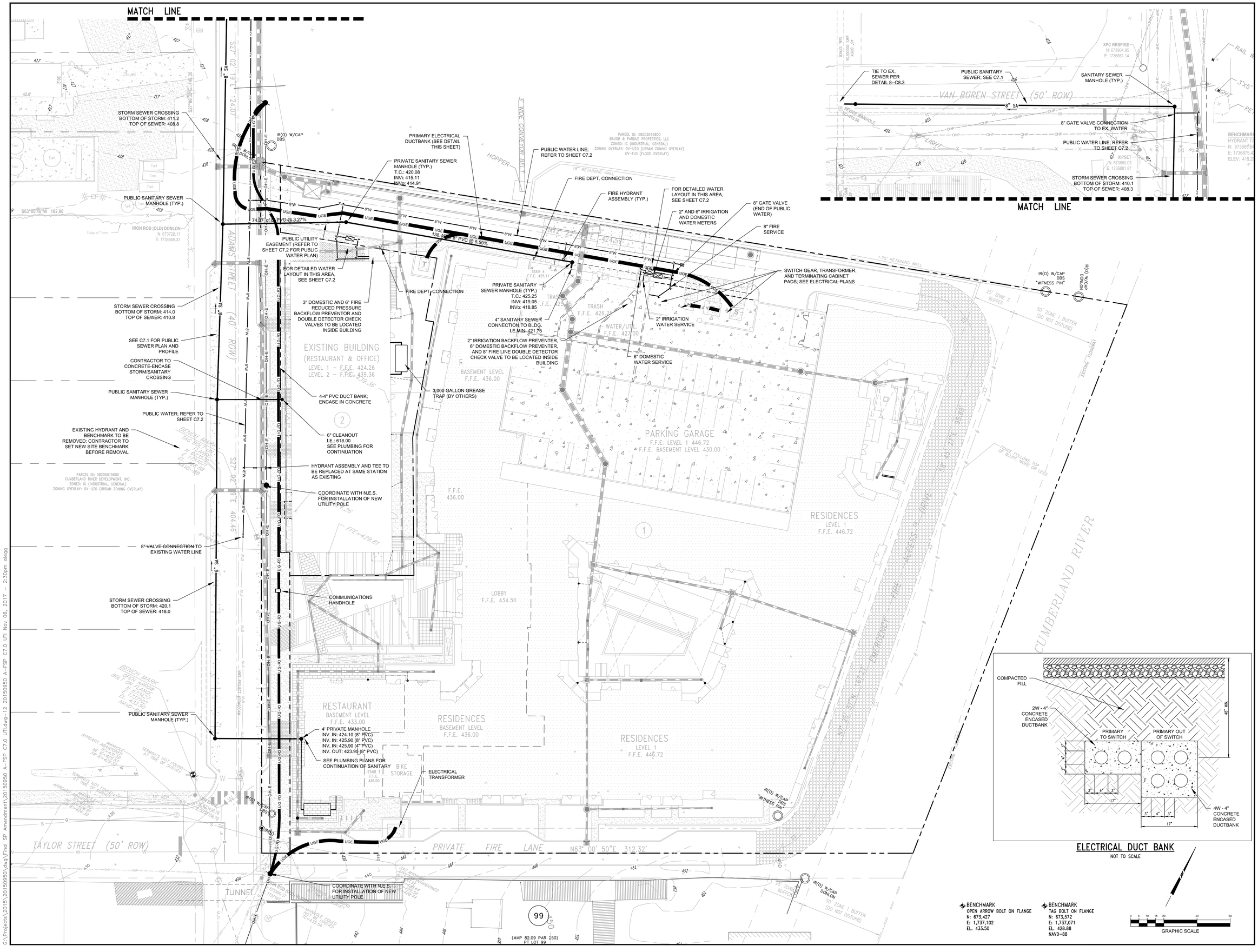
Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.10.20	REVISION 5
2017.09.28	20150950

C6.1

OFF-SITE GRADING & DRAINAGE

G:\Projects\2015\20150950\dwg\Final SP Amendment\20150950 A-FSP C6.0 GRA.dwg-11 20150950 A-FSP C6.1 GRA Nov 06, 2017 - 2:29pm alegg



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Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C7.0

SITE UTILITIES

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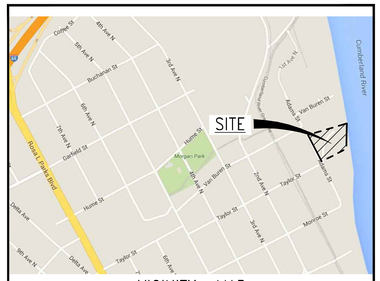


VICINITY MAP
NOT TO SCALE

SITE BM 1:
TAG BOLT ON FLANGE OF HYDRANT ON EASTERN SIDE OF ADAMS STREET ROW
ELEV: 428.88

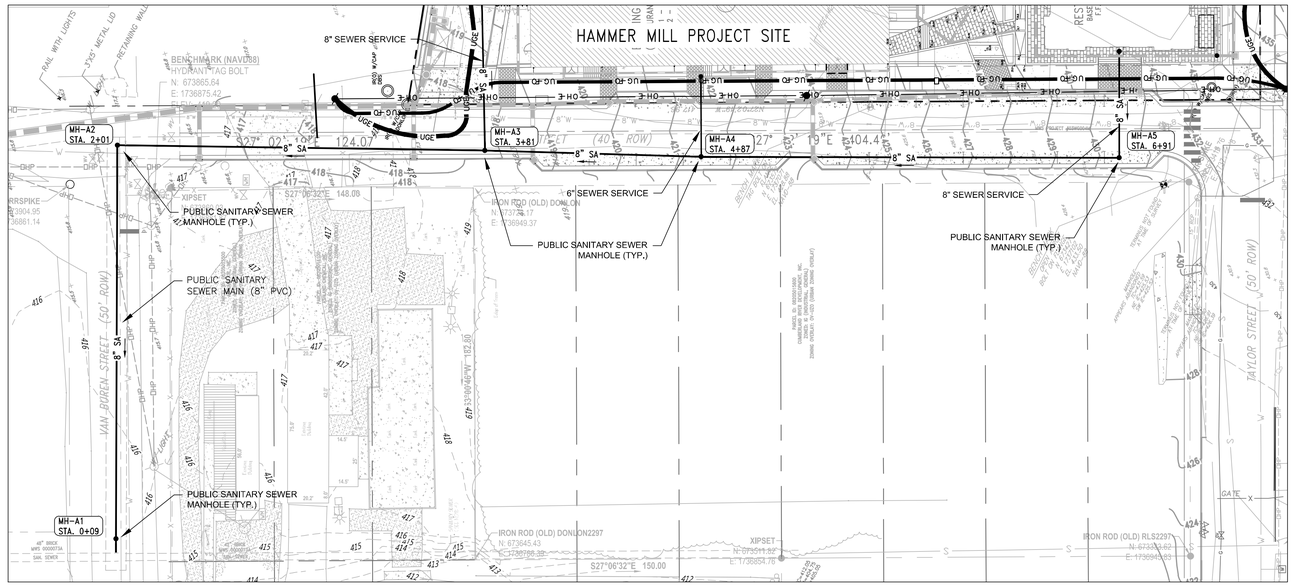
SITE BM 2:
OPEN ARROW BOLT ON FLANGE OF HYDRANT ON WESTERN SIDE OF ADAMS STREET ROW
ELEV: 433.50

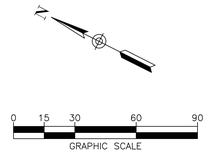
CALL BEFORE YOU DIG

CALL 811 NATIONWIDE

Know what's below. Call before you dig.

IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES IS WITHHELD.





METRO WATER & SEWER NOTES:

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER(S), THE CONTRACTOR IS RESPONSIBLE FOR THE TELEVISING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEOTAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COST SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
5. ALL CONNECTIONS TO EXISTING MANHOLE(S) SHALL BE BY THE CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTOR (R.P.B.P.) OR DUEL CHECK WILL BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE DEPARTMENT OF WATER SERVICES.
7. ALL WATER METER REGISTERS SHALL BE A MINIMUM OF 24" AND NOT EXCEEDING 28" BELOW FINISH GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF RECORD DRAWING PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL DWG FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICES LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES OR STATION, THE DEPTH TO TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER PLANS SHALL INCLUDE OFFSET DISTANCE FROM THE CURB/PAVEMENT EDGE, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE THERETO.
9. ALL WATER MAINS SHALL BE INSTALLED WITHIN A PAVED AREA, INCLUDING ALL BLOW-OFF ASSEMBLIES.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
11. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
12. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF ALL SITE UTILITIES PRIOR TO CONSTRUCTION.

SITE DATA

PROJECT NAME:	HAMMER MILL MULTIFAMILY
MAP/PARCEL:	82-05 / 159
USE	
EXISTING USE:	OPEN STORAGE
EXISTING ZONING:	IG (INDUSTRIAL GENERAL)
ZONING OVERLAY:	OV-UZO (URBAN ZONING OVERLAY) OV-FLD (FLOOD OVERLAY)
PROPOSED ZONING:	SP (SPECIFIC PLAN)
SITE DATA	
COUNCIL DISTRICT	19
COUNCIL MEMBER:	FREDDIE O'CONNELL
TOTAL SITE ACREAGE:	3.99 Ac. (173,812 SQ. FT.)
R.O.W. TO BE DEDICATED:	0.13 Ac. (5,872 SQ. FT.)
LOT 1:	3.47 Ac. (151,129 SQ. FT.)
LOT 2:	0.39 Ac. (16,811 SQ. FT.)
DEVELOPER:	TRIBRIDGE RESIDENTIAL
ADDRESS	1575 NORTHSIDE DRIVE BUILDING 100, SUITE 200 ATLANTA, GA 30318
PHONE NO.	404.352.2800
CONTACT NAME	WILLIAM NORRIS
EMAIL	williamn@tribridgeres.com
APPLICANT	LITTLEJOHN
ADDRESS	1935 21st AVE. SOUTH NASHVILLE, TN 37212
PHONE NO.	615.385.4144
FAX NO.	615.385.4020
CONTACT NAME	MR. ANDREW WOLTHERS
EMAIL	awolthers@smslnc.com

VERTICAL 0 1.5 3 6 9 GRAPHIC SCALE

HORIZONTAL 0 15 30 60 90 GRAPHIC SCALE

MWS No. 16-WL-148 & 16-SL-169

Littlejohn
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Case No: 2016SP-005-003
SP PLAN AMENDMENT

HAMMER MILL MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C7.1

PUBLIC SANITARY SEWER

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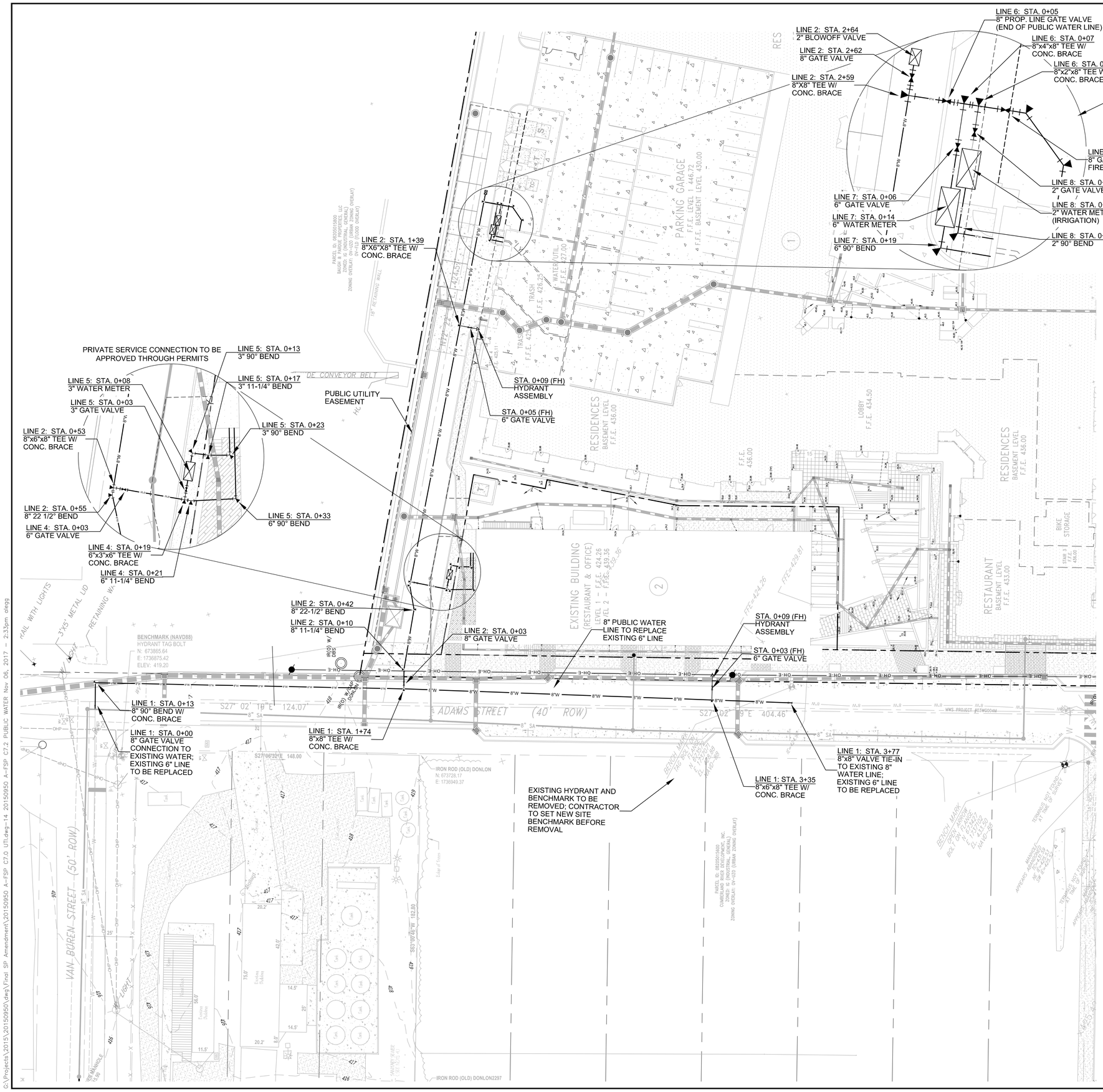

