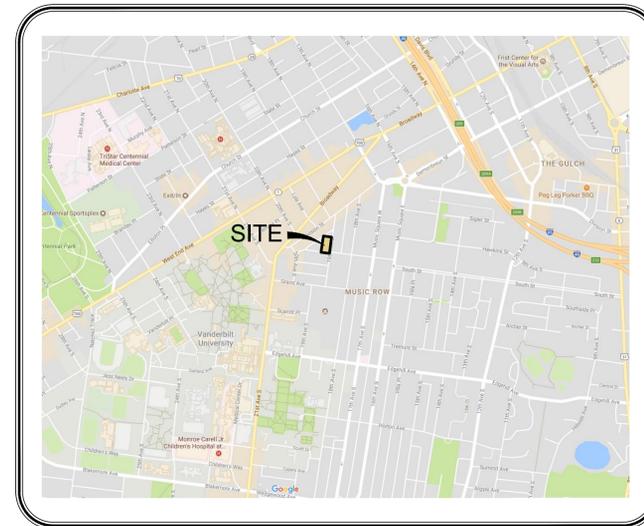


PRELIMINARY SP 19TH & CHET ATKINS OFFICE BUILDING



LOCATION: 821, 823, 825, & 827 19TH AVE S, NASHVILLE, TN
NTS

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE, TN
P.O. BOX 6000
CHATTANOOGA, TN 37402
(615) 344-8591
www.ragansmith.com

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SITE DATA

PURPOSE NOTE

The purpose of this SP is to rezone 0.76 acres to allow for the construction of a mid-rise office building (±255,000 sqft)

EXISTING PROPERTY INFORMATION

COUNCIL DISTRICT NUMBER: 19
DISTRICT COUNCIL MEMBER: FREDDIE O'CONNELL
PROPERTY OWNER(1): 19TH AVE LAND PARTNERS, LLC
421 CHURCH STREET
NASHVILLE, TN 37219
PROPERTY OWNER(2): VERGES-JAMES, LLC
823 19TH AVENUE SOUTH
NASHVILLE, TN 37203
PARCELS & ACREAGE: (PARCELS 265, 266, 267, 268)
33,257 SF [0.76 AC]
EX. BUILDING SF: 6,069 SF TOTAL (3 BUILDINGS)
TAX MAP: 92-16
METRO GIS ID: 09216026500, 09216026600,
09216026700, 09216026800
STREET ADDRESS: 821, 823, 825, & 827 19TH AVE S
NASHVILLE, TN 37203
ZONING: ORI-A/OV-UZO, OFFICE/RESIDENTIAL
INTENSIVE ALTERNATIVE
LAND USE: COMMERCIAL, OFFICE, PARKING LOT
COMMUNITY PLAN: GREEN HILLS-MIDTOWN COMMUNITY
PLAN
POLICY AREA: 10-MT-T5-MU-02, MID-RISE IN GREEN
HILLS/MIDTOWN OVERLAY (8-20
STORIES)
BUILDING SETBACKS
FRONT 0'-15' Measured from back of sidewalk
SIDE 0' Measured from back of sidewalk
REAR 20'
MAX HEIGHT: 105'
BUFFER YARDS: N/A
MAX FAR: 3.00
MAX ISR: 0.90

PROPOSED DEVELOPMENT SUMMARY

APPLICATION DATE: 11 / 02 / 2017
SP NUMBER: 2017SP-095-001
ZONING: SP [COMMERCIAL MIXED USE]
LAND USE: COMMERCIAL, OFFICE
LAND USE SF: 210,000 SF (GENERAL OFFICE)
26,000 SF (ORI-A PERMITTED USES, PLUS
FURNITURE STORE AND NANO BREWERY)
BULK REGULATIONS:
BUILDING SETBACKS
FRONT 0'-15' Measured from back of sidewalk
SIDE 0' Measured from back of sidewalk
REAR 0'
BUILDING HEIGHT: 222' (Measured from Chet Atkins Pl)
215' (Measured from 19th Ave)
BUILDING STORIES: 15 STORIES
PROPOSED FAR: 7.10
MAX ISR: 0.97

