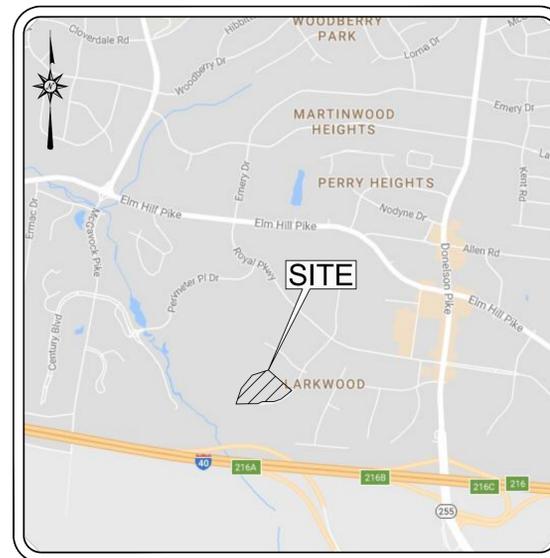


PRELIMINARY DEVELOPMENT PLAN FOR CAMBRIA SUITES

40 RACHEL DR.
NASHVILLE, TN 37214
DECEMBER 19, 2017

SITE DATA

- COUNCIL DISTRICT - 15 (JEFF SYRACUSE)
- 40 RACHEL DRIVE OWNER OF RECORD:
ROYAL BUSINESS PARTNERS
PO BOX 17699
NASHVILLE, TN 37217
(615)367-1333
CONTACT: DAVID BOCKIAM
- OVERLAY DISTRICT NAME - OV-AIR (AIRPORT OVERLAY)
- PLAN PREPARATION DATE - 12/19/2017
- SCALE OF PLAN SHEETS - 1" = 40' (SEE PLAN SHEETS FOR BAR SCALE)
- DESIGN PROFESSIONAL - JEFF ARNOLD, P.E.
ARNOLD CONSULTING ENGINEERING SERVICES, INC.
1136 SOUTH PARK DRIVE
BOWLING GREEN, KY 42103
(270) 780-9445
(270) 780-9873 FAX
- U.S. FEMA FIRM:



NASHVILLE, DAVIDSON CO., TN
VICINITY MAP
(N.T.S.)

SHEET

COVER SHEET	
C1	EXISTING TOPOGRAPHY
C2	PROPOSED SITE LAYOUT
C3	GRADING AND DRAINAGE
C5	WATER AND SANITARY SEWER
C6	ELECTRIC, TELEPHONE, CABLE & GAS
C7	DETAILS
C8	DETAILS
L1	LANDSCAPE
L2	FOUNDATION PLANTING
L3	SITE RENDERING
P1	PHASING PLAN
SL1	SITE LIGHTING PLAN
A-300-L	CAMBRIA ELEVATION
A-301-L	CAMBRIA ELEVATION
A-305	CAMBRIA PERSPECTIVE
A-306	CAMBRIA PERSPECTIVE
A-307	CAMBRIA PERSPECTIVE
A-308	SECOND HOTEL RENDERING

FLOODPLAIN INFORMATION

THE PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD PRONE AREA ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP FOR DAVIDSON COUNTY, TENNESSEE. SAID AREA IS SHOWN ON MAP #47037C0268H, WITH AN EFFECTIVE DATE OF APRIL 05, 2017.

DEVELOPERS:
ATHENA HOSPITALITY GROUP
2521 ELM HILL PIKE
NASHVILLE, TN 37214
615-414-3009
CONTACT: JAYESH D. PATEL

**ENGINEER,
& LANDSCAPE ARCHITECT:**
ARNOLD CONSULTING
ENGINEERING SERVICES
P.O. BOX 1338
BOWLING GREEN, KY 42101
CONTACT: DANIEL WHITLEY
(270)780-9445

ARCHITECT:
STUDIO A ARCHITECTURE
2330 FRANKFORT AVENUE
LOUISVILLE, KY 40206
CONTACT: VADIM KAPLAN
(502) 589-8007

UTILITY COMPANIES/ GOVERNMENT OFFICIALS

PLANNING COMMISSION:
SOUTH OF HOWARD OFFICE BUILDING
800 SECOND AVENUE SOUTH
NASHVILLE, TENNESSEE 37210
CONTACT: BOB LEEMAN
(615) 862-7150
Fax: (615) 862-7209

WATER & SEWER:
METRO WATER SERVICES - DEVELOPMENT SECTION
1600 SECOND AVENUE NORTH
NASHVILLE, TN 37208
(615)-862-4505

ELECTRICITY:
NASHVILLE ENERGY SERVICES
1214 CHURCH STREET
NASHVILLE, TN 37246
(615) 736-6900

TELEPHONE CONTACT:
COMCAST
(615) 244-5900

GAS:
PEDMONT NATURAL GAS
P.O. BOX 533500
ATLANTA, GA 30353-3500
1-800-752-7504

CABLE:
COMCAST
(615) 244-5900

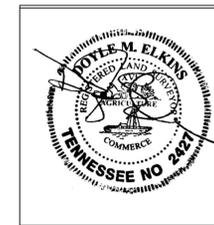
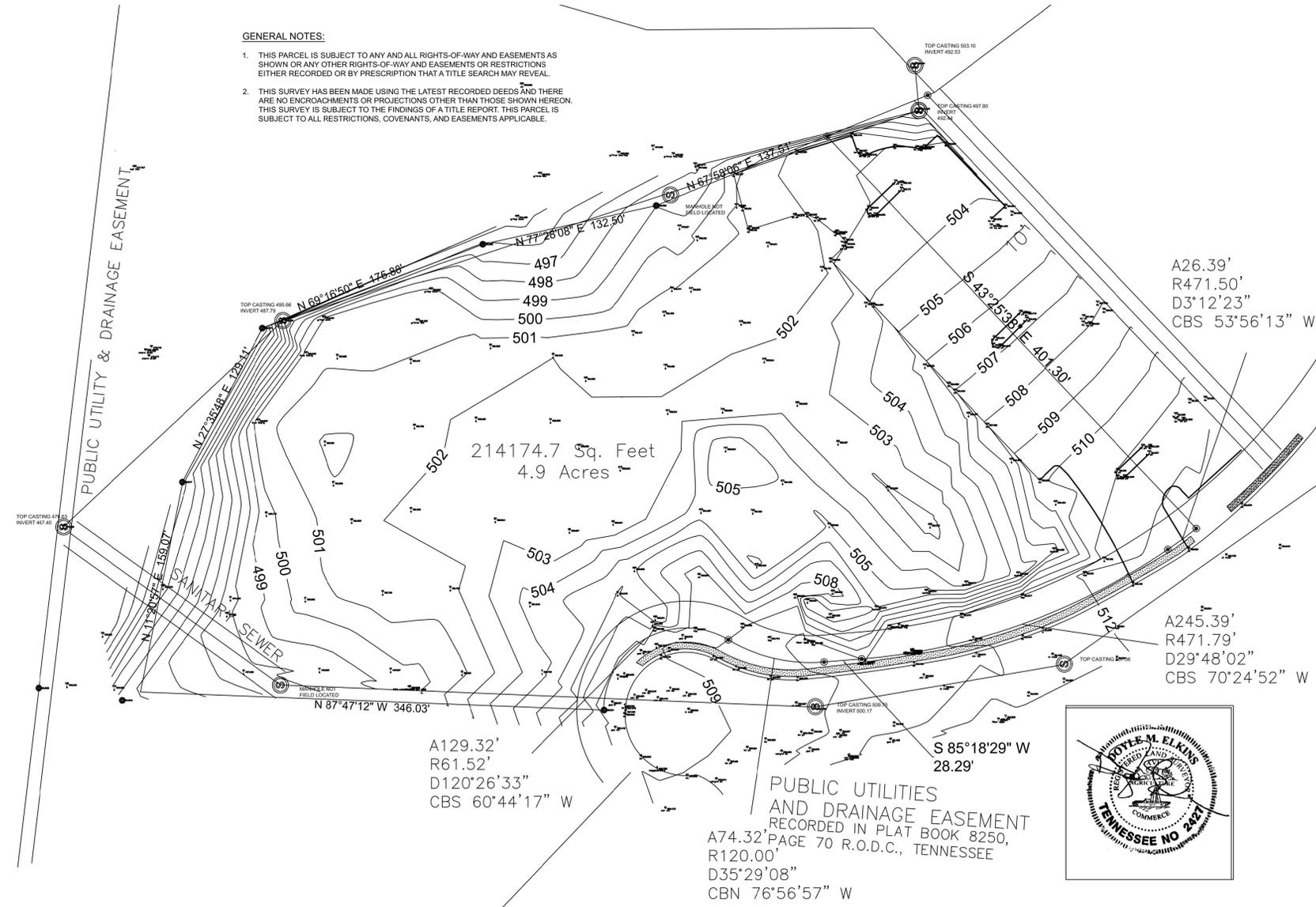


**ARNOLD CONSULTING
ENGINEERING SERVICES, INC.**
P.O. BOX 1338 BOWLING GREEN KY, 42101
PHONE (270) 780-9445



GENERAL NOTES:

1. THIS PARCEL IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY AND EASEMENTS AS SHOWN OR ANY OTHER RIGHTS-OF-WAY AND EASEMENTS OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A TITLE SEARCH MAY REVEAL.
2. THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEEDS AND THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN HEREON. THIS SURVEY IS SUBJECT TO THE FINDINGS OF A TITLE REPORT. THIS PARCEL IS SUBJECT TO ALL RESTRICTIONS, COVENANTS, AND EASEMENTS APPLICABLE.



Doyle Elkins
Professional Land Surveyor
Registered in TN & AL
610 West College St., Suite 135
Murfreesboro, TN 37130
Phone (615) 907-8625
Fax (615) 907-5956
Cell (931) 636-2414
Email: elkinsdoyle@gmail.com

TOPOGRAPHIC SURVEY
LOT 3 ROYAL BUSINESS CENTER
RACHEL DR., NASHVILLE, TN
PREPARED FOR: TW FRIERSON

DATE	SCALE	SHEET	DRAWN BY	PROJECT
SEPT 12, 2017	1" = 50'	1 OF 1	DME	17902

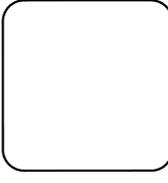
I HEREBY CERTIFY THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION FOR THE UNADJUSTED SURVEY IS GREATER THAN 1:15,000 AS SHOWN HEREON.