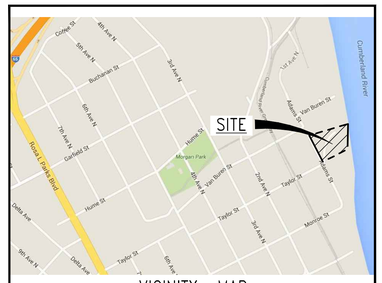

VICINITY MAP
NOT TO SCALE

SITE BM 1:
TAG BOLT ON FLANGE OF HYDRANT ON EASTERN SIDE OF ADAMS STREET ROW
ELEV: 428.88

SITE BM 2:
OPEN ARROW BOLT ON FLANGE OF HYDRANT ON WESTERN SIDE OF ADAMS STREET ROW
ELEV: 433.50

Know what's below.
Call before you dig.

NOTES:
1. REFER TO SHEET C7.1 FOR SANITARY SEWER PLAN AND PROFILE.
2. REFER TO SHEET C7.1 FOR METRO WATER AND SEWER NOTES.

MWS No. 16-WL-148 & 16-SL-169

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.lean-c.com

Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C7.2

PUBLIC WATER PLAN

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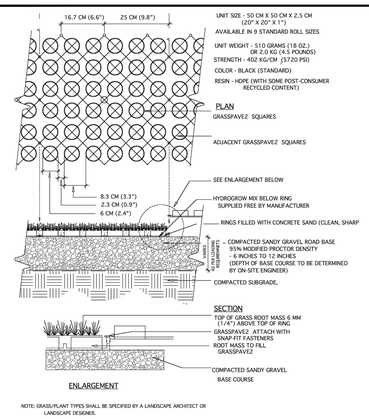
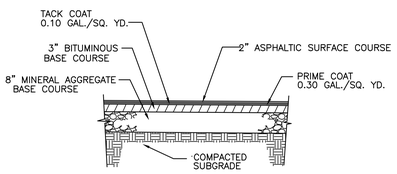


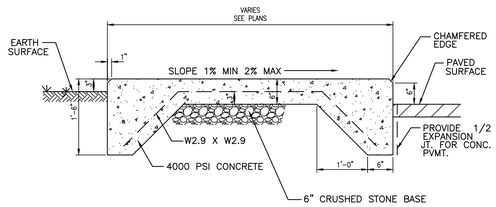
12 GRASS PAVERS

NO SCALE



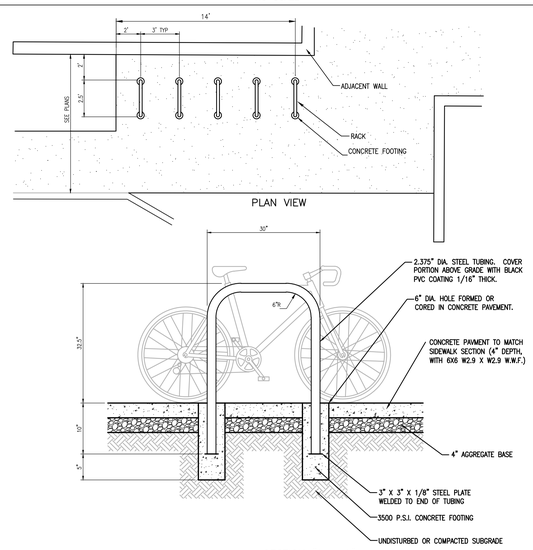
13 ASPHALT PAVEMENT

NO SCALE



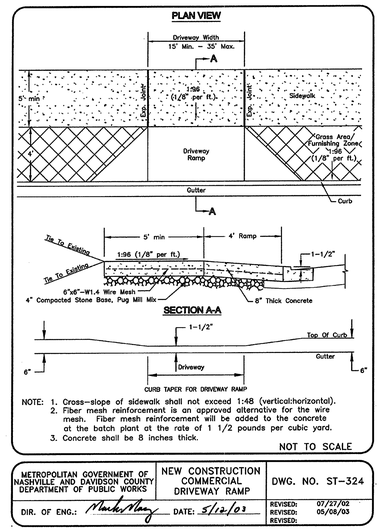
14 UTILITY PAD

NO SCALE



15 BICYCLE RACK AND PAD

NO SCALE

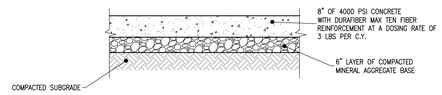


NOTE:
1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).
2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.
3. Concrete shall be 8 inches thick.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: Mark Macy DATE: 5/12/03		REVISED: 07/27/02 REVISED: 05/08/03 REVISED:

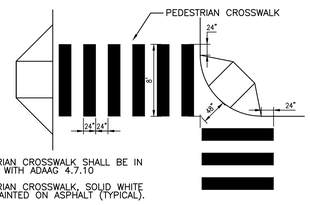
8 DRIVEWAY RAMP

NO SCALE



9 CONCRETE PAVEMENT

NO SCALE



NOTE:
1. PEDESTRIAN CROSSWALK SHALL BE IN COMPLIANCE WITH ADAAG 4.7.10
2. PEDESTRIAN CROSSWALK, SOLID WHITE MARKINGS PAINTED ON ASPHALT (TYPICAL).
3. PAINT 12" WIDE STRIPES AS INDICATED. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC PER METRO STANDARDS.

10 PEDESTRIAN CROSSWALK

NO SCALE

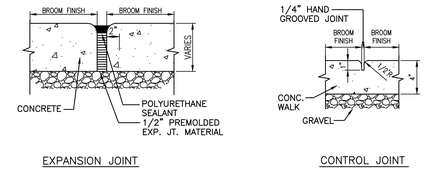
NOTES:

1. CURB RAMPS SHALL BE PROVIDED TO ALLOW ALL USERS TO MAKE THE TRANSITION IN GRADE FROM THE STREET TO THE SIDEWALK.
2. CURB RAMPS SHALL BE CONSTRUCTED TO THE DIMENSIONS AND FINISHED ELEVATIONS AS SPECIFIED IN THE PLANS AND/OR CONTRACT DOCUMENTS AND SHALL ALSO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. SURFACE TEXTURE OF THE CURB RAMP SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. CARE SHALL BE TAKEN TO ASSURE AN UNIFORM GRADE ON THE CURB RAMP. LONGITUDINAL AND TRANSVERSE JOINT MARKINGS SHALL NOT BE ALLOWED ON THE LANDINGS OR RAMPS.
3. DRAINAGE AND UTILITY STRUCTURES SHALL NOT BE PLACED IN CURB RAMP OR LANDING.
4. THE GUTTER LINE PROFILE OF THE STREET SHALL BE MAINTAINED THROUGH THE AREA OF THE CURB RAMP.
5. THE FURNISHING ZONE BUFFERS PEDESTRIANS FROM THE ADJACENT ROADWAY, AND IS ALSO THE AREA WHERE ELEMENTS SUCH AS STREET TREES, SIGNAL POLES, UTILITY POLES, STREET LIGHTS, CONTROLLER BOXES, HYDRANTS, SIGNS, PARKING METERS, DRIVEWAY APRONS, GRATES, HATCH COVERS, AND STREET FURNITURE ARE PROPERLY LOCATED.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB RAMP NOTES	DWG. NO. ST-215
ASST. DIR. ENG.: Mark Macy DATE: 11/21/00 DIRECTOR: DATE: 11-20-00		REVISED: 11/10/00

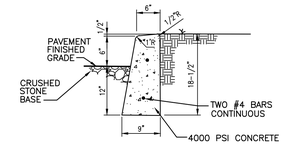
11 STD. CURB RAMP NOTES

NO SCALE



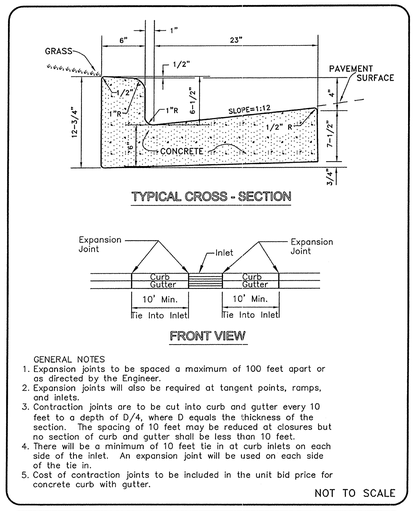
4 SIDEWALK JOINTS (PRIVATE)

NO SCALE



5 CONCRETE POST CURB (PRIVATE)

NO SCALE



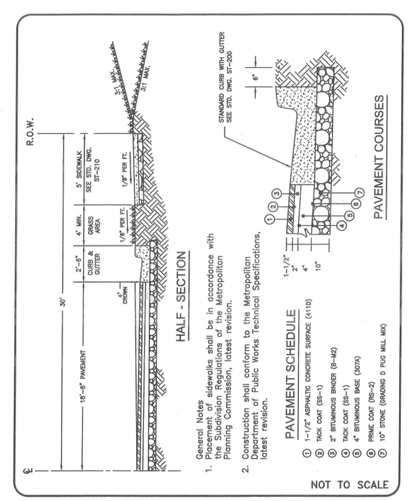
GENERAL NOTES
1. Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
2. Expansion joints will also be required at tangent points, ramps, and inlets.
3. Contraction joints are to be cut into curb and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
4. There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
5. Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: Mark Macy DATE: 5/12/03		REVISED: 07/21/00 REVISED: 05/02/03 REVISED:

6 STANDARD CURB WITH GUTTER

NO SCALE



General Notes
1. Pavement and sidewalks shall be in accordance with the Subdivision Regulations of the Metropolitan Planning Commission, latest revision.
2. Construction shall conform to the Metropolitan Department of Public Works Technical Specifications, latest revision.

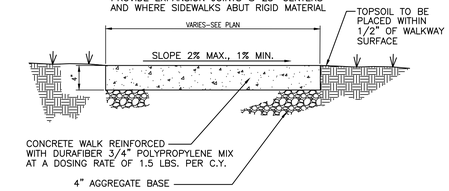
PAVEMENT SCHEDULE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NON-RESIDENTIAL LOCAL STREET (60' R.O.W.)	DWG. NO. ST-260
ASST. DIR. ENG.: Mark Macy DATE: 5/3/01 DIRECTOR: K Davis DATE: 5/3/01		REVISED: 04/09/01

7 LOCAL STREET (60' R.O.W.)

NO SCALE

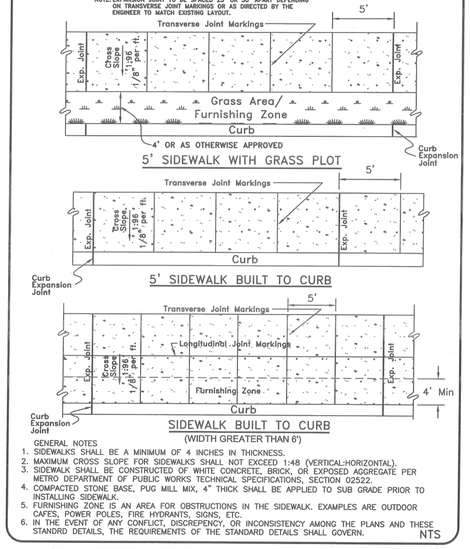
USE 3500 PSI CONCRETE;
PROVIDE CONTROL JOINTS @ 5' CENTERS
PROVIDE EXPANSION JOINTS @ 25' CENTERS
AND WHERE SIDEWALKS ABUT RIGID MATERIAL



1 CONCRETE SIDEWALK (PRIVATE)

NO SCALE

NOTE: EXPANSION JOINT TO BE SPACED 25' OR 30' APART DEPENDING ON TRANSVERSE JOINT MARKINGS OR AS DIRECTED BY THE ENGINEER TO MATCH EXISTING LAYOUT.