PARKING SUMMARY SEE CHART BELOW

REQUIRED PARKING STATEMENT: BASED ON METRO REQUIREMENTS
FOR USES. [17.20.030]
REQUIRED BICYCLE STATEMENT: BASED ON METRO REQUIREMENTS
[BL2014-714]
SEE TRANSPORTATION DEMAND
MANAGEMENT PROGRAM SECTION
ON THIS SHEET

Parking Requirements for UZO District (per 17.20.030)	
Description	Required Spaces
General Office (210,000 sqft): First 2,000 sqft exempt; 1 space per 500 sqft for floorspace in excess of 2,000 sqft	416
ORI-A Permitted Uses, plus Furniture Store and Nano Brewery (26,000 sqft): Restaurant, Full Service used for requirement calculations First 1,000 sqft exempt; 1 space per 150 sqft for floorspace in excess of 1,000 sqft	167
Total Required Parking Spaces	583
Parking Spaces Proposed (above and below)	558
ADA Parking Spaces Required (501-1,000)	11
2% of total parking provided in each lot	
Loading Space Requirements (per 17.20.130)	2
Bicycle Parking Requirements (per 17.20.135)	
Description	Required Spaces
General Office (±10 establishments/210,000 sqft): 2 publicly available spaces per establishment or 1 space per 15,000 square feet, whichever is greater	20
SP Listed Uses (4 establishments): Restaurant, Full Service used for requirement calculations 4 publicly available spaces per establishment	16
Total Required Bicycle Parking	36
Total Provided Bicycle Parking	45
Provided Bicycle Parking at Indoor/Amenity Area	25
Provided Bicycle Parking at Outdoor/Public Area	20

DEVELOPMENT STANDARDS

- Buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for every fifty (50) linear feet of street frontage:
 - A change in building material
 - A horizontal undulation in the building facade of three (3) feet or greater
 - A window, porch, stoop or balcony
- Sidewalks shall be constructed to the standard of the Major and Collector Street Plan or, if on a local street, to local street standards. The build-to zone for alternative zoning districts shall be measured shall be measured from the Standard right-of-way line as established by the table entitled "Standard Street Right-of-Way Widths" in the Major and Collector Street Plan.

GENERAL NOTES

- Any standard not specifically addressed herein shall comply with the ORI-A base zoning requirements as of the application date of this Preliminary SP.
- Lot is to be served with public water and sanitary sewer.
- Site, open spaces, water quality & detention facilities to be maintained by property owner or property owner's association.
- Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping (Section 17.24.060 of the Metro Zoning Code).
- The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works. Final design may vary based on field conditions.
- All work in the public right-of-way requires a permit from the Department of Public Works.
- Storm water will be routed through a stormwater quality management system, sized per the design criteria set forth by the Metro Stormwater Management Manual.
- Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- If required, a subdivision plat will be submitted with the Final SP documents.
- The final site plan/building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Billboards shall not be permitted.
- Sidewalk construction to comply with MCSP. Sidewalks are to be located within dedicated R.O.W.
- FEDERAL COMPLIANCE: All development within the boundaries of this plan shall meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.
ADA: <http://www.ada.org>
US Justice Dept: http://www.justice.gov/crt/housing/about_fairhousingand.html
- 78-840 NOTE: Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78/840 and approved by the Metropolitan Dept. of Water Services.
- ACCESS NOTE: Metro Water Services shall be provided sufficient & unencumbered access in order to maintain and repair utilities in this site.
- FIRE DEPT. NOTE: Fire-flow shall meet the requirements of the International Fire Code - 2012 Edition; as amended.
- PRELIMINARY PLAN NOTE: Minor modifications to this Preliminary SP Plan may be approved by the planning commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- STORMWATER PRELIMINARY PLAN NOTE: Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.
- DEVELOPMENT SCHEDULE: It is anticipated that the project will begin construction in the 2nd quarter of 2018 and will take 12-16 months to be completed.
- FEMA NOTE: No portion of this parcel described hereon lies within flood hazard area in accordance with "Insurance Rate Map Panel No. 470040-0243F", dated: April 5, 2017 (panel not printed).
- SURVEY NOTE: Topographic information and boundary information taken from surveys prepared by Barge Waggoner Sumner, & Cannon, Inc dated August 29, 2017.
- BUFFER NOTE: The buffer along waterways will be an area where the surface is left in a natural state is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 Regulations.
- C/D NOTE: Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15" CMP).