REVISIONS

CAMBRIA
hotels & suites
40 RACHEL DRIVE
NASHVILLE, TN 37214

ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1838
BOWLING GREEN, KY 42101
PHONE (270) 786-9445

JOB NUMBER: 17-3151-L
DATE: 12/19/2017
SCALE: 1" = 50'
DRAWN: B. McDANIEL
CHECKED: D. WHITLEY
FILE PATH:
Z:\SITE\DEV\1- EXISTING TOPOGR.



C1
EXISTING
TOPOGRAPHY





ROYAL PARK BUSINESS CENTER ASSOCIATION
 CENTER ASSOCIATION
 (RESUB LOT 4)
 20121029-0098747
 PARCEL ID: 107000184

FR ABC, LLC
 211 ELLERY CT
 20091006-0093111
 PARCEL ID: 10700016300

ROYAL PARK BUSINESS CENTER ASSOCIATION
 30 RACHEL DRIVE
 20010827-0092325
 PARCEL ID: 10700016400

SUNTRUST SERVICE CORP.
 41 RACHEL DRIVE
 00008250-0000865
 PARCEL ID: 10700014300

HP SHERRILL III, LLLP
 50 RACHEL DRIVE
 20121029-0098747
 PARCEL ID: 10700001202

A129.32'
 R61.52'
 D120°26'33"
 CBS 60°44'17" W

S 85°18'29" W
 28.29'

A245.39'
 R471.79'
 D29°48'02"
 CBS 70°24'52"

- GENERAL NOTES**
1. THE PURPOSE OF THIS SPECIFIC PLAN IS TO PERMIT TWO HOTELS.
 2. SOIL TYPES ARE SvD AND SIC, FURTHER DEHCRIBED AND MAPPED ON SHEET C-1.
 3. THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 94-1104 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION & REPLACEMENT PROCEDURES.)
 4. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
 5. ALL DIMENSIONS INVOLVING CURB ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5.0' UNLESS NOTED OTHERWISE.
 6. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
 7. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
 8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
 9. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
 10. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED, MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
 11. ALL PUBLIC WORKS DESIGN STANDARDS SHALL BE MET PRIOR TO ANY FINAL APPROVALS AND PERMIT ISSUANCE. ANY APPROVAL IS SUBJECT TO PUBLIC WORKS' APPROVAL OF THE CONSTRUCTION PLANS.
 12. ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE.

EXTERIOR PAINTS ARE AS FOLLOWS:

- PRATT AND LAMBERT TRAFFIC PAINT
- SHERWIN-WILLIAMS PAVEMENT MARKING PAINT B29 SERIES
- GLIDDEN ROMARK TRAFFIC PAINT
- PPG ZONE AND TRAFFIC MARKING PAINT

METRO NASHVILLE REQUIRED GENERAL NOTES

1. EXCEPT AS AUTHORIZED BY APPROVED CONSTRUCTION PLANS, NO GRADING, CUTTING OF TREES, OR DISTURBANCE OF NATURAL FEATURES SHALL BE PERFORMED WITHIN ANY GREENWAY EASEMENTS.
2. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
3. BUILDING SETBACK SHALL BE PER THE METRO ZONING CODE.
4. APPROVAL OF ANY PRELIMINARY OR FINAL PLAN DOES NOT EXEMPT ANY LOT SHOWN ON THE PLAN, OR ANY DEVELOPMENT ON ANY LOT, FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, AND CRITICAL LOTS. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR A LOT DESIGNATED AS A CRITICAL LOT ON THIS PLAN, A GRADING PLAN, KNOWN AS A CRITICAL LOT PLAN, MUST BE SUBMITTED TO THE METRO PLANNING DEPARTMENT AS REQUIRED BY APPENDIX C OF THE METRO SUBDIVISION REGULATIONS. THE CRITICAL LOT PLAN WILL BE EVALUATED FOR CONFORMANCE WITH THE REGULATIONS, INCLUDING, BUT NOT LIMITED TO THE DEGREE TO WHICH GRADING IS MINIMIZED TO PRESERVE NATURAL FEATURES OF THE LOT AND THE AMOUNT OF CUT/FILL REQUIRED TO PREPARE THE LOT FOR CONSTRUCTION. IT IS EMPHASIZED THAT A TYPICAL HOUSE DESIGN MAY NOT BE SUITABLE FOR A CRITICAL LOT.
5. NO BUILDING PERMIT MAY BE ISSUED ON ANY LOT UNTIL STREET NAME SIGNS ARE INSTALLED AS VERIFIED BY THE METROPOLITAN DEPARTMENT OF PUBLIC WORKS ON ALL STREETS ON WHICH LOT DEPENDS ON ACCESS.
6. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
7. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
8. WHERE APPLICABLE, SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL. MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP.
9. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
10. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITH THE PROPERTY.
11. "NOTE TO PROSPECTIVE OWNERS" YOU ARE STRONGLY ADVISED TO CONTACT METRO WATER SERVICES ENGINEERING (DEVELOPMENT SERVICES) TO DETERMINE ADEQUACY OF PUBLIC WATER AND SEWER FACILITIES FOR INTENDED DEVELOPMENT OF PROPERTY.
12. INDIVIDUAL WATER AND/OR SANITARY SEWER LINES ARE REQUIRED FOR EACH PARCEL.
13. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO ISSUANCE OF USE OF OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
14. THERE ARE TO BE NO VERTICAL OBSTRUCTIONS (SIGNS, POWER POLES, FIRE HYDRANTS, ETC.) WITHIN THE PROPOSED SIDEWALKS. VERTICAL OBSTRUCTIONS MUST BE RELOCATED OUT OF THE PROPOSED SIDEWALKS, WHERE APPLICABLE.
15. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPT. OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.

CONSTRUCTION LEGEND

- (LDBP C7) - LIGHT DUTY PERVIOUS PAVEMENT
- (HDBP C7) - HEAVY DUTY PERVIOUS PAVEMENT
- (SWITE C7) - SIDEWALK TURN-DOWN EDGE
- (HS C7) - HANDICAP SYMBOL
- (SW C7) - SIDEWALK
- (HR C7) - HANDICAP RAMP
- (CE C7) - COMMERCIAL ENTRANCE
- (HVPS C7) - HANDICAP VAN PARKING SIGN
- (HPS C7) - HANDICAP PARKING SIGN
- (HC C7) - HEADER CURB
- (WS C7) - WHEEL STOP
- (DE C7) - DUMPSTER ENCLOSURE
- (CP C7) - CONCRETE PAVEMENT



DEVELOPMENT SUMMARY				
STATISTIC	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)	PROVIDED (TOTAL)
CURRENT ZONING	SP - SPECIFIC PLAN	SP - SPECIFIC PLAN	SP - SPECIFIC PLAN	SP - SPECIFIC PLAN
PROPOSED USE	N/A	HOTEL	HOTEL	HOTEL
TOTAL SITE AREA	N/A	126,803 +/- SQ. FT. 2.91 +/- ACRES	87,375 +/- SQ. FT. 2.01 +/- ACRES	214,178 +/- SQ. FT. 4.92 +/- ACRES
MAX I.S.R.	0.9	78.5% (2.29 AC)	85.4% (1.71 AC)	81.3% (4.00 AC)
BUILDING SETBACKS	FRONT (RACHEL DR.): 50' SIDE (SOUTH): 20' SIDE (EAST): 20' REAR (NORTH): 30'	FRONT (RACHEL DR.): 50.32' SIDE (SOUTH): 47.53' SIDE (EAST): 68.3' REAR (NORTH): 78.5'	FRONT (RACHEL DR.): 88.86' SIDE (WEST): 51.92' SIDE (EAST): 57.05' REAR (NORTH): 84.61'	N/A
LANDSCAPE PLAN	SEE SHEET L1	SEE SHEET L1	SEE SHEET L1	SEE SHEET L1
DRAINAGE PLAN	SEE SHEET C3	SEE SHEET C3	SEE SHEET C3	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A	N/A	N/A
SITE ACCESS	N/A	ONE ACCESS POINT ON RACHEL DRIVE	ONE ACCESS POINT ON RACHEL DRIVE	TWO ACCESS POINTS ON RACHEL DRIVE
STATISTIC	REQUIRED	PHASE I (15 EMPLOYEES MAX SHIFTS)	PHASE II (25 EMPLOYEES MAX SHIFTS)	TOTAL (40 EMPLOYEES MAX SHIFTS)
TOTAL PARKING	1 SPACE PER BEDROOM UNIT, PLUS 1 SPACE PER 2 EMPLOYEES	HANDICAP SPACES: 6 STANDARD SPACES: 156 TOTAL SPACES: 162	HANDICAP SPACES: 6 STANDARD SPACES: 149 TOTAL SPACES: 155	HANDICAP SPACES: 12 STANDARD SPACES: 361 TOTAL SPACES: 317
BUILDING SUMMARY				
STATISTIC	PROVIDED (PHASE I)	PROVIDED (PHASE II)	PROVIDED (TOTAL)	
BUILDING AREA	85,746 SF +/-	43,560 SF +/-	129,306 SF +/-	
BUILDING HEIGHT	55'-7" (4 FLOORS)	56' (4 FLOORS)	MAX 56' (4 FLOORS)	
BDRM UNIT #	130 UNITS	95 UNITS	225 UNITS	
FOOTPRINT	26,918 SF +/-	10,890 SF +/-	37,808 SF +/-	
F.A.R.	0.676	0.498	0.604	

BENCHMARK DATA:

- BENCHMARK 1
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "M. MCKINNEY PLS 3318" LOCATED IN THE SOUTH WEST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 20.68' FROM CENTER OF SANITARY SEWER MANHOLE ELEV: 803.00
- BENCHMARK 2
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "M. MCKINNEY PLS 3318" LOCATED IN THE NORTH EAST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 39.65' FROM EDGE OF PAVEMENT ELEV: 810.90



REVISIONS

CAMBRIA
 hotels & suites

40 RACHEL DRIVE
 NASHVILLE, TN 37214

ACES
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1338
 BOWLING GREEN, KY 42101
 PHONE (270) 786-9445

JOB NUMBER: 17-3151-L

DATE: 12/19/2017

SCALE: 1" = 40'

DRAWN: B. McDANIEL

CHECKED: D. WHITLEY

FILE PATH:

2:SITEDEV\2: SITE LAYOUT

C2
 SITE LAYOUT

GRADING AND DRAINAGE NOTES:

- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY KENTUCKY 811 48 HOURS PRIOR TO EXCAVATION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
- SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
- FILL, INCLUDING FINAL TOPSOIL, SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM THE BUILDING.
- ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
- ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
- STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
- GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
- CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
 - A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.
 - B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0%. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
- TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENT CONTROL MEASURES AROUND STOCKPILES DURING CONSTRUCTION.
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.