GENERAL NOTES
1. SIDEWALKS SHALL BE A MINIMUM OF 4 INCHES IN THICKNESS.
2. MAXIMUM CROSS SLOPE FOR SIDEWALKS SHALL NOT EXCEED 1:48 (VERTICAL:HORIZONTAL).
3. SIDEWALK SHALL BE CONSTRUCTED OF WHITE CONCRETE, BRICK, OR EXPOSED AGGREGATE PER METRO DEPARTMENT OF PUBLIC WORKS TECHNICAL SPECIFICATIONS, SECTION 02522.
4. COMPACTED STONE BASE, PUG MILL MIX, 4" THICK SHALL BE APPLIED TO SUB GRADE PRIOR TO INSTALLING SIDEWALK.
5. FURNISHING ZONE IS AN AREA FOR OBSTRUCTIONS IN THE SIDEWALK. EXAMPLES ARE OUTDOOR CAFES, POWER POLES, FIRE HYDRANTS, SIGNS, ETC.
6. IN THE EVENT OF ANY CONFLICT, DISCREPENCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.

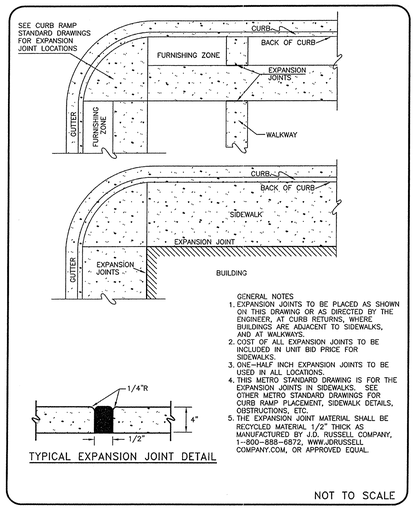
NTS

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210
DIR. OF ENG.: Mark Macy DATE: 7/15/04		REVISED: 05/02/03 REVISED: 11/24/03 REVISED: 06/23/04

4" OF 3500 PSI CONCRETE REINFORCED WITH DURAFIBER ¾" POLYPROPYLENE MIX AT A DOSING RATE OF 1.5 LBS PER C.Y.

2 CONCRETE SIDEWALK (PUBLIC)

NO SCALE



GENERAL NOTES
1. EXPANSION JOINTS TO BE PLACED AS SHOWN ON THIS DRAWING OR AS DIRECTED BY THE ENGINEER, AT CURB RETURNS, WHERE BUILDINGS ARE ADJACENT TO SIDEWALKS, AND AT WALKWAYS.
2. COST OF ALL EXPANSION JOINTS TO BE INCLUDED IN UNIT BID PRICE FOR SIDEWALKS.
3. ONE-HALF INCH EXPANSION JOINTS TO BE USED IN ALL LOCATIONS.
4. THIS METRO STANDARD DRAWING IS FOR THE EXPANSION JOINTS IN SIDEWALKS. SEE OTHER METRO STANDARD DRAWINGS FOR CURB RAMP PLACEMENT, SIDEWALK DETAILS, OBSTRUCTIONS, ETC.
5. THE EXPANSION JOINT MATERIAL SHALL BE RECYCLED MATERIAL 1/2" THICK AS MANUFACTURED BY J.D. RUSSELL COMPANY, 1-800-888-6872, WWW.JDRUSSELL COMPANY.COM, OR APPROVED EQUAL.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD EXPANSION JOINT FOR CONCRETE SIDEWALK	DWG. NO. ST-209
DIR. OF ENG.: Mark Macy DATE: 5/12/03		REVISED: 03/01/02 REVISED: 05/02/03 REVISED:

3 STD. EXPANSION JOINT FOR SIDEWALK

NO SCALE

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.lsamc.com

Case No: 20165P-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

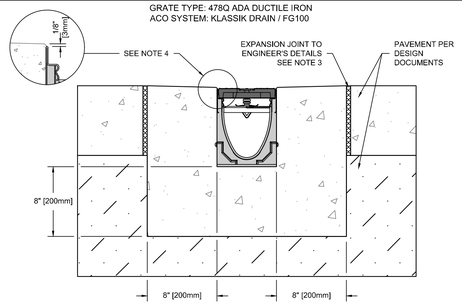
DATE	REVISIONS
2017.09.28	20150950

C8.0

SITE DETAILS

G:\Projects\2015\20150950\dwg\Final SP Amendment\20150950 A-FSP C8.0 DTL.dwg-15 20150950 A-FSP C8.0 DTL Nov 06, 2017 – 2:35pm alegg

K1-E-ECP GALV



NOTES:
1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. *ENGINEERING ADVICE MAY BE REQUIRED.*
2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. *ENGINEERING ADVICE MAY BE REQUIRED.*
4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

SPECIFICATION CLAUSE

K100 KLASSIKDRAIN - LOAD CLASS E

GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 PSI
FLEXURAL STRENGTH:	4,000 PSI
TENSILE STRENGTH:	1,500 PSI
WATER ABSORPTION:	0.07%
FROST PROOF	YES
DILUTE ACID AND ALKALI RESISTANT	YES
B117 SALT SPRAY TEST COMPLIANT	YES

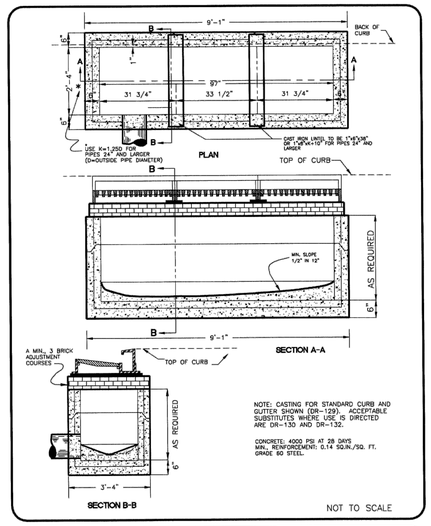
THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1° (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "I" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'QUICKLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

10 RESERVED
NO SCALE

7 TRENCH DRAIN
NO SCALE

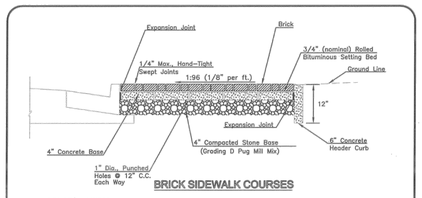


NOTE: CASTING FOR STANDARD CURB AND GUTTER SHOWN (DR-129). ACCEPTABLE SUBSTITUTES WHERE USE IS DIRECTED ARE DR-130 AND DR-132.

CONCRETE: 4000 PSI AT 28 DAYS MIN. REINFORCEMENT: 0.14 SQ.IN./SQ. FT. GRADE 60 STEEL.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	TRIPLE INLET (PRECAST)	DWG. NO. DR-115
ASST. DIR. ENG.: DATE: / DIRECTOR: DATE: 3/14/00		REVISED: 03/02/00

4 TRIPLE CATCH BASIN
NO SCALE



BRICK SIDEWALK COURSES

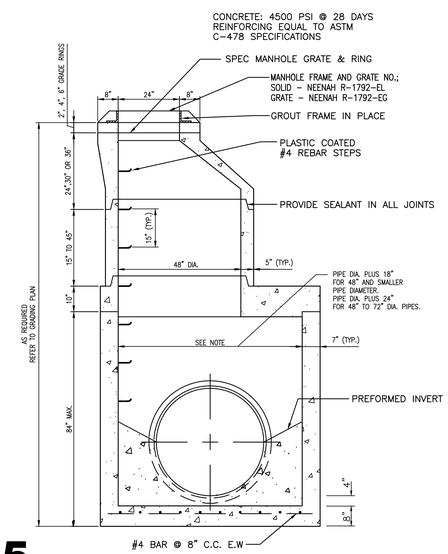
GENERAL NOTES

1. Thickness of the finished setting bed shall be no more than 1 inch or less than 1/2 inch. The setting bed shall be rolled with a power roller to a nominal depth of 3/4 inch. The thickness shall be adjusted so that when the brick is placed the top surface of the brick shall be at the required finished grade. However under no circumstances shall the setting bed exceed 1 inch.
2. Hand-tight joints shall be filled by sweeping a dry mixture of one part colored portland cement to match color of brick and three parts sand until joints are flush with top surface. Fog lightly with water. Joints may recede up to 1/8 inch.
3. A coating of 2 percent neoprene-modified asphalt shall be applied by squeegeeing or troweling over the top surface of the bituminous setting bed so as to provide a bond under the brick.
4. Brick sidewalk shall include all labor and materials required for installation as noted on the above detail (including concrete base) or as directed by the Engineer. Cost of removal of existing sidewalk shall also be included in this item.
5. There will be no separate payment for laying brick in special patterns. The following are some of the patterns that will be used, but not limited to: herringbone pattern, basket weave pattern, and stretcher pattern.
6. Prime concrete base with emulsified asphalt (RS-1 or CRS-1) if there is to be vehicular traffic over the brick.
7. Cross-slope of brick sidewalk shall not exceed 1:48 (vertical:horizontal).

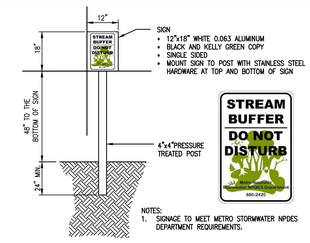
NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	BRICK SIDEWALK WITH CONCRETE BASE	DWG. NO. ST-500
DIR. OF ENG.: DATE: 5/12/03		REVISED: 04/13/01 REVISED: 05/08/03 REVISED:

1 BRICK SIDEWALK DETAIL
NO SCALE



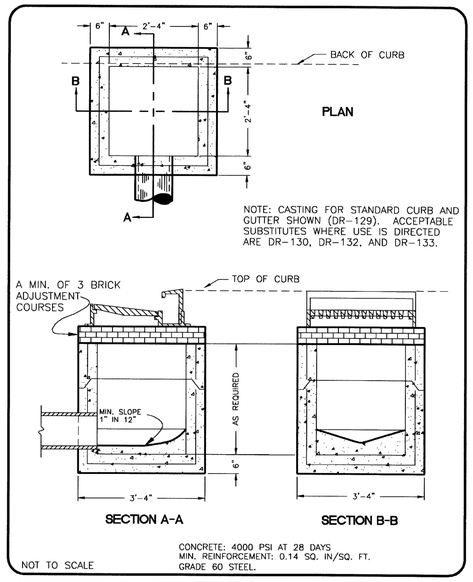
5 JUNCTION MANHOLE
NO SCALE



SIGN
- 12"x18" WHITE 0.063 ALUMINUM
- BLACK AND KELLY GREEN COPY
- SINGLE SIDED
- MOUNT SIGN TO POST WITH STAINLESS STEEL HARDWARE AT TOP AND BOTTOM OF SIGN

NOTES:
1. SIGNAGE TO MEET METRO STORMWATER NPDES DEPARTMENT REQUIREMENTS.

2 METRO BUFFER SIGN
NO SCALE



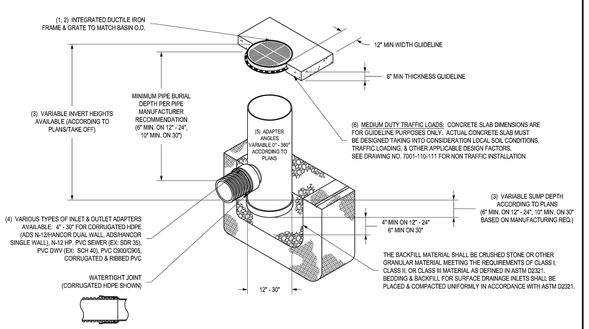
CONCRETE: 4000 PSI AT 28 DAYS
MIN. REINFORCEMENT: 0.14 SQ. IN/SQ. FT.
GRADE 60 STEEL.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SINGLE INLET (PRECAST)	DWG. NO. DR-105
ASST. DIR. ENG.: DATE: / DIRECTOR: DATE: 3/14/00		REVISED: 02/08/00

3 SINGLE CURB INLET
NO SCALE

11 NYLOPLAST DRAIN W/PEDESTRIAN GRATE
NO SCALE

NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE



1 - 12" - 30" PEDESTRIAN GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
6 - 12" - 24" PEDESTRIAN GRATES SHALL MEET H-20 LOAD RATING.
7 - 30" PEDESTRIAN GRATE SHALL MEET H-20 LOAD RATING (SEE DRAWING NO. 7001-110-144 FOR H-20 TRAFFIC LOAD GUIDELINES).