GENERAL PLAN CONSISTENCY

LAND USE POLICY

This site is located within the T5 MU District of the Midtown community plan. This Transect Category is intended to preserve, enhance, and create high-intensity urban mixed use neighborhoods with a development pattern that contains a diverse mix of residential and non-residential land T5 MU areas are intended to be among the most intense areas in Davidson County. T5 MU areas include some of Nashville's major employment centers such as Midtown that represent several sectors of the economy including health care, finance, retail, the music industry, and lodging. T5 MU areas also include locations that are planned to evolve to a similar form and function.

COMMUNITY PLAN COMPLIANCE

The proposed development will provide commercial and transitional land uses to the nearby residential land uses. Access within the overall development is designed to be pedestrian friendly with crosswalks and sidewalks to provide safe interaction between pedestrian and vehicular traffic. The commercial building is oriented towards the street with building forms that complement the adjacent neighborhoods. Lighting will be provided throughout the development to provide safety at buildings and vehicular and pedestrian areas while enhancing the character of the center.

TRANSPORTATION DEMAND MANAGEMENT PROGRAM

- This development will strive to implement TDM best practices. These goals will include limiting delivery times will be restricted to non-peak hours, informational kiosks with wayfinding finding to nearby SOV options as well as to encourage future tenants to stagger work hours, provide carpooling and offer to pay a percentage of employees transit services costs.
- Centrally located bike storage will be provided to the future tenants of the building and will include lockers and cages for their equipment. Changing rooms and showers will be located within the amenity facilities of the development for safe use by the tenants.
- Due to the addition of multiple bike stations in surrounding development, a ride share partner is not established for this site. Instead, 20 bike racks will be centrally located within the development for use by the general public.

Site Data Table	
Acreage	0.76 ac (33,257 sf)
Proposed Floor Area Ratio (FAR)	7.10, Overall Site 6.31, General Office 0.78, SP Listed Uses
Lots	Lot 1 33,257 sf, Total Lot Area 29,233 sf, Max Building Area
Impervious Surface Ratio (ISR)	0.97, ISR 0.69 ac, Overall Impervious Area 0.67 ac, Buildings 0.07 ac, Roads/Sidewalks/Drives (Onsite)
Existing Land Uses	Parcel 265, Parking Lot Parcel 266, General Office, 1,475 sqft Parcel 267, General Office, 4,594 sqft Parcel 268, Construction Trailer, 2,100 sqft
Proposed Land Uses	General Office, 210,000 sqft ORI-A Permitted Uses, plus Furniture Store and Nano Brewery, 26,000 sqft
Existing Sidewalks	Chet Atkins Ave: 0' Grass Strip, 8' Sidewalk 19th Ave: 2' Grass Strip, 6' Sidewalk
Proposed Sidewalks	Chet Atkins Ave: 4' Grass Strip, 10' Sidewalk 19th Ave: 3' Bike Blvd, 4' Grass Strip, 8' Sidewalk, 4' Frontage

INDEX OF SHEETS

SHEET DESCRIPTION
C0.0 COVER SHEET

CIVIL PLANS

C0.2 EXISTING CONDITIONS & DEMOLITION PLAN
C1.0 SITE LAYOUT PLAN
C1.1 TRUCK MOVEMENT PLAN

LANDSCAPE ARCHITECTURAL PLANS

L1.0 LANDSCAPE PLAN

ARCHITECTURAL PLANS

A.201 LEVEL 1 - 19TH AVE
A.201.1 LEVEL 1 - CHET ATKINS
A.206 LEVEL 6 - PARKING [TYPICAL]
A.241 ISOMETRIC VIEWS
A.304.1 WEST ELEVATION
A.304.2 SOUTH & NORTH ELEVATIONS
A.304.3 EAST ELEVATION
A.305 RETAIL / LOBBY ELEVATIONS
A.307 NORTH / SOUTH SITE SECTION
A.308 EAST / WEST SITE SECTION