PROPOSED LEVEL 1 PERVIOUS PAVERS



PROPOSED LEVEL 2 PERVIOUS PAVERS



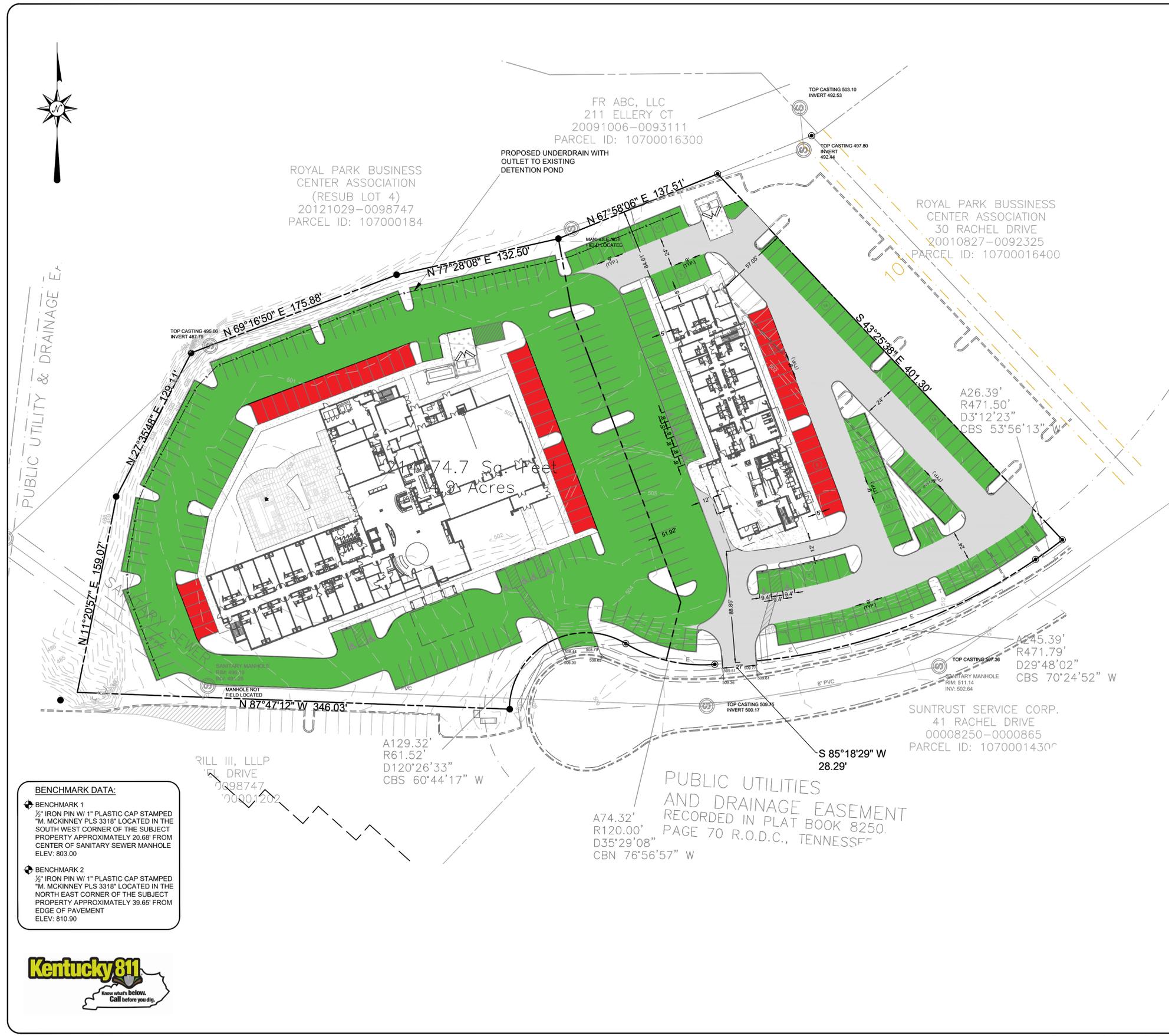
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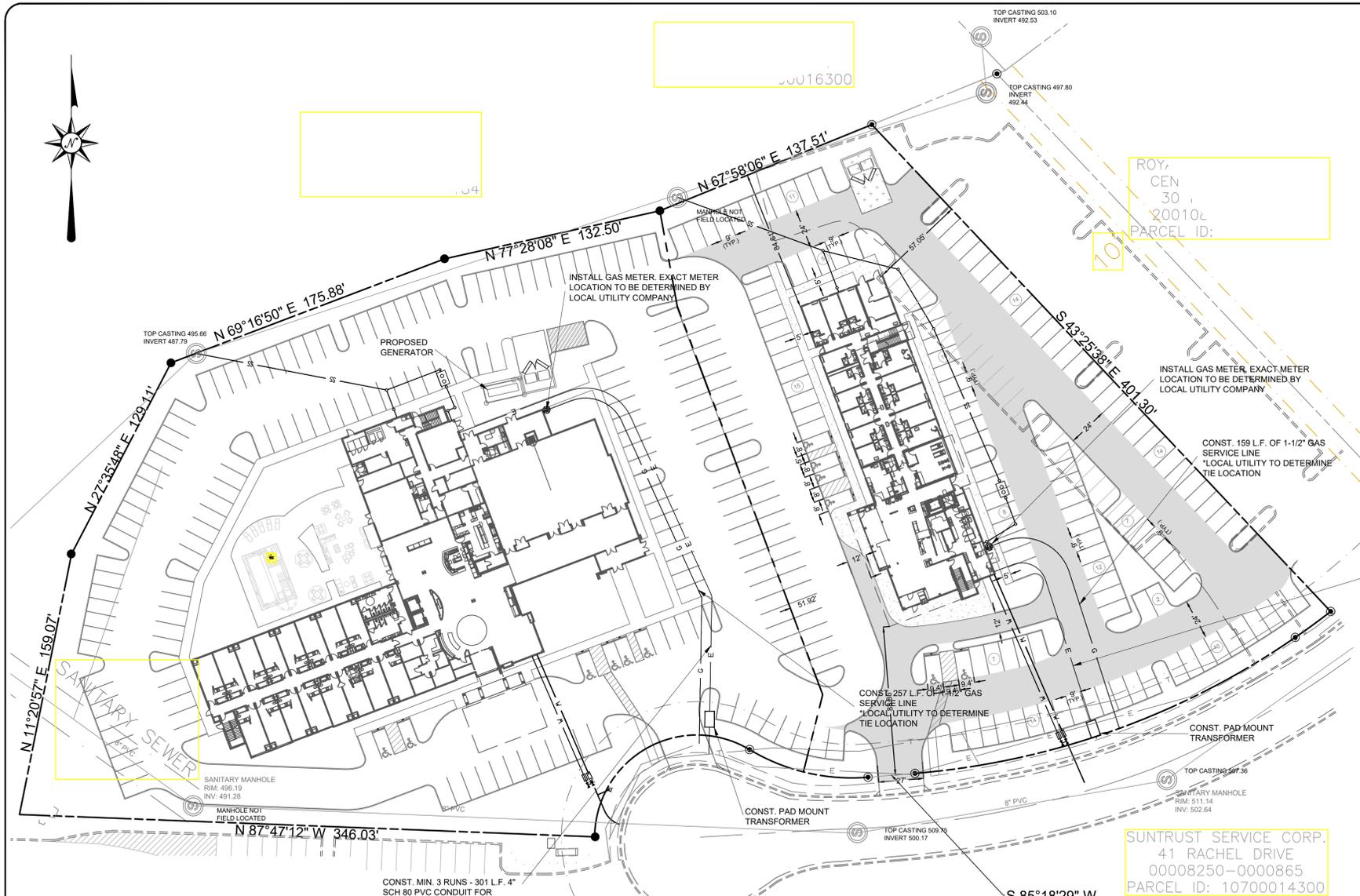
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CHECKED: D. WHITLEY
FILE PATH:
Z:\SITE\DEV\3 - SITE GRADING & DRA

C3
SITE GRADING
& DRAINAGE





CONST. MIN. 3 RUNS - 125 L.F. 4" SCH 80 PVC CONDUIT FOR SECONDARY ELECTRIC SERVICES OR AS MANY RUNS AS REQUIRED BY ARCHITECTURAL AND MPE PLANS. NEW UNDERGROUND ELECTRIC SERVICE REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR REQUIREMENTS. PRIOR TO INSTALLATION, CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY TO CONFIRM ROUTE AND REQUIREMENTS.

CONST. MIN. 3 RUNS - 301 L.F. 4" SCH 80 PVC CONDUIT FOR SECONDARY ELECTRIC SERVICES OR AS MANY RUNS AS REQUIRED BY ARCHITECTURAL AND MPE PLANS. NEW UNDERGROUND ELECTRIC SERVICE REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR REQUIREMENTS. PRIOR TO INSTALLATION, CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY TO CONFIRM ROUTE AND REQUIREMENTS.