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DRAWN BY	EBC	MATERIAL	PVC
DATE	4-20-07		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-11-16		
DWG SIZE	A	SCALE 1:40	SHEET 1 OF 1

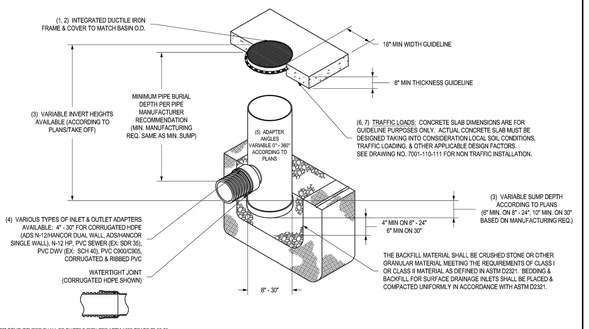
Nyloplast — 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com

TITLE: DRAIN BASIN WITH PEDESTRIAN GRATE QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-283 REV D

8 NYLOPLAST DRAIN MANHOLE
NO SCALE

NYLOPLAST DRAIN BASIN WITH SOLID COVER



1 - 8" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
8" & 10" SOLID COVERS FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
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5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
6 - 12" - 30" STANDARD GRATES SHALL MEET H-20 LOAD RATING.
7 - 8" & 10" SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY	EBC	MATERIAL	
DATE	1-23-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-11-16		
DWG SIZE	A	SCALE 1:40	SHEET 1 OF 1

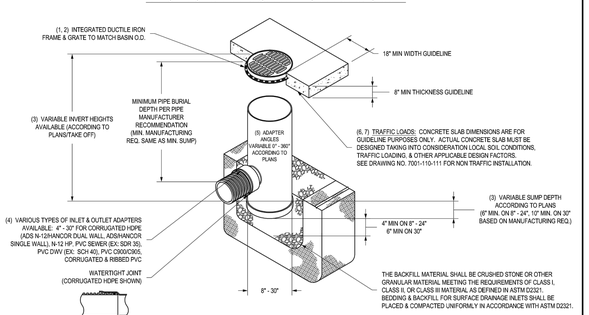
Nyloplast — 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com

TITLE: DRAIN BASIN WITH SOLID COVER QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-208 REV C

6 RESERVED
NO SCALE

NYLOPLAST DRAIN BASIN WITH STANDARD GRATE



1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
8" & 10" STANDARD GRATES FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
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6 - 12" - 30" STANDARD GRATES SHALL MEET H-20 LOAD RATING.
7 - 8" & 10" STANDARD GRATES ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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DRAWN BY	EBC	MATERIAL	
DATE	1-23-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-11-16		
DWG SIZE	A	SCALE 1:40	SHEET 1 OF 1

Nyloplast — 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com

TITLE: DRAIN BASIN WITH STANDARD GRATE QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-144 REV H

9 NYLOPLAST DRAIN W/ STANDARD GRATE
NO SCALE

Littlejohn
An S&ME Company
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Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
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ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C8.1

SITE DETAILS

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RECOMMENDED ACCESS OPENING SPECIFICATION

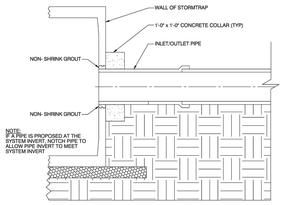
1. A TYPICAL ACCESS OPENING FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 2'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST RETAIN AT LEAST 1'-0" OF CLEARANCE IN ALL DIRECTIONS FROM THE EDGE OF THE STORMTRAP UNITS.
2. PLASTIC COATED STEEL STEPS PRODUCED BY M.A. INDUSTRIES PART #PS3-PFC (SEE SPECIFICATION SHEET) MAY BE PROVIDED IN LIEU OF THE PRECAST CONCRETE STEPS. THE HIGHEST STEP IN THE UNIT IS TO BE PLACED A DISTANCE OF 1'-0" FROM THE INSIDE EDGE OF THE STORMTRAP UNITS. ALL ENDLING STEPS SHALL BE PLACED WITH A MAXIMUM DISTANCE OF 12" BETWEEN STEPS. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE UNIT.
3. STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO COINCIDE WITH THE ACCESS OPENING ON THE CENTER OF GRAVITY OF THE UNIT AS NEEDED.
4. STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
5. ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE REGULATORY REQUIREMENTS FOR PERSONNEL ENTRANCE AT LEAST ONE ACCESS OPENING PER SYSTEM FOR ACCESS AND INSPECTION.
6. USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2' TO USE PRECAST BARREL OR CONE SECTIONS. (BY OTHERS)

RECOMMENDED PIPE OPENING SPECIFICATION

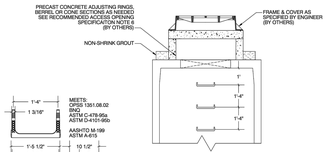
1. MINIMUM EDGE DISTANCE FOR AN OPENING ON THE OUTSIDE WALL SHALL BE NO LESS THAN 1'-0".
2. MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE 3'-00" OR LESS. ANY OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE REVIEWED BY THE STORMTRAP ENGINEERING DEPARTMENT.
3. CONNECTING PIPES SHALL BE INSTALLED WITH A 1'-0" CONCRETE COLLAR, AND A AGGREGATE CRADLE FOR AT LEAST ONE PIPE LENGTH, AS SHOWN. A STRUCTURAL GRADE CONCRETE OR GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
4. THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

RECOMMENDED PIPE INSTALLATION INSTRUCTIONS

1. CLEAN AND LIGHTLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
2. IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
3. ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.



FOUNDATION PIPE CONNECTION



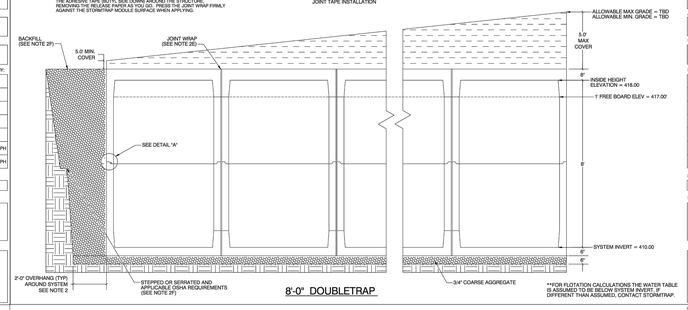
RISER / STAIR DETAIL

STAIR DETAIL

STORMTRAP INSTALLATION SPECIFICATION

1. STORMTRAP MODULES SHALL BE MANUFACTURED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/ OUTLET PIPE OPENINGS.
2. STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C891-06, STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES. THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS SHALL APPLY:
   A. SPECIFICATIONS ON THE ENGINEERS DRAWINGS SHALL TAKE PRECEDENCE.
   B. STORMTRAP MODULES SHALL BE PLACED ON A LEVEL PAD OF 3/4" AGGREGATE, THAT EXTENDS 2-0" PAST THE OUTSIDE OF THE SYSTEM. PER ASTM C891-06 SECTION 5.1.1 AND 5.1.2 FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES.
   C. THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 1/4". IF THE SPACE EXCEEDS 3/4", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO THE PAD UNDER THE MODULES TO ACHIEVE THE REQUIREMENT.
   D. THE HORIZONTAL JOINT OF THE STORMTRAP MODULES SHALL BE SEALED TO THE FOUNDATION WITH PREFORMED MASTIC JOINT SEALER ACCORDING TO ASTM C891-06, 8.8 AND 9.10. SEE DETAIL "A"
   E. ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH A FLEXIBLE, WATER TIGHT COVERING CONSISTING OF EPOXY RESIN BONDED TO A WOVEN HIGHLY PUNCTURE RESISTANT POLYMER WRAP CONFORMING TO ASTM C891-06 AND SHALL BE 9-IP INTEGRATED PRIMER SEALANT AND 9-IP WRAP WIDE CENTERED ON THE JOINT. THE JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
      1. USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE THE JOINT WRAP IS TO BE APPLIED.
      2. A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (BUTYL SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
   F. THE FILL PLACED AROUND THE STORMTRAP UNITS MUST BE DEPOSITED ON BOTH SIDES AT THE SAME TIME AND TO APPROXIMATELY THE SAME ELEVATION. AT NO TIME SHALL THE FILL BEHIND ONE SIDE WALL BE MORE THAN 2-0" HIGHER THAN THE FILL BEHIND THE OPPOSITE SIDE WALL. ALL FILL MATERIAL SHALL BE COMPACTED TO MINIMUM 95% PROCTOR DENSITY OR OTHERWISE DIRECTED BY ENGINEER. CARE SHALL BE TAKEN TO PREVENT ANY WEDGING ACTION AGAINST THE STRUCTURE, AND ALL MATERIAL IMMEDIATELY ADJACENT TO THE STRUCTURE SHALL BE HAND PLACED OR SERVATED TO PREVENT WEDGE ACTION. (REFERENCE ARTICLE 300.10.D.D.1.1, S.S.R.E.) CARE SHALL ALSO BE TAKEN AS NOT TO DISRUPT THE JOINT WRAP FROM THE JOINT DURING THE BACKFILL PROCESS. BACKFILL MATERIAL SHALL BE CLEAN, CRUSHED, ANGULAR No.5 (AASHTO M43) AGGREGATE.

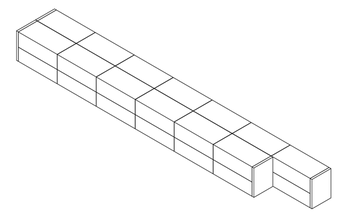
DETAIL "A"
JOINT TAPE INSTALLATION



8'-0" DOUBLETRAP

STORMTRAP SPECIFICATION

1. TOTAL COVER: MIN. 5.0' MAX. 5.0' CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
2. CONCRETE CHAMBER DESIGNED FOR AASHTO HS-20 WHEEL LOAD MIN. SOIL PRESSURE 3000 PSF.
3. SITE SPECIFIC DESIGN REQUIRED SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.
4. FOR STRUCTURAL CALCULATIONS THE WATER TABLE IS ASSUMED TO BE BELOW SYSTEM INVERT. IF DIFFERENT THAN ASSUMED, CONTACT STORMTRAP.
5. FOR STRUCTURAL CALCULATIONS THE SOIL DENSITY IS ASSUMED TO BE 120 PCF.
6. FOR FLOTATION CALCULATIONS THE WATER TABLE IS ASSUMED TO BE BELOW SYSTEM INVERT. IF WATER TABLE IS DIFFERENT, CONTACT STORMTRAP.
7. STORMTRAP IS NOT WATERTIGHT. CONTACT STORMTRAP FOR WATERTIGHT OPTIONS. WATERTIGHT APPLICATION TO BE PROVIDED BY OTHERS.



HAMMER MILL MF

NASHVILLE, TN

DESIGN ASSUMPTIONS

COVER:	MIN: 5.0' - MAX: 5.0'
GROUNDWATER TABLE:	BELOW SYSTEM INVERT
SOIL PRESSURE:	3000 PSF
LOADING:	HS-20 WHEEL LOAD

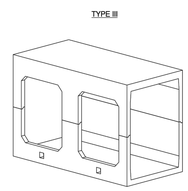
SHEET INDEX

PAGE	DESCRIPTION	REV.
0.0	COVER SHEET	2
1.0	DOUBLETRAP INSTALLATION SPECIFICATIONS	2
3.0	DOUBLETRAP INSTALLATION SPECIFICATIONS	2
3.0	LAYOUT DETAIL	2
4.0	STANDARD - 8'-0" DOUBLETRAP UNIT TYPES	2

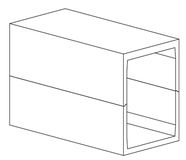
JOB SITE INFORMATION

DESCRIPTION	
JOB NAME:	HAMMER MILL MF
JOB ADDRESS:	NASHVILLE, TN
ENGINEERING CO:	JEN HILL
CONTACT NAME:	
CONTACT PHONE:	
CONTACT FAX:	
STORM TRAP SUPPLIER:	STORMTRAP
CONTACT NAME:	SCOTT PANNELL
CONTACT PHONE:	704-432-3197
CONTACT EMAIL:	SPANNELL@STORMTRAP.COM
WATER STORAGE REQ'D: @ ELEV 417.00	7,794 CUBIC FEET
WATER STORAGE PROV: @ ELEV 417.00	7,794 CUBIC FEET
UNIT HEADROOM:	8'-0" DOUBLETRAP
UNIT QUANTITY:	13 UNITS - 26 TOTAL PIECES

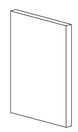
Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.smeinc.com



TYPE III



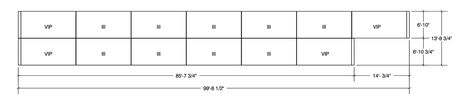
TYPE VI



PANEL

BILL OF MATERIALS

QTY	PART NO.	DESCRIPTION	70% FULL WEIGHT #	BASE WEIGHT #
0	TYPE I	8'-0" DOUBLETRAP TYPE I	13305	11195
0	TYPE II	8'-0" DOUBLETRAP TYPE II	8375	7490
9	TYPE III	8'-0" DOUBLETRAP TYPE III	14800	12510
0	TYPE IV	8'-0" DOUBLETRAP TYPE IV	9455	8725
0	TYPE V	8'-0" DOUBLETRAP TYPE V	9455	8725
4	TYPE VI	8'-0" DOUBLETRAP TYPE VI	16745	14355
4	PANEL	8" THICK PANEL WALL	6364	
28	JOINT TAPE	JOINT TAPE - 14.0 PER ROLL		
3	JOINT WRAP	JOINT WRAP - 100' PER ROLL		



NOTES:
1. DIMENSION OF STORMTRAP SYSTEM ALLOW FOR A 3/4" GAP BETWEEN EACH UNIT.
2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS.
3. SEE SHEET 2 FOR INSTALLATION SPECIFICATIONS.