CONTACTS

OWNER/DEVELOPER

DAVID CREED
CREED INVESTMENTS CO.
144 2ND AVE N, SUITE 300
NASHVILLE, TN 37201
(615) 246-0222
david.creed@creedinvestment.com

LANDSCAPE ARCHITECTURE

RAGAN SMITH & ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591

CIVIL

BRAD SLAYDEN, PE
RAGAN SMITH & ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
bslayden@ragansmith.com

ARCHITECTURE

GRESHAM SMITH & PARTNERS
222 2nd AVE, SUITE 1400
NASHVILLE, TN 37201
(615) 770-8100

19TH & CHET ATKINS OFFICE BUILDING

FOR
CREED INVESTMENTS COMPANY

19TH COUNCIL DISTRICT, NASHVILLE, DAVIDON COUNTY, TENNESSEE

JOB NO. 17135	WK. ORDER 0970	DESIGNED: E. FOSTER	DRAWN: M. SMIAL	12/22/17 (BAP) REV. 12/17/17 (EFP) REV. 10/10/17 (RESUBMITTAL) REV. 10/10/17 (RESUBMITTAL) REV.	NO SCALE	DATE: NOVEMBER 2, 2017
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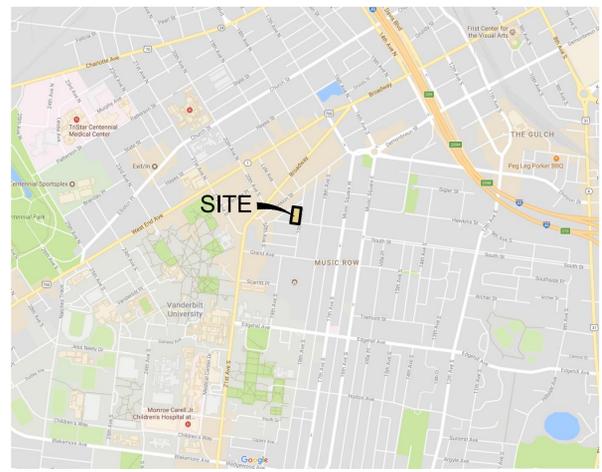
COVER SHEET