PUBLIC UTILITIES AND DRAINAGE EASEMENT RECORDED IN PLAT BOOK 8250, PAGE 70 R.O.D.C., TENNESSEE

SUNTRUST SERVICE CORP.
41 RACHEL DRIVE
00008250-0000865
PARCEL ID: 10700014300

ROY,
CEN
30
200102
PARCEL ID:

UNDERGROUND ELECTRIC REQUIREMENTS

- GENERAL:
A. TRANSFORMER PADS, VAULTS, SECONDARY CONDUCTOR, METER SOCKET, EXCAVATION, CONDUIT AND BACK FILL PROVIDED BY CONTRACTOR/DEVELOPER.
- B. PAD MOUNT TRANSFORMERS, JUNCTION ENCLOSURES, PRIMARY CONDUCTORS ONLY, AND INSTALLATION BY LOCAL UTILITY COMPANY.
- C. UNDERGROUND CONSTRUCTION BY CONTRACTOR IS SUBJECT TO INSPECTION BY LOCAL UTILITY COMPANY, AND MUST BE APPROVED PRIOR TO THE INSTALLATION OF CONDUCTOR AND TRANSFORMERS. CONDUIT TO BE INSPECTED BEFORE BACKFILLING.
- D. REFER TO LOCAL UTILITY COMPANY'S OPERATING POLICIES FOR ADDITIONAL RULES AND REGULATIONS.
- E. SUBDIVISION OR AREA IN QUESTION WILL BE AT LEAST ROUGH GRADE BEFORE ANY TRENCHING CAN BEGIN.
- F. ANY CHANGES TO THESE OR ANY OTHER LOCAL UTILITY COMPANY SPECIFICATIONS RELATING TO SAME MUST BE DESIGNED OR APPROVED BY THAT LOCAL UTILITY COMPANY.
- CONDUIT REQUIREMENTS:
A. MINIMUM SIZE OF PRIMARY CONDUIT TO BE 3" SCH 80 PVC AND MINIMUM DEPTH FOR THIS CONDUIT IS 42 INCHES TO TOP OF CONDUIT. MINIMUM SIZE OF SECONDARY CONDUIT TO BE 3" SCH 80 PVC AND MINIMUM DEPTH FOR THIS CONDUIT IS 42 INCHES TO TOP OF CONDUIT. MINIMUM SIZE OF CONDUIT FOR UNDERGROUND SERVICE LATERAL TO BE 3" SCH PVC AND MINIMUM DEPTH 24 INCHES TO TOP OF CONDUIT.
- B. ALL BENDS IN CONDUIT SHALL BE RIGID METAL OF SUFFICIENT RADII TO PERMIT EASE IN PULLING WIRE (NO PLUMBERS BENDS WILL BE ACCEPTED). ALL 90° BENDS IN PRIMARY CONDUIT WILL HAVE A MINIMUM RADIUS OF 36 INCHES. ALL 90° BENDS IN SECONDARY CONDUIT WILL HAVE A MINIMUM RADIUS OF 18 INCHES.
- C. ALL CONDUITS TO CONTAIN 150 LB. TEST (OR GREATER) NYLON STRING.
- D. BACKFILL OVER CONDUIT SHALL CONTAIN NO LARGE ROCKS OR DEBRIS.
- E. ALL CONDUITS BENEATH ROAD SURFACE WILL BE SCH 80, OR ENCASED IN A 4 INCH CONCRETE ENVELOPE, AND WILL BE BACKFILLED WITH NO. 9 CRUSHED STONE.
- F. ALL CONDUITS WILL BE INSTALLED AS SPECIFIED AND LOCATED BENEATH ALL OTHER UTILITIES WHERE POSSIBLE. ALTERATIONS TO THIS SPECIFICATION WILL BE DESIGNED OR APPROVED BY THE LOCAL UTILITY COMPANY.
- G. A "BURIED ELECTRIC LINES" WARNING TAPE (3" MINIMUM WIDTH) WILL BE INSTALLED 12 INCHES DIRECTLY OVER PRIMARY CONDUITS AND 12 INCHES BENEATH FINAL GRADE FOR SAME.
- H. SECONDARY CONDUITS NOT FOLLOWING A STRAIGHT LINE BETWEEN TERMINATIONS WILL ALSO REQUIRE WARNING TAPE TO BE INSTALLED 12 INCHES BENEATH FINAL GRADE.
- I. WARNING TAPE WILL BE FURNISHED BY LOCAL UTILITY COMPANY UPON REQUEST.
- J. ENTIRE EXCAVATED AREA NEAR PAD TO BE BACKFILLED WITH NO. 9 CRUSHED STONE.
- K. WHEN LOCAL UTILITY COMPANY CONDUCTORS ARE TO BE PARALLEL TO WATER, SEWER AND GAS, THERE MUST BE A MINIMUM OF THREE FEET SEPARATION. WHEN LOCAL UTILITY COMPANY CONDUCTORS ARE TO BE PARALLEL TO CABLE TV OR TELEPHONE, THERE MUST BE A MINIMUM SEPARATION OF ONE FOOT. NO OTHER UTILITIES MAY BE DIRECTLY ABOVE THE POWER CABLES.
- L. WHEN CROSSING UNDER OTHER BURIED UTILITY LINES, THE LOCAL UTILITY COMPANY REQUIRES A MINIMUM SEPARATION OF TWO FEET. WHEN A SEPARATION OF TWO FEET CAN NOT BE ACHIEVED, THE SEPARATION MAY BE REDUCED TO ONE FOOT WITH A FOUR INCH CONCRETE ENCASEMENT THE LENGTH OF FOUR FEET TO EACH SIDE OF THE BURIED LINE BEING CROSSED.

GENERAL NOTES

1. THE CONTRACTOR IS ADVISED THAT ALL EXISTING UTILITIES SHOWN WERE FIELD SURVEYED BASED ON LOCATIONS PROVIDED BY EACH UTILITY COMPANY. OTHER UTILITIES MAY EXIST THAT ARE UNMAPPED. THE CONTRACTOR IS ADVISED TO FIELD VERIFY ALL UNDERGROUND UTILITIES BY CONTACTING THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATION.
2. ALL UTILITIES TO BE CONSTRUCTED TO 5' OUTSIDE OF PROPOSED BUILDING PER DEVELOPER'S REQUEST.
3. MINIMUM DEPTH OF TRENCHING IS 42 INCHES.
4. DEPTH OF ELECTRICAL AND TELEPHONE CONDUITS SHALL BE ADJUSTED AS REQUIRED TO ALLOW FOR SPECIFIED PLACEMENT OF SANITARY AND STORM SEWER.
5. BACK FILL OF ALL TRENCHES BENEATH STRUCTURES AND/OR PAVEMENT SHALL BE CRUSHED STONE OR SIMILAR MATERIAL AS APPROVED BY ENGINEER.
6. BEFORE YOU DIG: CONTRACTOR SHALL NOTIFY KENTUCKY CALL BEFORE YOU DIG AT 811 48 HOURS PRIOR TO EXCAVATION, TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WITHIN THE PROPOSED SITE.
7. DAMAGE CAUSED BY CONTRACTOR TO ANY UTILITIES OR OTHER IMPROVEMENTS SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL VERIFY LOCATIONS THAT UTILITIES ENTER THE BUILDING FROM THE ARCHITECTURAL PLANS PRIOR TO INSTALLING UTILITY SERVICE LINE.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY



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JOB NUMBER: 17-3151-L
DATE: 12/19/2017
SCALE: 1" = 40'
DRAWN: B. McDANIEL
CHECKED: D. WHITLEY
FILE PATH:
Z:\SITE\DEV\09 - ELECTRIC, TELEPHO

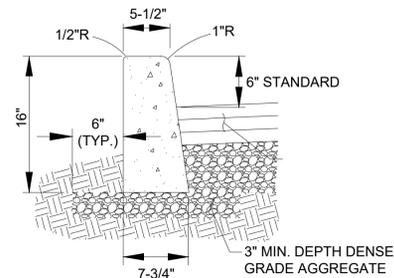
C6
ELECTRIC,
TELEPHONE, & GAS

BENCHMARK DATA:

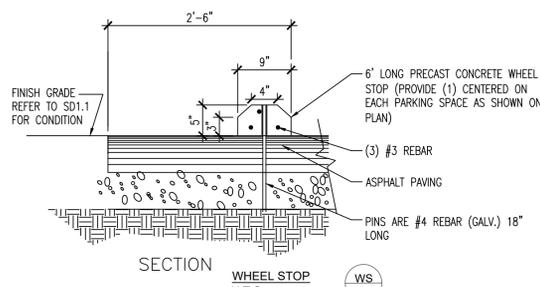
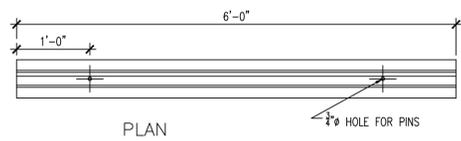
◆ BENCHMARK 1
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "M. MCKINNEY PLS 3318" LOCATED IN THE SOUTH WEST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 20.65' FROM CENTER OF SANITARY SEWER MANHOLE ELEV: 803.00

◆ BENCHMARK 2
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "M. MCKINNEY PLS 3318" LOCATED IN THE NORTH EAST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 39.65' FROM EDGE OF PAVEMENT ELEV: 810.90



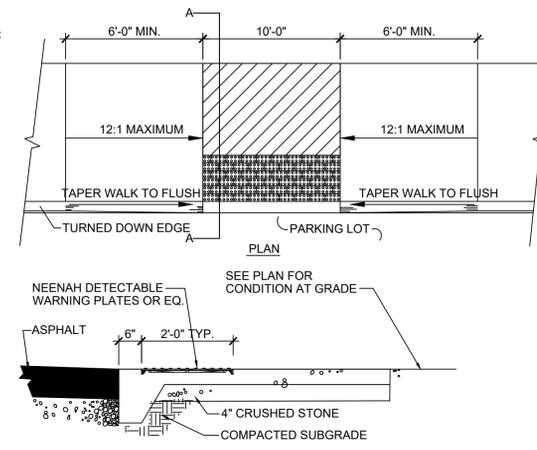


**TYPICAL SECTION
HEADER CURB**
N.T.S. HC C7

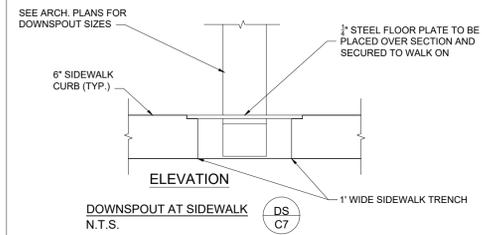


WHEEL STOP
N.T.S. WS C7

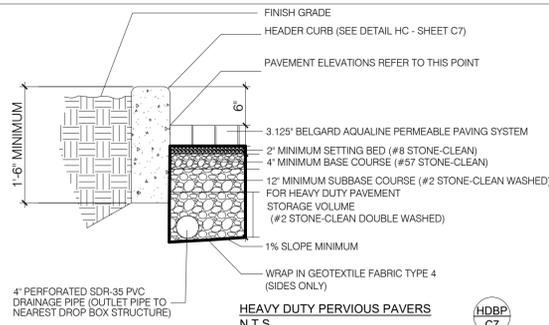
- DETECTABLE WARNING PLATE NOTES:**
1. REFER TO PLAN FOR LOCATIONS AND CONDITION OF TACTILE SURFACE.
 2. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 3. KEEP WET CONCRETE OFF THE TOP SURFACE OF THE PLATES AT ALL TIMES.
 4. USE RADIUS PLATE SECTIONS FOR CURVES.
 5. COLOR TO BE BRICK RED