LAYOUT DETAIL

DESIGN CRITERIA
INSIDE HEIGHT ELEVATION = 418.00
ALLOWABLE MIN GRADE = TBD
ALLOWABLE MAX GRADE = TBD
SYSTEM INVERT = 410.00
STORMTRAP VOLUME = 12,096.50 C.F. / 0.28 A.F.

ENGINEER INFORMATION:	JEN HILL
	TN
Phone:	
Fax:	
PROJECT INFORMATION:	HAMMER MILL MF
	NASHVILLE, TN
CURRENT ISSUE DATE:	3-AUG-2016
APPROVED BY:	
ISSUED FOR:	PRELIMINARY

REV:	DATE:	DESC:	BY:
2	3-AUG-2016	ISSUED FOR PRELIMINARY	JPH
1	31-MAY-2016	ISSUED FOR PRELIMINARY	JPH

SCALE: NTS

SHEET TITLE: STANDARD 8'-0" DOUBLETRAP UNIT TYPES

SHEET NUMBER: 4.0

ENGINEER INFORMATION:	JEN HILL
	TN
Phone:	
Fax:	
PROJECT INFORMATION:	HAMMER MILL MF
	NASHVILLE, TN
CURRENT ISSUE DATE:	3-AUG-2016
APPROVED BY:	
ISSUED FOR:	PRELIMINARY

REV:	DATE:	DESC:	BY:
2	3-AUG-2016	ISSUED FOR PRELIMINARY	JPH
1	31-MAY-2016	ISSUED FOR PRELIMINARY	JPH

SCALE: NTS

SHEET TITLE: LAYOUT DETAIL

SHEET NUMBER: 3.0

ENGINEER INFORMATION:	JEN HILL
	TN
Phone:	
Fax:	
PROJECT INFORMATION:	HAMMER MILL MF
	NASHVILLE, TN
CURRENT ISSUE DATE:	3-AUG-2016
APPROVED BY:	
ISSUED FOR:	PRELIMINARY

REV:	DATE:	DESC:	BY:
2	3-AUG-2016	ISSUED FOR PRELIMINARY	JPH
1	31-MAY-2016	ISSUED FOR PRELIMINARY	JPH

SCALE: NTS

SHEET TITLE: DOUBLETRAP INSTALLATION SPECIFICATIONS

SHEET NUMBER: 1.0

ENGINEER INFORMATION:	JEN HILL
	TN
Phone:	
Fax:	
PROJECT INFORMATION:	HAMMER MILL MF
	NASHVILLE, TN
CURRENT ISSUE DATE:	3-AUG-2016
APPROVED BY:	
ISSUED FOR:	PRELIMINARY

REV:	DATE:	DESC:	BY:
2	3-AUG-2016	ISSUED FOR PRELIMINARY	JPH
1	31-MAY-2016	ISSUED FOR PRELIMINARY	JPH

SCALE: NTS

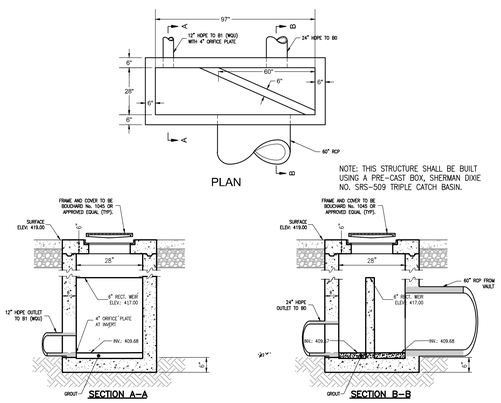
SHEET TITLE: COVER SHEET

SHEET NUMBER: 0.0

1

STORMTRAP PRE-CAST DETENTION VAULT SYSTEM

NO SCALE



3

BYPASS WEIR STRUCTURE

NO SCALE

SITE SPECIFIC DATA*

PROJECT NUMBER	3940
PROJECT NAME	HAMMER MILL MULTI-FAMILY
PROJECT LOCATION	NASHVILLE, TN
STRUCTURE ID	
WATER QUALITY VOLUME (CF)	10,370
PEAK FLOW RATE (CFS)	OFFLINE
PEAK STORM DURATION (YEARS)	

PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	409.68	HDPE	12"
OUTLET PIPE 1	407.18	HDPE	12"
RIM ELEVATION	419.00		
SURFACE LOADING REQUIREMENT		INDIRECT	
FRAME AND COVER		ø30"	
CORROSIVE SOIL CONDITIONS			
KNOWN GROUNDWATER ELEVATION			

NOTES:
*PER ENGINEER OF RECORD

KF PERFORMANCE DATA

CARTRIDGE HEIGHT (IN)	30.75
CARTRIDGE FLOW RATE (GPM)	8.50
NUMBER OF CARTRIDGES	66
TOTAL TREATMENT FLOW RATE (CFS)	1.25
SEDIMENT STORAGE CAPACITY (CF)	22.90

KF STORAGE CAPACITIES

SEDIMENT CHAMBER CAPACITY	LENGTH (FT)	WIDTH (FT)	HEIGHT (FT)	TOTAL (CF)
CHAMBER 1	2.67	2.99	1.50	11.97
CHAMBER 2	5.21	2.99	0.50	7.79
FILTRATION CHAMBER CAPACITY*				
CHAMBER 1	7.90	2.18	0.25	1.57
CHAMBER 2	7.90	2.18	0.25	1.57

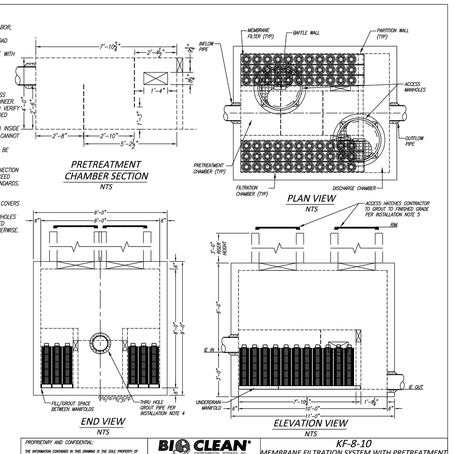
*VOLUME OF FILTERS SUBTRACTED IN STORAGE CAPACITY

GENERAL NOTES

1. BIO CLEAN TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS, AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS, AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

INSTALLATION NOTES

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS, AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE KF UNIT AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
2. MANUFACTURER RECOMMENDS A 6"-12" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH).
4. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT. REFER TO MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
5. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. ALL COVERS SHALL BE SHIPPED LOOSE. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.



PROPRIETARY AND CONFIDENTIAL:
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BIO CLEAN
bioclean@environmental.com
P 760.433.7640 F 760.433.7178

KF-8-10
MEMBRANE FILTRATION SYSTEM WITH PRETREATMENT
STANDARD DETAIL

2

BIO CLEAN KRAKEN FILTER - KF-8-10

NO SCALE

Case No: 20165P-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

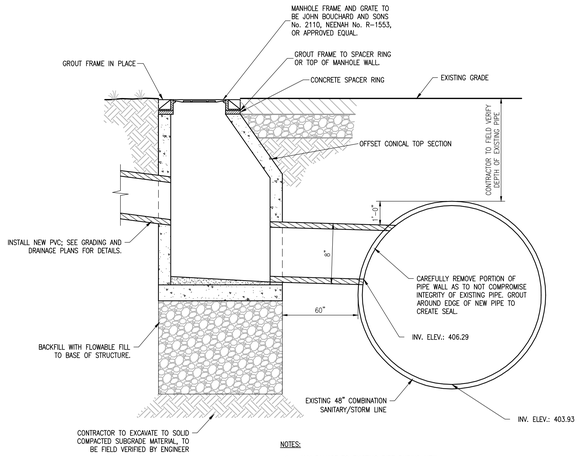
Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C8.2

SITE DETAILS

G:\Projects\2015\20150950\dwg\Final SP Amendment\20150950 A-FSP C8.0 DTL.dwg-17 20150950 A-FSP C8.2 DTL Nov 06, 2017 - 2:35pm alegg

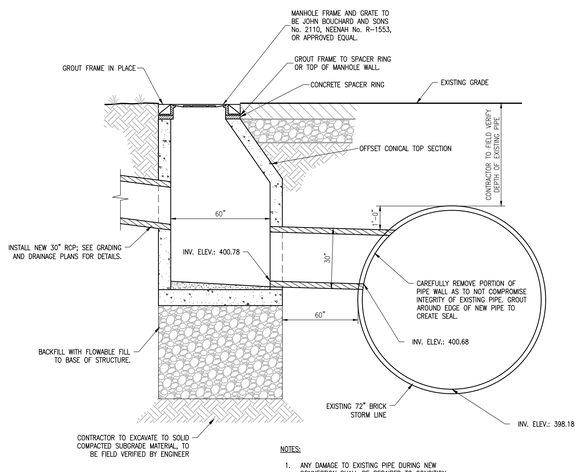


NOTES:

1. ANY DAMAGE TO EXISTING PIPE DURING NEW CONNECTION SHALL BE REPAIRED TO CONDITION ACCEPTABLE BY METRO WATER SERVICES AT NO ADDITIONAL COST TO OWNER.
2. CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING PIPE.

8 COMBINED SEWER CONNECTION

NO SCALE

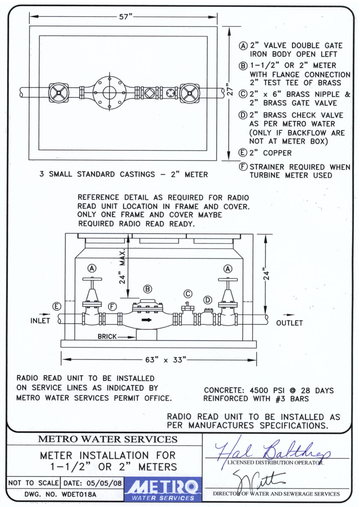


NOTES:

1. ANY DAMAGE TO EXISTING PIPE DURING NEW CONNECTION SHALL BE REPAIRED TO CONDITION ACCEPTABLE BY METRO WATER SERVICES AT NO ADDITIONAL COST TO OWNER.
2. CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING PIPE.

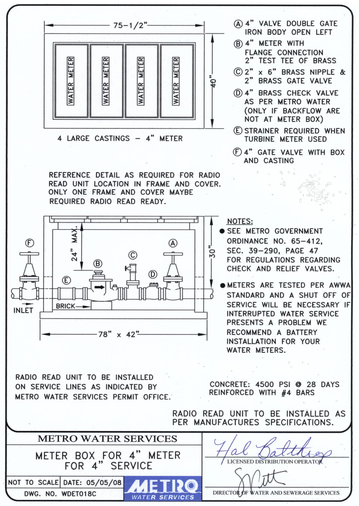
9 72" BRICK STORM CONNECTION

NO SCALE



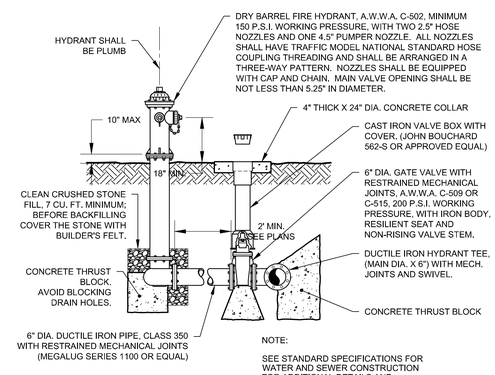
6 2" WATER METER

NO SCALE



7 4" WATER METER

NO SCALE

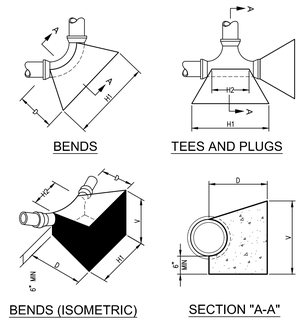


NOTE:

SEE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION FOR ADDITIONAL DETAILS AND CLARIFICATION.

3 FIRE HYDRANT ASSEMBLY

NO SCALE



PIPE SIZE	90° BEND			
	H1	H2	D	V
4"	24"	12"	12"	24"
6"	36"	16"	18"	30"
8"	48"	18"	18"	36"

PIPE SIZE	45° BEND			
	H1	H2	D	V
4"	24"	8"	12"	12"
6"	30"	10"	18"	20"
8"	36"	11"	18"	30"

PIPE SIZE	22 1/2" BEND			
	H1	H2	D	V
4"	12"	8"	12"	12"
6"	18"	10"	18"	18"
8"	27"	11"	18"	20"

PIPE SIZE	11 1/4" BEND			
	H1	H2	D	V
4"	12"	8"	12"	12"
6"	16"	10"	18"	12"
8"	18"	11"	18"	16"

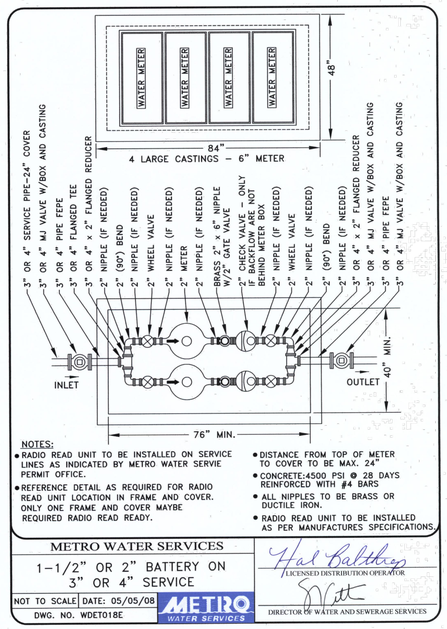
PIPE SIZE	TEES AND PLUGS			
	H1	H2	D	V
4"	24"	12"	12"	16"
6"	30"	16"	18"	24"
8"	40"	18"	18"	30"

NOTE:

DIMENSIONS ARE BASED ON A SOIL BEARING CAPACITY OF 1000 PSF AND WATER PRESSURE OF 150 PSI (100 PSI + 50% FOR WATER HAMMER).

4 THRUST BLOCKING

NO SCALE



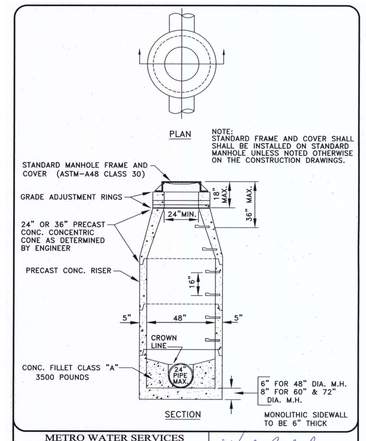
NOTES:

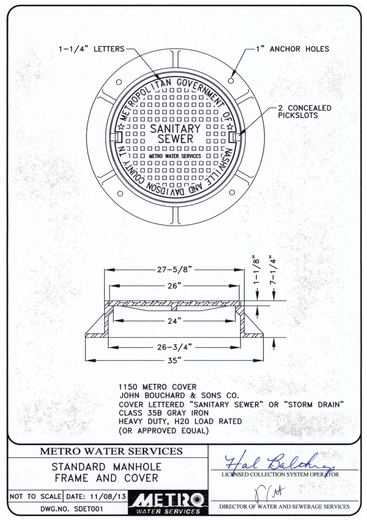
- RADIO READ UNIT TO BE INSTALLED ON SERVICE LINES AS INDICATED BY METRO WATER SERVIE PERMIT OFFICE.
- REFERENCE DETAIL AS REQUIRED FOR RADIO READ UNIT LOCATION IN FRAME AND COVER. ONLY ONE FRAME AND COVER MAYBE REQUIRED RADIO READ READY.
- DISTANCE FROM TOP OF METER TO COVER TO BE MAX. 24"
- CONCRETE:4500 PSI @ 28 DAYS REINFORCED WITH #4 BARS
- ALL NIPPLES TO BE BRASS OR DUCTILE IRON.
- RADIO READ UNIT TO BE INSTALLED AS PER MANUFACTURES SPECIFICATIONS.

METRO WATER SERVICES
1-1/2" OR 2" BATTERY ON 3" OR 4" SERVICE
NOT TO SCALE
DATE: 05/05/08
DWG. NO. WDET018E
METRO WATER SERVICES
LICENSED DISTRIBUTION OPERATOR
DIRECTOR OF WATER AND SEWERAGE SERVICES

5 2" METER FOR 3" SERVICE

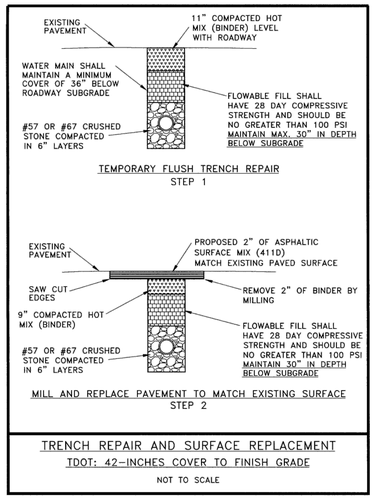
NO SCALE





1 PRECAST CONCRETE SEWER MANHOLE

NO SCALE



2 TRENCH REPAIR

NO SCALE

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.lsmc.com

Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C8.3

SITE DETAILS

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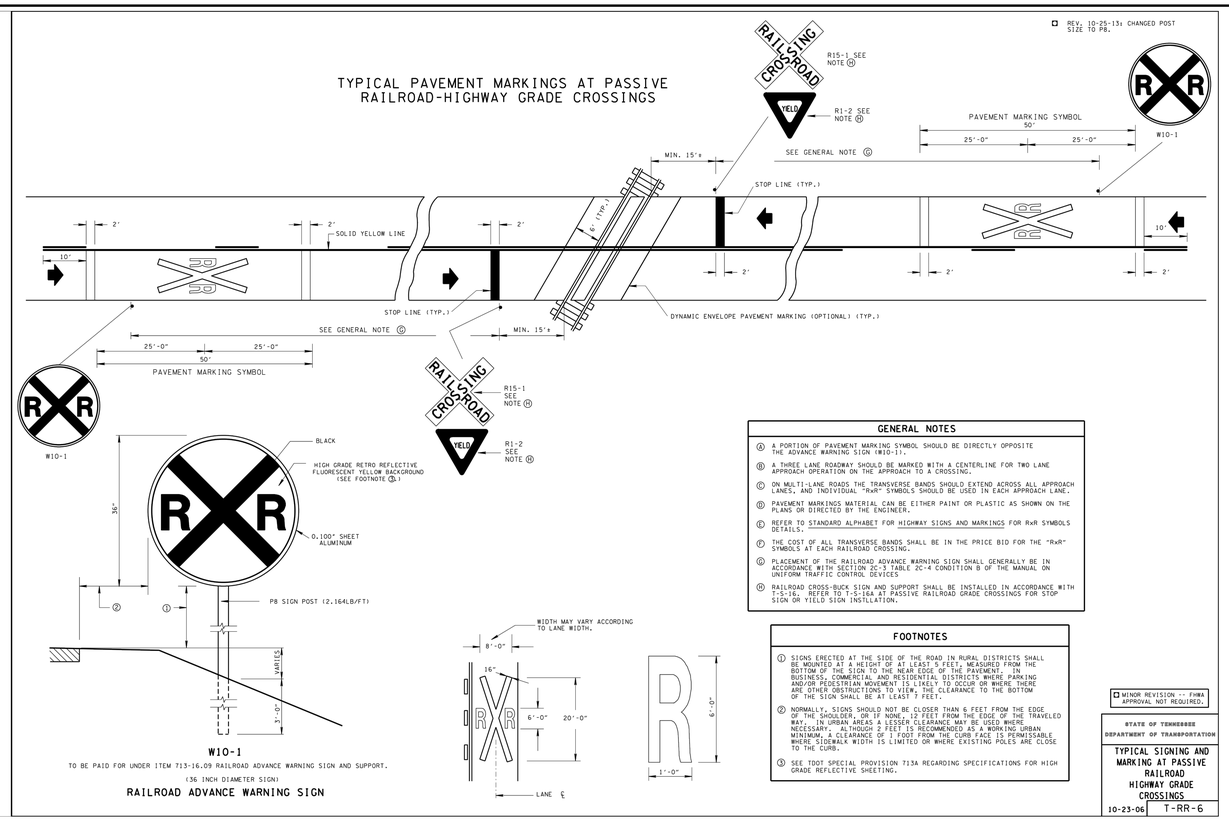


GENERAL NOTES

Ⓐ A PORTION OF PAVEMENT MARKING SYMBOL SHOULD BE DIRECTLY OPPOSITE THE ADVANCE WARNING SIGN (W10-1).

Ⓑ A THREE LANE ROADWAY SHOULD BE MARKED WITH A CENTERLINE FOR TWO LANE APPROACH OPERATION ON THE APPROACH TO A CROSSING.

Ⓒ ON MULTI-LANE ROADS THE TRANSVERSE BANDS SHOULD EXTEND ACROSS ALL APPROACH LANES, AND INDIVIDUAL "RxR" SYMBOLS SHOULD BE USED IN EACH APPROACH LANE.

Ⓓ PAVEMENT MARKINGS MATERIAL CAN BE EITHER PAINT OR PLASTIC AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER.

Ⓔ REFER TO STANDARD ALPHABET FOR HIGHWAY SIGNS AND MARKINGS FOR RxR SYMBOLS DETAILS.

Ⓕ THE COST OF ALL TRANSVERSE BANDS SHALL BE IN THE PRICE BID FOR THE "RxR" SYMBOLS AT EACH RAILROAD CROSSING.

Ⓖ PLACEMENT OF THE RAILROAD ADVANCE WARNING SIGN SHALL GENERALLY BE IN ACCORDANCE WITH SECTION 2C-3 TABLE 2C-4 CONDITION B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

Ⓗ RAILROAD CROSS-BUCK SIGN AND SUPPORT SHALL BE INSTALLED IN ACCORDANCE WITH T-S-16. REFER TO T-S-16A AT PASSIVE RAILROAD GRADE CROSSINGS FOR STOP SIGN OR YIELD SIGN INSTLLATION.

FOOTNOTES

① SIGNS ERECTED AT THE SIDE OF THE ROAD IN RURAL DISTRICTS SHALL BE MOUNTED AT A HEIGHT OF AT LEAST 5 FEET, MEASURED FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVEMENT. IN BUSINESS OR RESIDENTIAL DISTRICTS, SIGNS MOUNTED ON PARKING AND/OR PEDESTRIAN MOVEMENT AREAS, DISTRICTS OR WHERE THERE ARE OTHER OBSTRUCTIONS TO VIEW, THE CLEARANCE TO THE BOTTOM OF THE SIGN SHALL BE AT LEAST 7 FEET.

② NORMALLY, SIGNS SHOULD NOT BE CLOSER THAN 6 FEET FROM THE EDGE OF THE SHOULDER, OR IF NONE, 12 FEET FROM THE EDGE OF THE TRAVELED WAY. IN URBAN AREAS A LESSER CLEARANCE MAY BE USED WHERE NECESSARY. ALTHOUGH 2 FEET IS RECOMMENDED AS A WORKING URBAN MINIMUM, A CLEARANCE OF 1 FOOT FROM THE CURB FACE IS PERMISSABLE WHERE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.

③ SEE TDOT SPECIAL PROVISION 713A REGARDING SPECIFICATIONS FOR HIGH GRADE REFLECTIVE SHEETING.

☐ MINOR REVISION -: FHWA APPROVAL NOT REQUIRED.