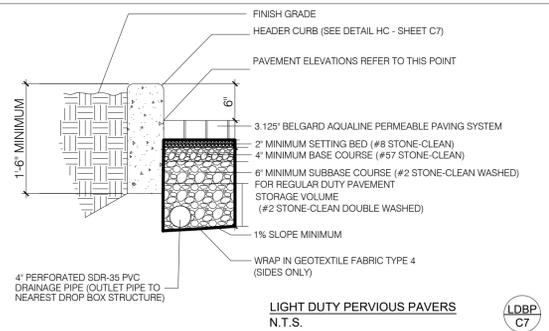
HANDICAP RAMP
N.T.S. HR C7



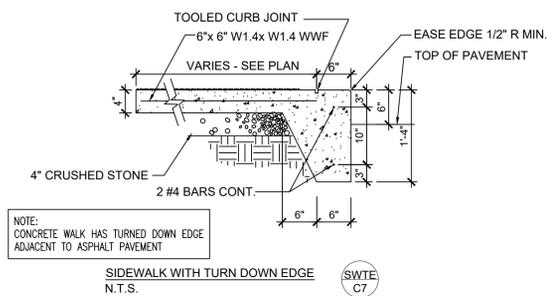
DOWNSPOUT AT SIDEWALK
N.T.S. DS C7



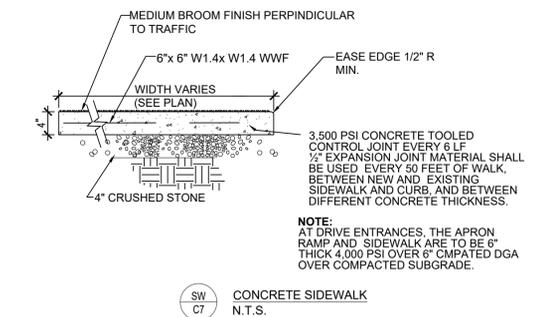
HEAVY DUTY PERVIOUS PAVERS
N.T.S. HDBP C7



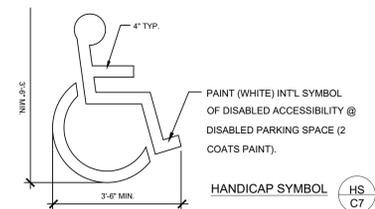
LIGHT DUTY PERVIOUS PAVERS
N.T.S. LDBP C7



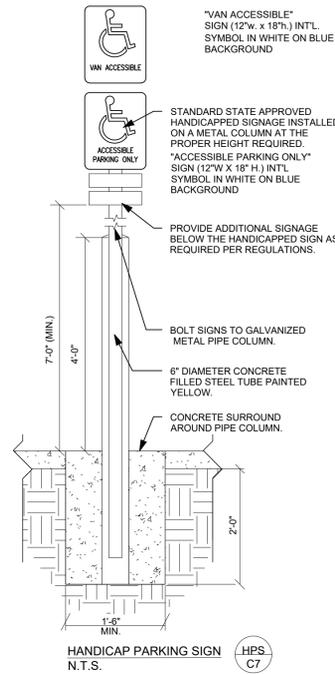
SIDEWALK WITH TURN DOWN EDGE
N.T.S. SWTE C7



CONCRETE SIDEWALK
N.T.S. SW C7

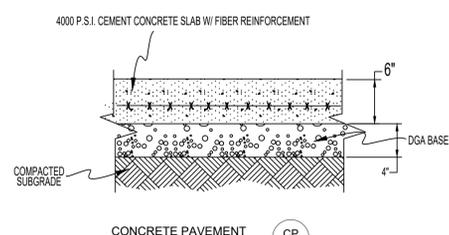


HANDICAP SYMBOL
N.T.S. HS C7

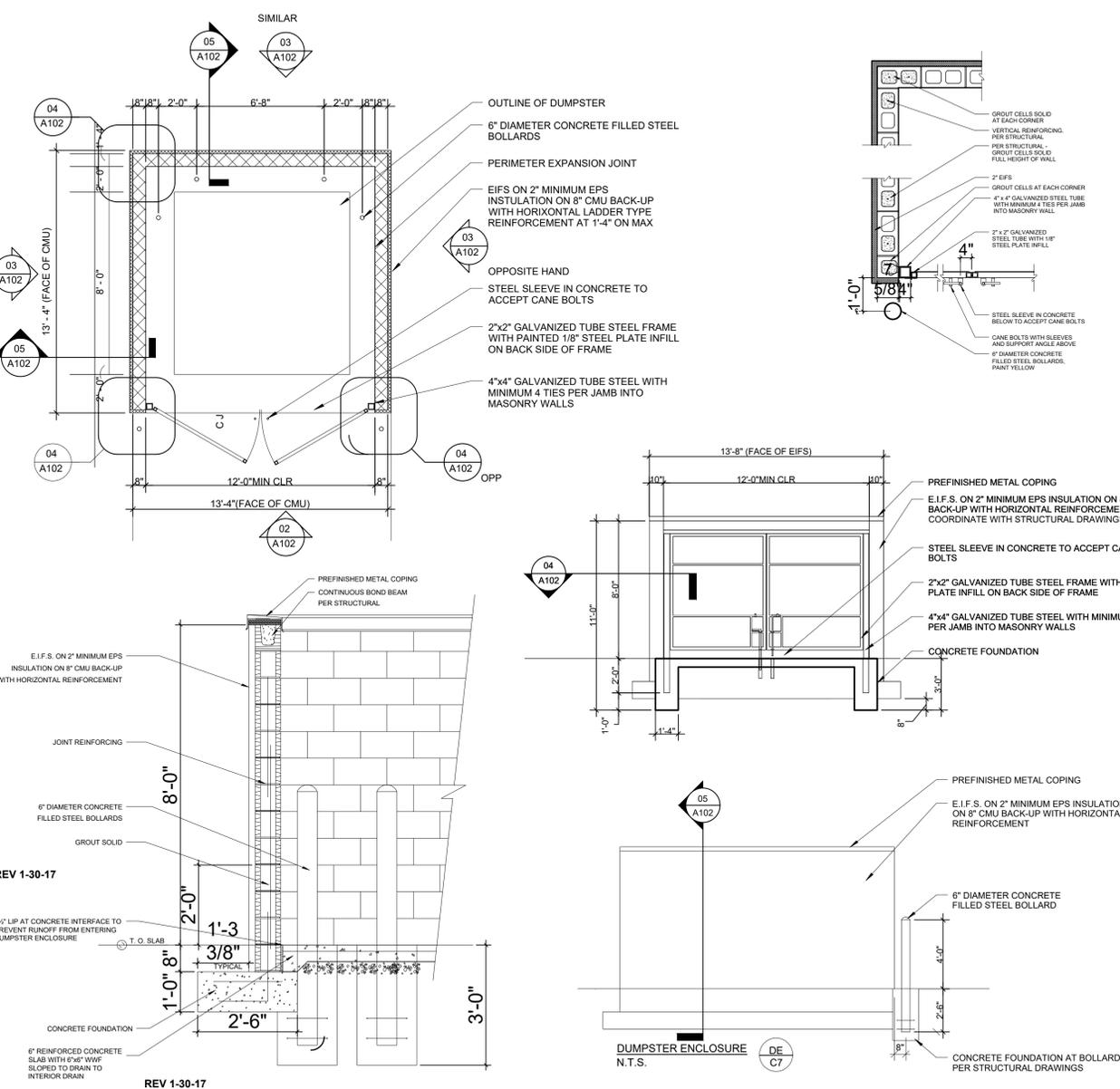


HANDICAP PARKING SIGN
N.T.S. HPS C7

HANDICAP VAN PARKING SIGN
N.T.S. HVPS C7



CONCRETE PAVEMENT
N.T.S. CP C7



REV 1-30-17

REV 1-30-17

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JOB NUMBER: 17-3151-L

DATE: 12/19/2017

SCALE: 1" = 4'

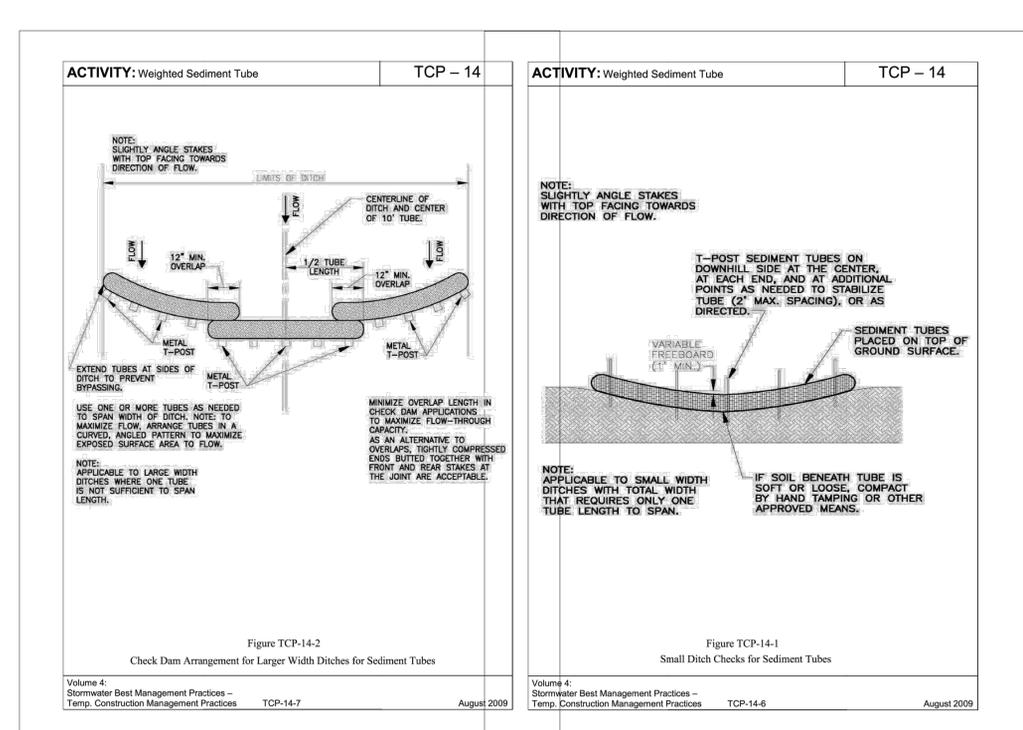
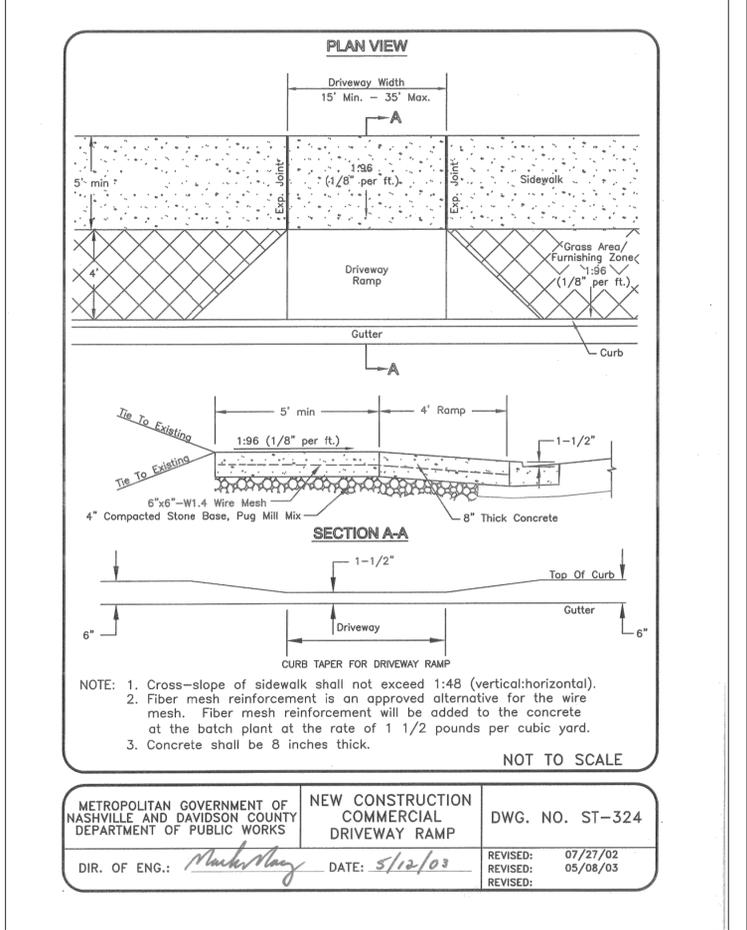
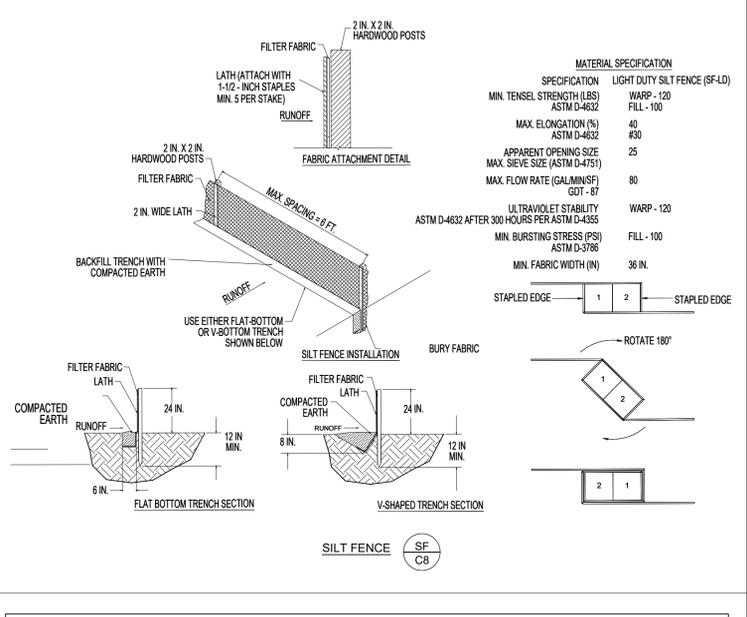
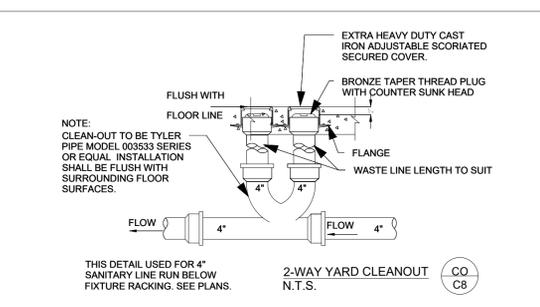
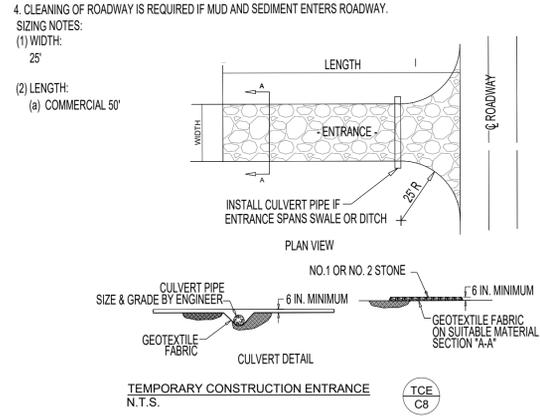
DRAWN: B. McDANIEL

CHECKED: D. WHITLEY

FILE PATH:
2:SITE/DEV7-DETAILS

C7
DETAILS

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. CLEANING OF ROADWAY IS REQUIRED IF MUD AND SEDIMENT ENTERS ROADWAY.



REVISIONS

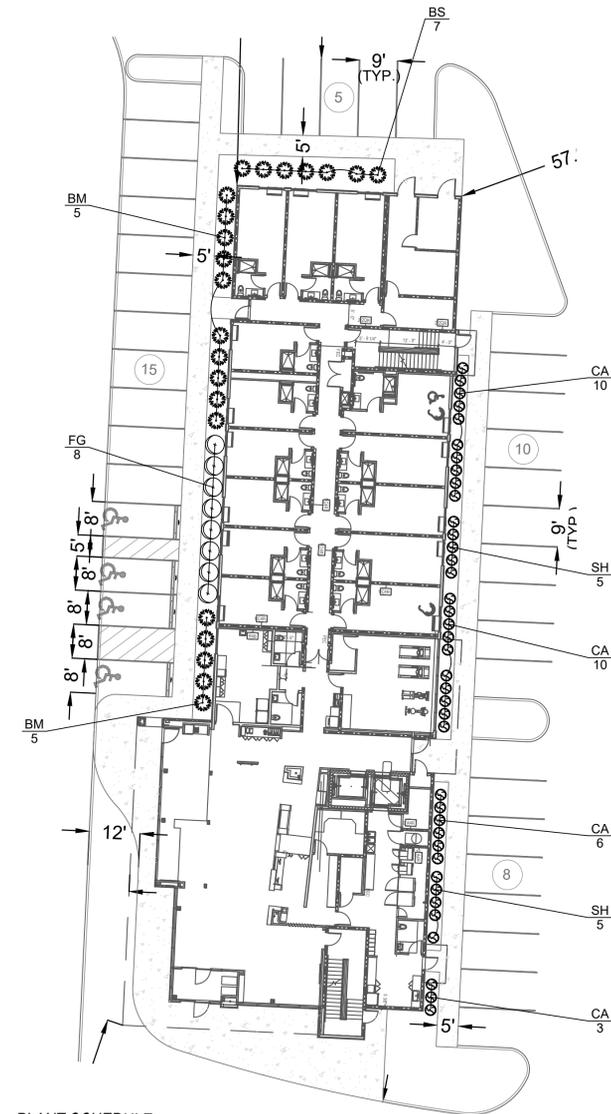
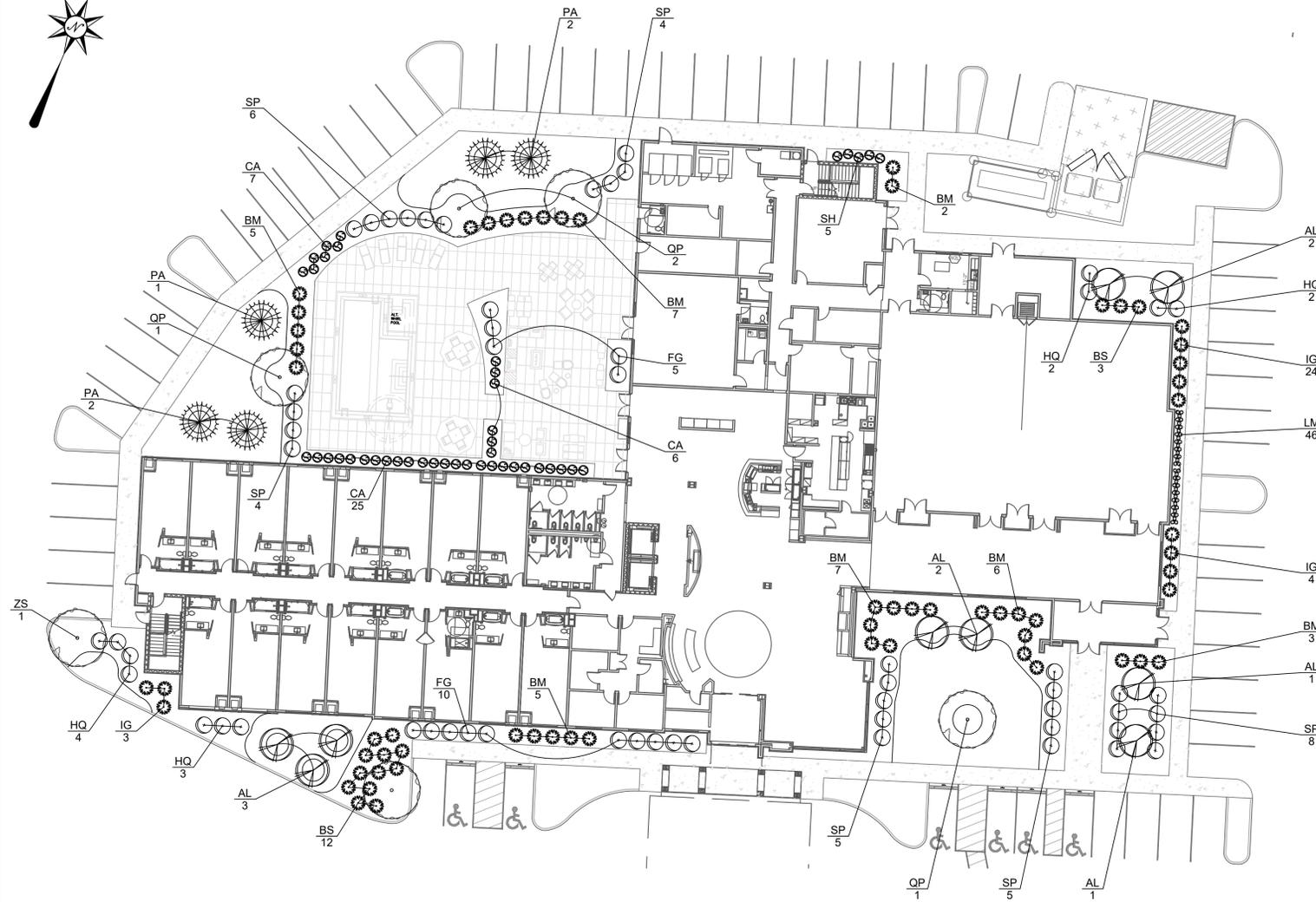
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DATE: 12/19/2017
SCALE: N.T.S.
DRAWN: B. McDANIEL
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FILE PATH:
2:SITE/DEV/3-DETAILS