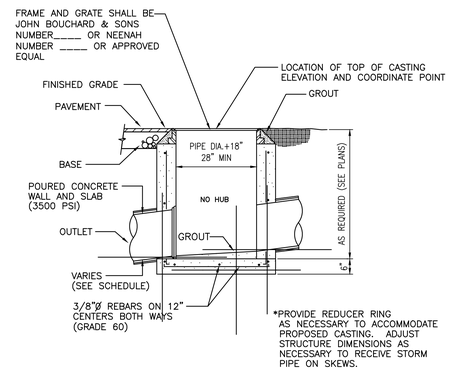
STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

TYPICAL SIGNING AND MARKING AT PASSIVE RAILROAD HIGHWAY GRADE CROSSINGS

10-23-06 | T-RR-6

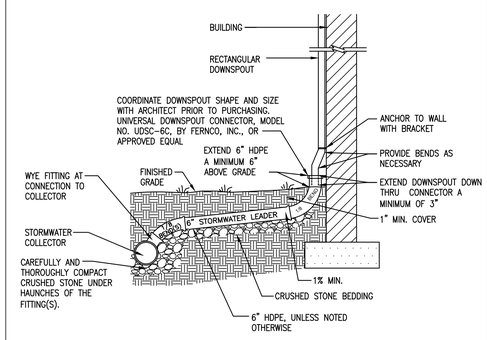
4 OFF-SITE RAILROAD CROSSING STRIPING AND SIGNAGE IMPROVEMENTS

NO SCALE



2 SINGLE CATCH BASIN

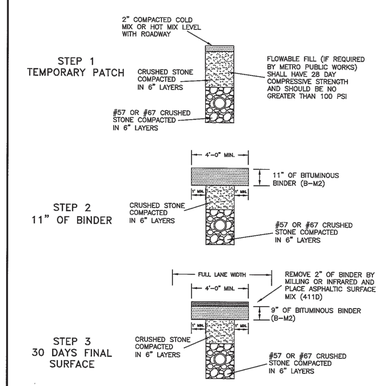
NO SCALE



3 BUILDING DOWNSPOUT COLLECTOR

NO SCALE

PAGE 1 OF 3



NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	FLUSH TRENCH REPAIR WITH STONE	DWG. NO. ST-270a
DIR. OF ENG.:	DATE: 7/15/15	REVISED: 04/01/08 REVISED: 11/17/08 REVISED: 03/24/10 REVISED: 07/15/15

PAGE 2 OF 3

GENERAL NOTES

1. PRIOR TO PLACEMENT OF CRUSHED STONE OR FLOWABLE FILL THE DEPARTMENT OF PUBLIC WORKS PERMITS OFFICE WILL BE NOTIFIED AND AN INSPECTION OF THE TRENCH WILL BE MADE BY A REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC WORKS PERMITS OFFICE. AT THE COMPLETION OF THE INSTALLATION OF THE CRUSHED STONE OR FLOWABLE FILL THE DEPARTMENT OF PUBLIC WORKS PERMITS OFFICE WILL BE NOTIFIED AND AN INSPECTION OF THE BACKFILL WILL BE MADE BY A REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC WORKS. AFTER ACCEPTANCE OF THE BACKFILL BY THE REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC WORKS PERMITS OFFICE, THE ASPHALT PAVEMENT CAN BE APPLIED.
2. INSPECTION PERSONNEL OF THE DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED BY CONTRACTOR/PERMITEE AT LEAST TWO (2) DAYS PRIOR TO REQUEST FOR INSPECTION.
3. THE WORK PERFORMED SHALL BE FREE FROM WORKMANSHIP DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF ACCEPTANCE BY THE DEPARTMENT OF PUBLIC WORKS PERMIT OFFICE.
4. EXISTING PAVEMENTS, BASES, CURBS & GUTTERS AND SIDEWALKS SHALL BE CUT AND BROUGHT TO A NEAT LINE BY USE OF AN AIR HAMMER, SAW OR OTHER SUITABLE EQUIPMENT. EXPANSION JOINTS REMOVED SHALL BE REPLACED
5. THE MINIMUM WIDTH TO BE TRIMMED ON EACH SIDE OF THE TRENCH LINE, AS SEEN IN THE SECTION MAY BE WAIVED OR AMENDED UPON APPROVAL OF THE METRO DEPARTMENT OF PUBLIC WORKS, HOWEVER, A MINIMUM WIDTH OF REPLACEMENT SHALL BE 4'-0" TO ALLOW FOR A ROLLER.
6. IF PERMANENT PAVEMENT REPAIRS CANNOT BE MADE WITHIN THREE (3) DAYS, THEN TEMPORARY REPLACEMENT SHALL BE MADE WITH 2" COLD MIX. PERMANENT PAVEMENT REPAIR TO BE COMPLETED WITHIN THE REQUIRED TIME PERIOD AS PER METRO CODE 13.20.
7. ALL EXCAVATIONS MADE WITHIN PUBLIC RIGHT-OF-WAY REQUIRE EXCAVATIONS AND STREET CLOSURE PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING WORK AS PER METRO CODE 13.20.
8. FLOWABLE FILL WILL BE REQUIRED ON ALL ARTERIALS, COLLECTORS AND DOWNTOWN STREETS. FLOWABLE FILL SHALL MEET THE REQUIREMENTS IN TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 204, EXCEPT AS MODIFIED BY PUBLIC WORKS TECHNICAL SPECIFICATIONS 02225, LATEST REVISION.
9. IN THE EVENT OF ANY CONFLICT, DISCREPANCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.
10. ALL REPAIRS SHALL INCLUDE FULL LANE WIDTH RESURFACING EXCEPT WHEN UTILIZING INFRARED TECHNOLOGY. SEE INFRARED SPECIFICATIONS ATTACHED. THERE WILL BE A MAXIMUM OF 40 FT LONGITUDINAL REPAIR WHEN USING INFRARED TECHNOLOGY ON AN EXCAVATED PATCH.
11. ALL REPAIRS SHALL UTILIZE A 1-FOOT CUTBACK ON ALL SIDES EXCEPT THE EDGE OF PAVEMENT.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	FLUSH TRENCH REPAIR WITH STONE NOTES	DWG. NO. ST-270a
DIR. OF ENG.:	DATE: 7/15/15	REVISED: 04/01/08 REVISED: 11/17/08 REVISED: 03/24/10 REVISED: 07/15/15

PAGE 3 OF 3

GENERAL NOTES CONTINUED:

12. NEW UTILITY CUTS WILL BE MILLED AND PAVED TO ANY EXISTING UTILITY CUT OR DAMAGED PAVEMENT WITHIN 10-FEET. IF EXISTING CUT OR DAMAGED PAVEMENT IS LESS THAN 10-FEET IN LENGTH, THE EXISTING CUT OR DAMAGED PAVEMENT SHALL ALSO BE MILLED AND PAVED.
13. ASPHALT REPAIR ADJACENT TO CURB AND GUTTER ALONG A ROADWAY GREATER THAN 24-INCHES SHALL HAVE FULL LANE WIDTH PAVING.
14. WHEN GRADED STONE (I.E. #57, #67, #78 STONE) IS USED THERE IS GENERALLY NO COMPACTION EQUIPMENT REQUIRED. THE MATERIAL DOES, HOWEVER, NEED TO BE PUT IN THE TRENCH IN APPROXIMATELY 12-INCH LIFTS.
15. GRADED STONE PLACED IN TRENCH SHOULD BE CAPPED WITH 8 TO 12-INCHES OF PUG MIX (MIX IS ESSENTIALLY TYPE A BASE, GRADE D, OR MORE COMMONLY KNOWN AS "CRUSHER RUN"). SEE TDOT STANDARD SPECIFICATION 303.07.
16. TYPE "A" BASE, GRADE "D" CAN BE USED FOR THE ENTIRE BACKFILL AND COMPACTED BY MECHANICAL METHODS IN NO MORE THAN 6-INCH LIFTS AS PROVIDED IN SECTION 204.11 OF TDOT STANDARD SPECIFICATIONS.
17. THE PUG MIX SHOULD BE COMPACTED IN 6-INCH LIFTS WITH A STEEL SHELL ROLLER OR OTHER MECHANICAL VIBRATORY COMPACTION EQUIPMENT. SEE TDOT STANDARD SPECIFICATIONS 303.08 AND 303.09. MATERIAL SHOULD BE ALLOWED TO CURE UNTIL ALL THE MOISTURE IS GONE FROM STONE (USUALLY 24-48 HOURS).
18. THE TRENCH SHOULD THEN HAVE 11-INCHES OF BINDER PLACED LEVEL WITH THE ROADWAY IN A MINIMUM OF TWO (2) LIFTS AND COMPACTED WITH MECHANICAL COMPACTION EQUIPMENT.
19. THE BINDER SURFACE SHALL BE MILLED OR HEATED USING INFRARED TECHNOLOGY TWO 2-INCHES IN DEPTH AND REPLACED WITH TWO (2) INCHES OF SURFACE MIX AND COMPACTED WITH MECHANICAL COMPACTION EQUIPMENT.
20. INTERSECTION REPAIRS WILL ONLY REQUIRE FULL LANE WIDTH PAVING.
22. ANY DISTURBED PAVEMENT MARKINGS MUST BE RESTORED TO CURRENT METRO STANDARDS.
23. DIAGONAL REPAIRS WILL BE REQUIRED TO BE SQUARED OFF AND MILLED AND PAVED. NO INFRARED TECHNOLOGY ALLOWED ON THIS TYPE OF REPAIR.
24. ALL LONGITUDINAL REPAIRS MORE THAN 40 FT IN LENGTH WILL BE REQUIRED TO BE MILLED AND PAVED.
25. FOR ANY DISCREPANCIES OR VARIATIONS FROM SPECIFICATIONS, OBTAIN APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
26. ALL FILL SHALL MEET MANUFACTURING SPECIFICATIONS, IF APPLICABLE.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	FLUSH TRENCH REPAIR WITH STONE NOTES	DWG. NO. ST-270a
DIR. OF ENG.:	DATE: 7/15/15	REVISED: 04/01/08 REVISED: 11/17/08 REVISED: 03/24/10 REVISED: 07/15/15

1 TRENCH REPAIR

NO SCALE

Littlejohn
An S&ME Company
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.sme.com

Case No: 2016SP-005-003
SP PLAN AMENDMENT
HAMMER MILL MULTIFAMILY
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

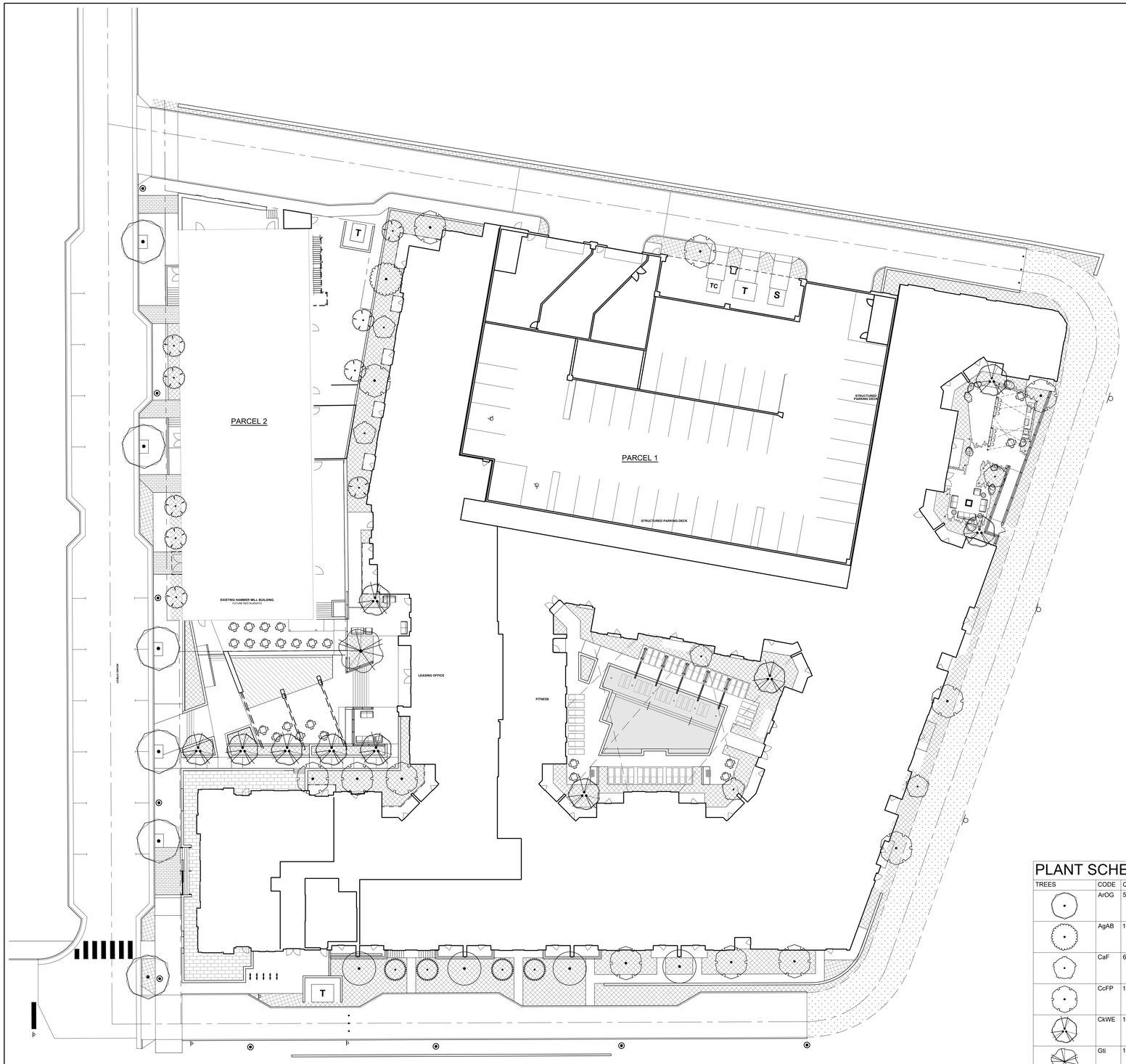
Gateway TBR
Hammer Mill, GP
1575 NORTHSIDE DRIVE
BUILDING 100, SUITE 200
ATLANTA, GA 30318

DATE	REVISIONS
2017.09.28	20150950

C8.4

SITE DETAILS

G:\Projects\2015\20150950\dwg\Final SP Amendment\20150950 A-FSP C8.0 DTL.dwg-19 20150950 A-FSP C8.4 DTL Nov 06, 2017 - 2:35pm olegg



LANDSCAPE DATA: PARCEL 1

OVERALL SITE ACREAGE: *3.33 ACRES*
ZONING: *IG*
LAND USE: *OPEN STORAGE*

SITE TREE DENSITY CALCULATIONS

OVERALL SITE ACREAGE:	3.33 ACRES
PROJECT ACREAGE (DISTURBED AREA):	3.33 ACRES
BUILDING ACREAGE:	1.70 ACRES
ADJUSTED ACREAGE:	1.63 ACRES
TREE DENSITY UNITS REQUIRED:	**22.9 TDU**
(14 TDU/ACRES x 1.63 ACRES)	
TREE DENSITY UNITS PROVIDED:	
TOTAL EXISTING TREE TDU:	0.0 TDU
PROPOSED TREE TDU:	
35 - 3" CAL. TREES @ 0.6	21.0 TDU
5 - 4" CAL. TREES @ 0.7	3.5 TDU
TOTAL (PROPOSED TDU):	**24.5 TDU**

**TREE DENSITY REQUIREMENT SATISFIED*

LANDSCAPE DATA: PARCEL 2

OVERALL SITE ACREAGE: *0.36 ACRES*
ZONING: *IG*
LAND USE: *OPEN STORAGE*

SITE TREE DENSITY CALCULATIONS

OVERALL SITE ACREAGE:	0.36 ACRES
PROJECT ACREAGE (DISTURBED AREA):	0.36 ACRES
BUILDING ACREAGE:	0.24 ACRES
ADJUSTED ACREAGE:	0.12 ACRES
TREE DENSITY UNITS REQUIRED:	**1.7 TDU**
(14 TDU/ACRES x 1.63 ACRES)	
TREE DENSITY UNITS PROVIDED:	
TOTAL EXISTING TREE TDU:	0.0 TDU
PROPOSED TREE TDU:	
4 - 3" CAL. TREES @ 0.6	2.4 TDU
TOTAL (PROPOSED TDU):	**2.4 TDU**

**TREE DENSITY REQUIREMENT SATISFIED*

PLANT SCHEDULE

TREES	CODE	QTY	PARCEL 1	PARCEL 2	RIGHT-OF-WAY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	REMARKS
	ArOG	5			5	Acer rubrum `October Glory` TM	October Glory Maple	B & B	3" MIN.	13`-15` HT.	
	AgAB	1	1			Amelanchier x grandiflora `Autumn Brilliance`	`Autumn Brilliance` Serviceberry	B & B	3" MIN.	12` -14` ht.	
	CaF	6	6			Cedrus atlantica `Fastigiata`	Columnar Blue Atlas Cedar	B & B	3" MIN.	8`-10` ht.	
	CcFP	12	12			Cercis canadensis `Forest Pansy` TM	Forest Pansy Redbud	B & B	3" MIN.	8`-10` ht.	
	CkWE	10	10			Cornus kousa `Wolf Eyes`	Variegated Kousa Dogwood	B & B	3" MIN.	8`-10` ht.	
	Gti	1	1			Gleditsia triacanthos inermis	Thornless Common Honeylocust	B & B	4" MIN.		thornless / fruitless only
	LS	9	2	4	3	Liquidambar styraciflua `Slender Silhouette`	Columnar Sweet Gum	B & B	3" MIN.	8`-10` ht.	
	MgA	4	4			Magnolia grandiflora `Alta`	Alta Magnolia	B & B	3" MIN.		
	UpA	4	4			Ulmus parvifolia `Athena`	Athena Elm	B & B	4" MIN.	13`-15` HT.	
GROUND COVERS	CODE	QTY	PARCEL 1	PARCEL 2	RIGHT-OF-WAY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	REMARKS
	OO2	14,534 sf	13,472 sf	434 sf	628 sf	Evergreen/Deciduous Shrubs & Groundcover	OTHER	VARIES		VARIES	
	FF	7,901 sf	7,901 sf			Festuca x	Fescue Seed	BR			
	SynT	696 sf	696 sf			Synthetic Turf - EasyTurf Olive Ultra	1 5/8`` Polyethylene, 3/8`` Guage	BR			

20' 0' 20' 40' 80'

NOTE:
FINAL SUPPLEMENTAL PLANTING PLAN TO BE COMPLETED AT A LATER DATE THAT WILL INCLUDE ALL SPECIES OF TREES/SHRUBS/GROUNDCOVER. SPECIES SHOWN IS SUBJECT TO CHANGE.

LandDesign
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www.LandDesign.com

10.24.2017

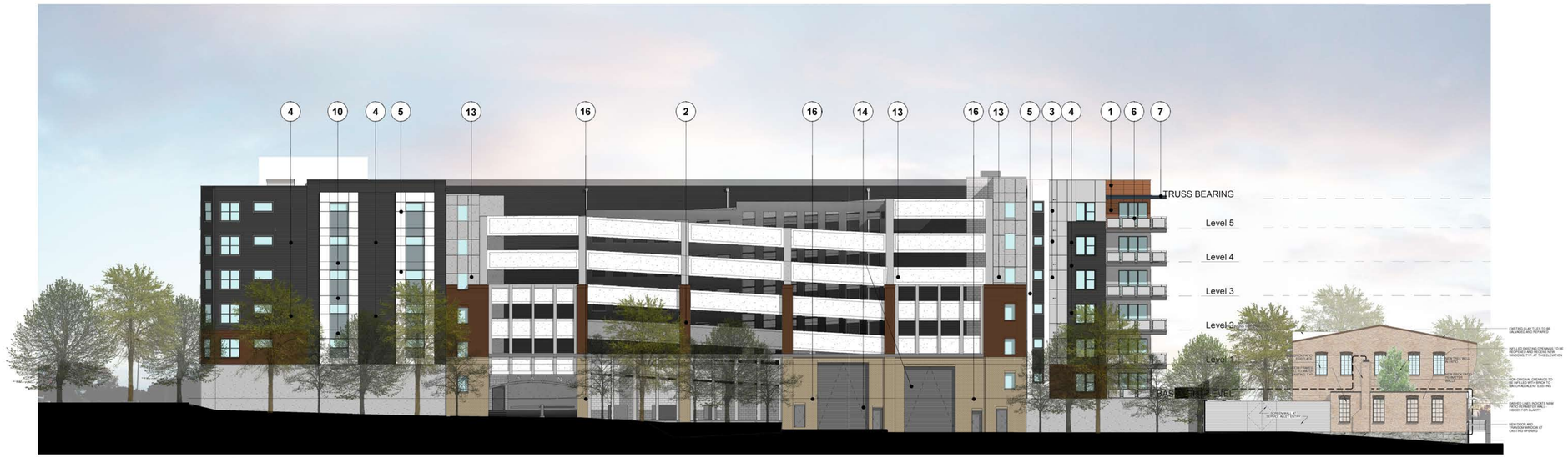
HAMMER MILL
MULTI FAMILY/RETAIL
Gateway TBR Hammer Mill, GP. | Nashville, Tennessee

REQUIRED PLANTING PLAN

REVISIONS:
12/2/2016 BUILDING PERMIT SET
10/24/2017 SP AMENDMENT

DATE: 09/09/2016
DESIGNED BY: SAH/DAW
DRAWN BY: SAH
CHECKED BY: DAW
Q.C. BY: RP
SCALE: 1" = 20'
PROJECT #: 1016222

SHEET #:
L4.00



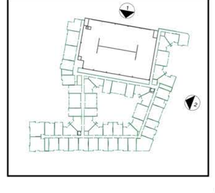
1 SP SUBMITTAL - OVERALL NORTH ELEVATION
1/16" = 1'-0"

2 SP SUBMITTAL - OVERALL EAST ELEVATION
1/16" = 1'-0"

MATERIAL FINISH LEGEND

1 NICHIHA PANEL	9 METAL CANOPY-2
2 BRICK-1	10 CEMENTITIOUS PANEL
3 STUCCO FINISH 1	11 STORE FRONT WINDOW
4 CEMENTITIOUS LAP SIDING (IN VARIOUS SIZE)	12 GARAGE DOOR WITH GLASS PANEL
5 STUCCO FINISH 2	13 PAINTED PRECAST PARKING DECK
6 METAL PICKET RAILING	14 METAL ROLL UP DOOR
7 METAL CANOPY-1	15 - NOT USED -
8 C.I.P. CONCRETE	16 BRICK-2

KEY PLAN



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dwelldesignstudio.com

HAMMER MILL

A MULTIFAMILY RESIDENTIAL DEVELOPMENT AT
ADAMS STREET
NASHVILLE, TN

A DEVELOPMENT FOR
TRIBRIDGE RESIDENTIAL

ISSUE
DATE DESCRIPTION

REVISION
DATE DESCRIPTION REV

SEAL:

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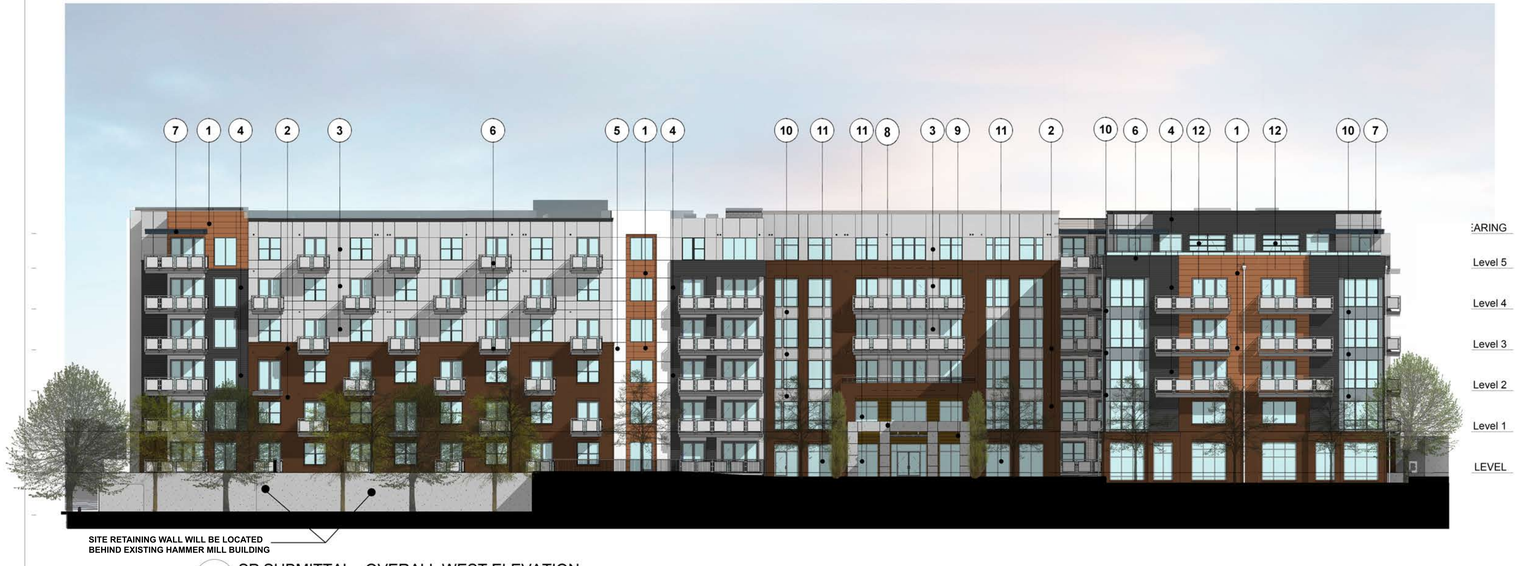
SHEET NAME:
SITE PLAN SUBMITTAL - ELEVATIONS

JOB NUMBER: 150706

DRAWN BY Author
CHECKED BY Checker

SP4-01
ISSUED FOR CONSTRUCTION

1 SP SUBMITTAL - OVERALL SOUTH ELEVATION
1/16" = 1'-0"



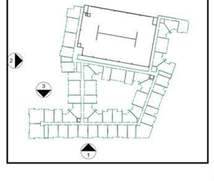
2 SP SUBMITTAL - OVERALL WEST ELEVATION
1/16" = 1'-0"

3 SP SUBMITTAL - PARTIAL BUILDING ELEVATION - WEST
1/16" = 1'-0"

MATERIAL FINISH LEGEND

1 NICHIHA PANEL	9 METAL CANOPY-2
2 BRICK-1	10 CEMENTITIOUS PANEL
3 STUCCO FINISH 1	11 STORE FRONT WINDOW
4 CEMENTITIOUS LAP SIDING (IN VARIOUS SIZE)	12 GARAGE DOOR WITH GLASS PANEL
5 STUCCO FINISH 2	13 PRECAST PARKING DECK
6 METAL PICKET RAILING	14 METAL ROLL UP DOOR
7 METAL CANOPY-1	15 - NOT USED -
8 C.I.P. CONCRETE	16 BRICK-2

KEY PLAN



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HAMMER MILL

A MULTIFAMILY RESIDENTIAL DEVELOPMENT AT
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SHEET NAME:
SITE PLAN SUBMITTAL - ELEVATIONS

JOB NUMBER: 150706

DRAWN BY Author
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SP4-02