C8
DETAILS

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY.



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TREES						
AL	9	PRUNUS X YEDOENSIS	YOSHINO CHERRY	6' HT.	B&B	WELL BRANCHED
PA	5	PRUNUS X YEDOENSIS	YOSHINO CHERRY	6' HT.	B&B	WELL BRANCHED
QP	4	QUERCUS PHELLOS	EASTERN WHITE PINE	2" CAL.	B&B	WELL BRANCHED
ZS	1	ZELKOVA SERRATA	JAPANESE ZELKOVA	2" CAL.	B&B	WELL BRANCHED
SHRUBS						
BM	35	BUXUS MICROPHYLLA 'WINTERGREEN'	LITTLELEAF BOXWOOD	18" HT.	B&B	WELL BRANCHED
BS	15	BUXUS SEMPERVIRENS 'YARDAR VALLEY'	COMMON BOXWOOD	18" HT.	B&B	WELL BRANCHED
CA	38	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS			3 GAL. CLUMP
FG	15	FOTHERGILLA GARDENII 'JANE PLATT'	DWARF FOTHERGILLA	18" HT.	B&B	WELL BRANCHED
HQ	11	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	OAKLEAF HYDRANGEA	18" HT.	B&B	WELL BRANCHED
IG	31	ILEX GLABRA 'SHAMROCK'	INKBERRY	18" HT.	B&B	WELL BRANCHED
SH	5	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED			3 GAL. CLUMP
SP	32	SYRINGA PATULA 'MISS KIM'	KOREAN LILAC	18" HT.	B&B	WELL BRANCHED
GROUND COVER						
LM	46	LIRIOPE MUSCARI 'BIG BLUE'	LIRIOPE	1 QUART		12" O.C.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHRUBS						
CA	18	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS			3 GAL. CLUMP
CG	9	CAREX GLAUCA	BLUE SEDGE			3 GAL. CLUMP
SH	19	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED			3 GAL. CLUMP
GROUND COVER						
CM	112	CAREX MORROWII 'ICE DANCE'	JAPANESE SEDGE	1 QUART		12" O.C.
LM	52	LIRIOPE MUSCARI 'BIG BLUE'	LIRIOPE	1 QUART		12" O.C.
VM	98	VINCA MINOR 'BOWLES'	COMMON PERIWINKLE	1 QUART		12" O.C.

NOTE: SEE SHEET L1 FOR OVERALL LANDSCAPE PLAN.



Case No. 2018-015-001



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DATE: 12/19/2017

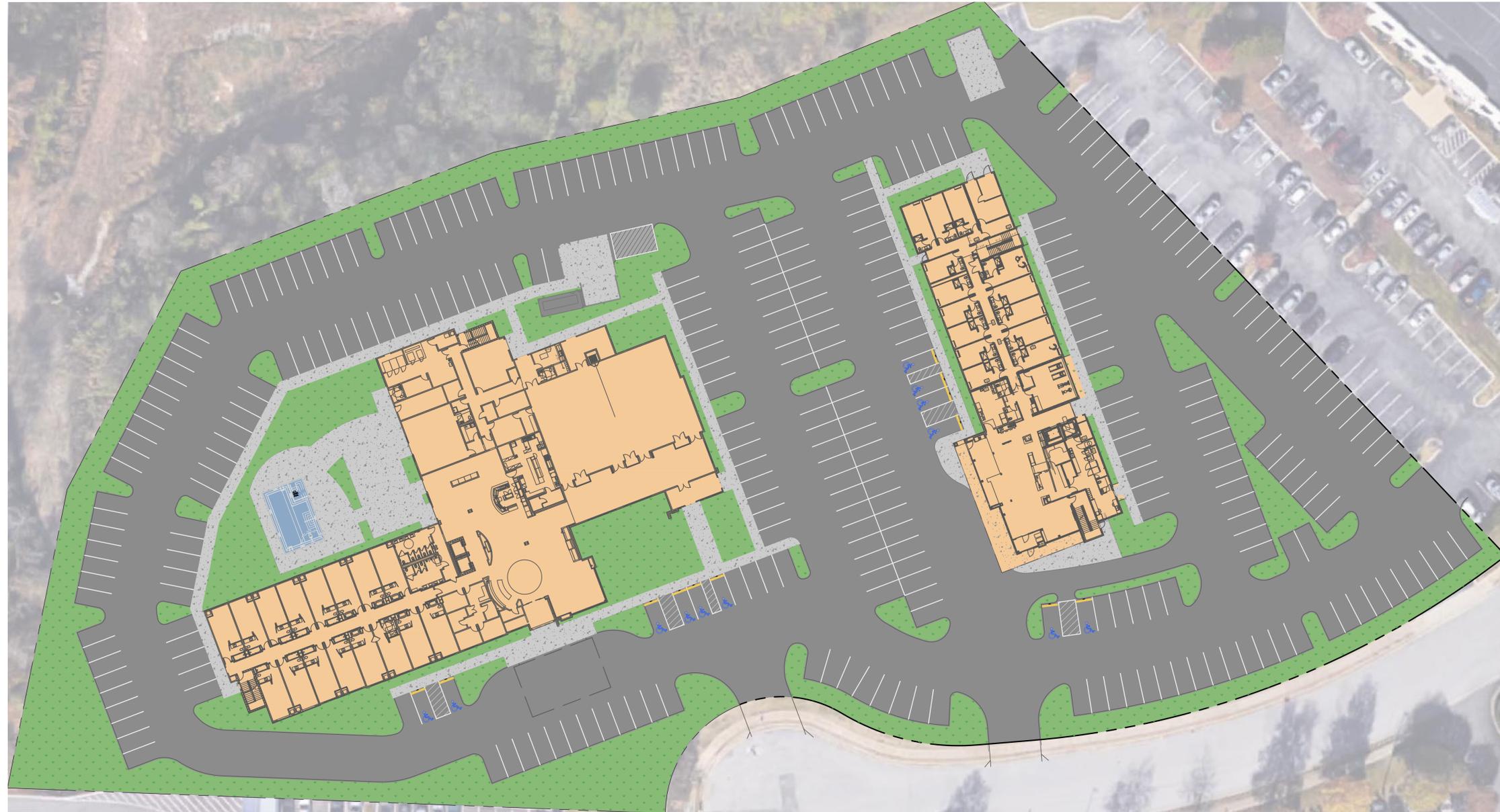
SCALE: 1" = 20'

DRAWN: K. CARDWELL

CHECKED: B. SHIRLEY

FILE PATH:
Z:\SITEDEV\1 - LANDSCAPE PLAN

L2
FOUNDATION
PLANTING



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DATE: 12/19/2017

SCALE: 1" = 30'

DRAWN: B. McDANIEL

CHECKED: B. SHIRLEY

FILE PATH:
2:SITEDEV.L3 - SITE RENDERING



Case No. 2018-015-001

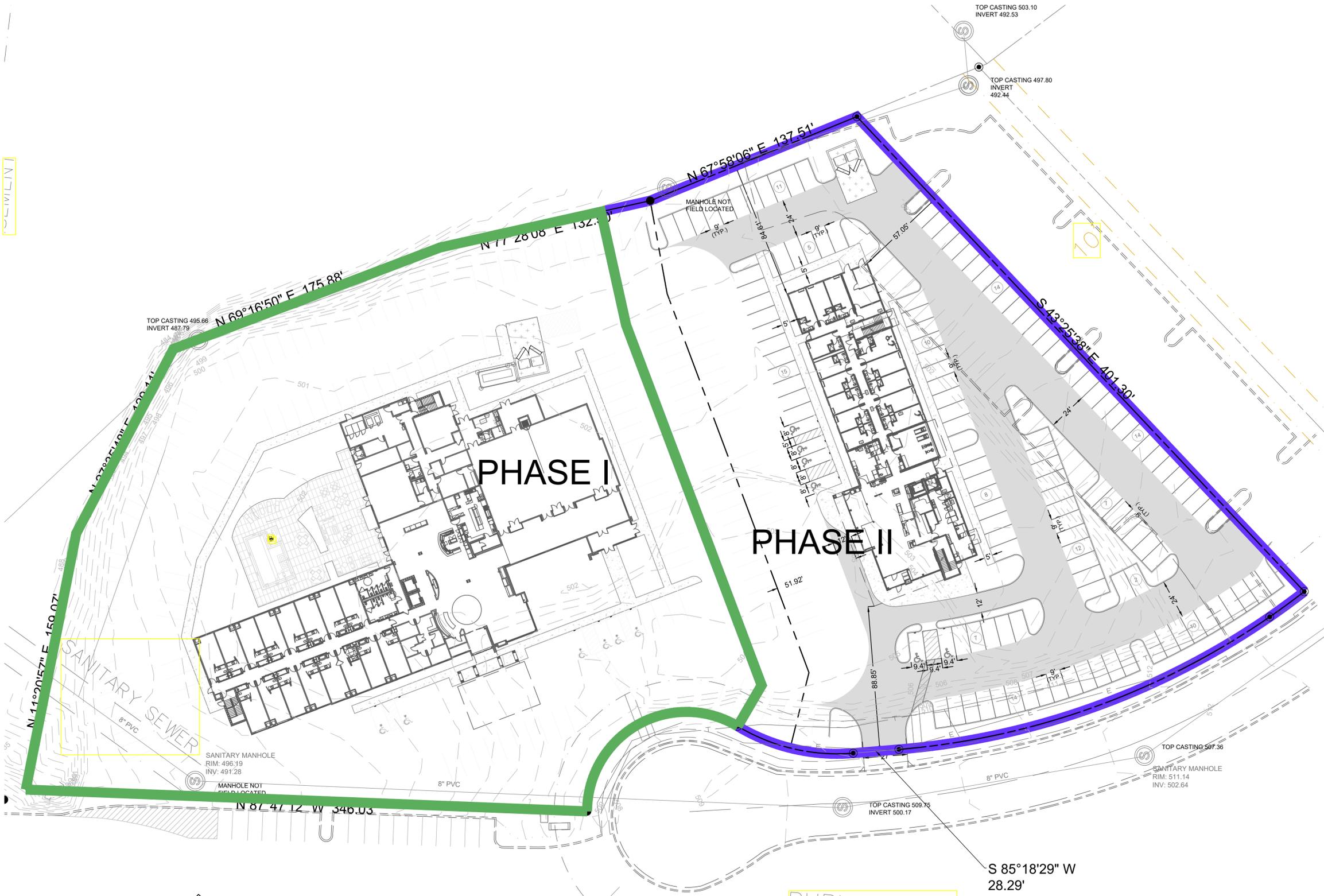


L3

SITE RENDERING



SEWELIN



PHASE I

PHASE II

SANITARY SEWER
8" PVC

PUBLIC UTILITY

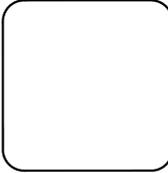


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JOB NUMBER: 17-3151-L
DATE: 12/19/2017
SCALE: 1" = 30'
DRAWN: B. McDANIEL
CHECKED: B. SHIRLEY
FILE PATH:
Z:\SITE\DEV\1 - PHASING PLAN



P1
PHASING PLAN

MASTER DEVELOPMENT STANDARDS
FOR
SPECIFIC PLAN REZONING
CAMBRIA SUITES DEVELOPMENT
40 RACHEL DRIVE
LOT 3 OF THE ROYAL PARK BUSINESS CENTER

TABLE OF CONTENTS

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VI.	SIGNAGE	4
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VIII.	UTILITIES AND LIGHTING	5
IX.	AMENDMENTS OF MANUAL OF STANDARDS	5
X.	SPECIFIED BASE ZONING FOR ITEMS NOT SPECIFICALLY LISTED	5

I. INTRODUCTION AND PURPOSE:

a. INTRODUCTION

To define the standards to be set forth for the specific plan rezoning the following document will establish minimum standards that are to be met. These standards are being established to maintain orderly and attractive development within the project, which in turn will aid in preserving and enhancing land values. A visually pleasing environment creates a strong sense of identity and pride.

b. PURPOSE

This Manual of Standards is being established to reflect the developer's concern for high environmental and aesthetic quality that will be reflected in the design and construction of the Cambria Suites in phase 1 and the proposed future hotel development as part of phase 2. They are not intended to limit expression of individual sites. The standards have been established to provide a framework to ensure that a consistent visual and environmental quality is maintained.

c. COORDINATION WITH LOCAL CODES

The purpose of these standards is to establish minimum development standards. They are in no way intended to supersede existing or future local or state codes and ordinances. Where there are any conflicts with local codes or ordinances the stricter regulation or guideline shall apply as the minimum requirements.

II. GENERAL CONSTRUCTION CRITERIA

a. GRADING AND DRAINAGE

An effort will be made to prevent soil erosion through the use of new high quality erosion control measures. All construction shall comply with local ordinances. Where possible, surface drainage is encouraged by the use of sheet flows. When surface drainage is concentrated or channeled, measures shall be provided. Concentrated drainage should be placed in an underground system. Drainage shall not be permitted to flow into areas outside of individual sites above ground. Drainage *shall* not flow into streets. Parking lots shall have the following *slope* standards: Minimum *slopes* 1% and Maximum *slope* 5%. The storm drainage system *should* comply with local stormwater management ordinances if applicable.

b. TEMPORARY FACILITIES

The locations of all Temporary construction facilities shall be approved by the developer prior to construction. These facilities are to be maintained in a neat and orderly manner and removed at the end of construction.

III. BUILDING REQUIREMENTS

a. General

While the developer would like to encourage individual architectural expression, some controls are necessary to bring about continuity. Refer to Design Review Board.

- b. MATERIALS
Primary building materials may include brick, unit masonry, stone, glass, concrete, Dryvit, and metal.
- c. ROOF APPURTENANCES
Rooftop units of HVAC shall be placed in penthouse mechanical spaces or screened by roof parapets. No exposed roof top mechanical units or vents will be allowed.

IV. SITE REQUIREMENTS

DEVELOPMENT SUMMARY				
STATISTIC	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)	PROVIDED (TOTAL)
CURRENT ZONING	SP- SPECIFIC PLAN	SP - SPECIFIC PLAN	SP - SPECIFIC PLAN	SP - SPECIFIC PLAN
PROPOSED USE	N/A	HOTEL	HOTEL	HOTEL
TOTAL SITE AREA	N/A	126,803 +/- SQ. FT. 2.91 +/- ACRES	87,375 +/- SQ. FT. 2.01 +/- ACRES	214,175 +/- SQ. FT. 4.92 +/- ACRES
MAX I.S.R.	0.9	78.5% (2.29 AC)	85.4% (1.71 AC)	81.3% (4.00 AC)
BUILDING SETBACKS	FRONT (RACHEL DR.): 50' SIDE (SOUTH): 20' SIDE (EAST): 20' REAR (NORTH): 30'	FRONT (RACHEL DR.): 50.32' SIDE (SOUTH): 47.53' SIDE (EAST): 68.3' REAR (NORTH): 78.5'	FRONT (RACHEL DR.): 88.85' SIDE (WEST): 51.92' SIDE (EAST): 57.05' REAR (NORTH): 84.61'	N/A
LANDSCAPE PLAN	SEE SHEET L1	SEE SHEET L1	SEE SHEET L1	SEE SHEET L1
DRAINAGE PLAN	SEE SHEET C3	SEE SHEET C3	SEE SHEET C3	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A	N/A	N/A
SITE ACCESS	N/A	ONE ACCESS POINT ON RACHEL DRIVE	ONE ACCESS POINT ON RACHEL DRIVE	TWO ACCESS POINTS ON RACHEL DRIVE
STATISTIC	REQUIRED	PHASE I (^{15 EMPLOYEES} MAX SHIFT)	PHASE II (^{10 EMPLOYEES} MAX SHIFT)	TOTAL (^{25 EMPLOYEES} MAX SHIFT)
TOTAL PARKING	1 SPACE PER BEDROOM UNIT, PLUS 1 SPACE PER 2 EMPLOYEES	HANDICAP SPACES: 6 STANDARD SPACES: 156 TOTAL SPACES: 162	HANDICAP SPACES: 6 STANDARD SPACES: 149 TOTAL SPACES: 155	HANDICAP SPACES: 12 STANDARD SPACES: 361 TOTAL SPACES: 317
BUILDING SUMMARY				
STATISTIC	PROVIDED (PHASE I)	PROVIDED (PHASE II)	PROVIDED (TOTAL)	
BUILDING AREA	85,746 SF +/-	43,560 SF +/-	129,306 SF +/-	
BUILDING HEIGHT	55'-7 ³ / ₈ " (4 FLOORS)	56' (4 FLOORS)	MAX 56' (4 FLOORS)	
BDRM UNIT #	130 UNITS	95 UNITS	225 UNITS	
FOOTPRINT	26,916 SF +/-	10,890 SF +/-	37,806 SF +/-	
F.A.R.	0.676	0.498	0.604	

V. LANDSCAPING

Landscaping, buffering, and tree replacement shall comply with Chapter 17.24 Articles I. – IV. Of the Metro Government Of Nashville and Davidson County Zoning Ordinance, and the Royal Park Business Center Manual of Standards Article VI. The stricter ordinance shall apply.

VI. SIGNAGE

Signs shall comply with Chapter 17.32 Of the Metro Government Of Nashville and Davidson County Zoning Ordinance, and the Royal Park Business Center Manual of Standards Article VII. The stricter ordinance shall apply.

VII. LAND USE TABLE

The following uses shall be permitted within the proposed SP zone:

Hotel/Motel and their Accessory uses to include but not limited to, conference/meeting space, restaurant space, lounge spaces, retail, etc.

VIII. UTILITIES & LIGHTING

a. Utilities

All utilities shall be located underground, and transformers or similar vaults shall be screened. Antennas or satellite dishes must receive approval prior to installation.

b. Lighting

Exterior lighting shall be provided by occupant or owner for his project or development. An average lighting level of 1.0 foot-candles is required throughout the parking areas for each site. Cut-off louvers should be used to reduce light glare. All lights shall be chosen to provide good lighting distribution without excessive light trespass or glare. Coordinate light locations with plant design. Locate light standards in protective locations back from curbs or on concrete bases.

IX. AMENDMENTS OF MANUAL OF STANDARDS

These standards may be revised or updated from time to time as needs warrant or as Developer feels necessary to comply with current local ordinances or development trends.

X. SPECIFIED BASE ZONING FOR ITEMS NOT SPECIFICALLY LISTED

For Site and building design criteria, not specifically listed in this document, shall conform to the regulations set forth in the CF Commercial Core Frame district. Site shall conform to all federal, state, and local codes and ordinances for any standards not specifically referenced in this document.