C0.0

METRO CASE # 2017SP-095-001

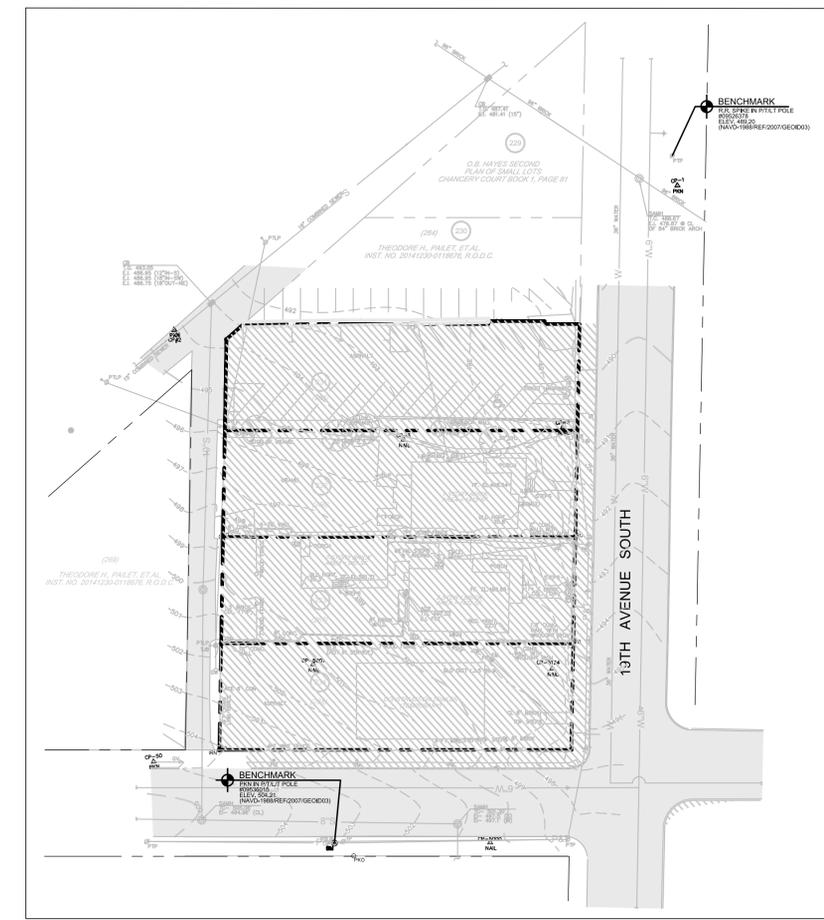


Know what's below.
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LOCATION: 821, 823, 825, & 827 19TH AVE S, NASHVILLE, TN
NTS

LOT	PARCELID	ADDRESS	OWNER	ZONING
231	092-16-0-265.00	821 19TH AVE S	19TH AVE LAND PARTNERS, LLC	ORI-A/OV-UZO
232	092-16-0-266.00	823 19TH AVE S	VERGES-JAMES, LLC	ORI-A/OV-UZO
233	092-16-0-267.00	825 19TH AVE S	VERGES-JAMES, LLC	ORI-A/OV-UZO
234	092-16-0-268.00	827 19TH AVE S	19TH AVE LAND PARTNERS, LLC	ORI-A/OV-UZO



DEMOLITION PLAN

SCALE: 1"=40'

NOTES:

1. SHADING DEPICTS AREAS WHERE ALL BUILDINGS, ASPHALT, CURBING, CONCRETE, STEPS, SIGNS, WALLS AND TREES ARE TO BE DEMOLISHED AND REMOVED.

LEGEND

○(R)O	IRON ROD (OLD)	⊙	UTILITY POLE
●(R)N	IRON ROD (NEW)	⊙	UTILITY POLE W/ ANCHOR
⊗	(5/8" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	⊙	GAS VALVE
⊗	WATER VALVE	⊙	GAS METER
⊗	WATER METER	⊙	TELEPHONE RISER
⊙	SANITARY SEWER MANHOLE	⊙	CABLE TV BOX
⊙	SEWER CLEAN-OUT	⊙	OVERHEAD ELECTRIC POWER LINE
⊙	ELECTRIC BOX	⊙	OVERHEAD TELEPHONE LINE
⊙	TRANSFORMER PAD	⊙	OVERHEAD POWER AND TELEPHONE LINES
⊙	SIGN	⊙	SANITARY SEWER LINE
R.O.D.C.T.	REGISTER'S OFFICE FOR DAVIDSON COUNTY, TN	⊙	GAS LINE
⊙	GUARDRAIL	⊙	WATER LINE
M.B.S.L.	MINIMUM BUILDING SETBACK LINE	⊙	FENCE
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT	⊙	REINFORCED CONCRETE PIPE
⊙	CONCRETE SURFACE	⊙	CORRUGATED METAL PIPE
		⊙	ASPHALT SURFACE

EXISTING STRUCTURES NOTE:

ALL EXISTING STRUCTURES TO BE REMOVED FROM SITE.

25% > SLOPES

15 -20% SLOPES

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
McB	Maury-Urban land complex, 2 to 7 percent slopes	A	1.0	100.0%
Totals for Area of Interest			1.0	100.0%



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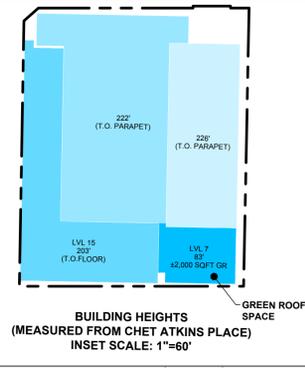
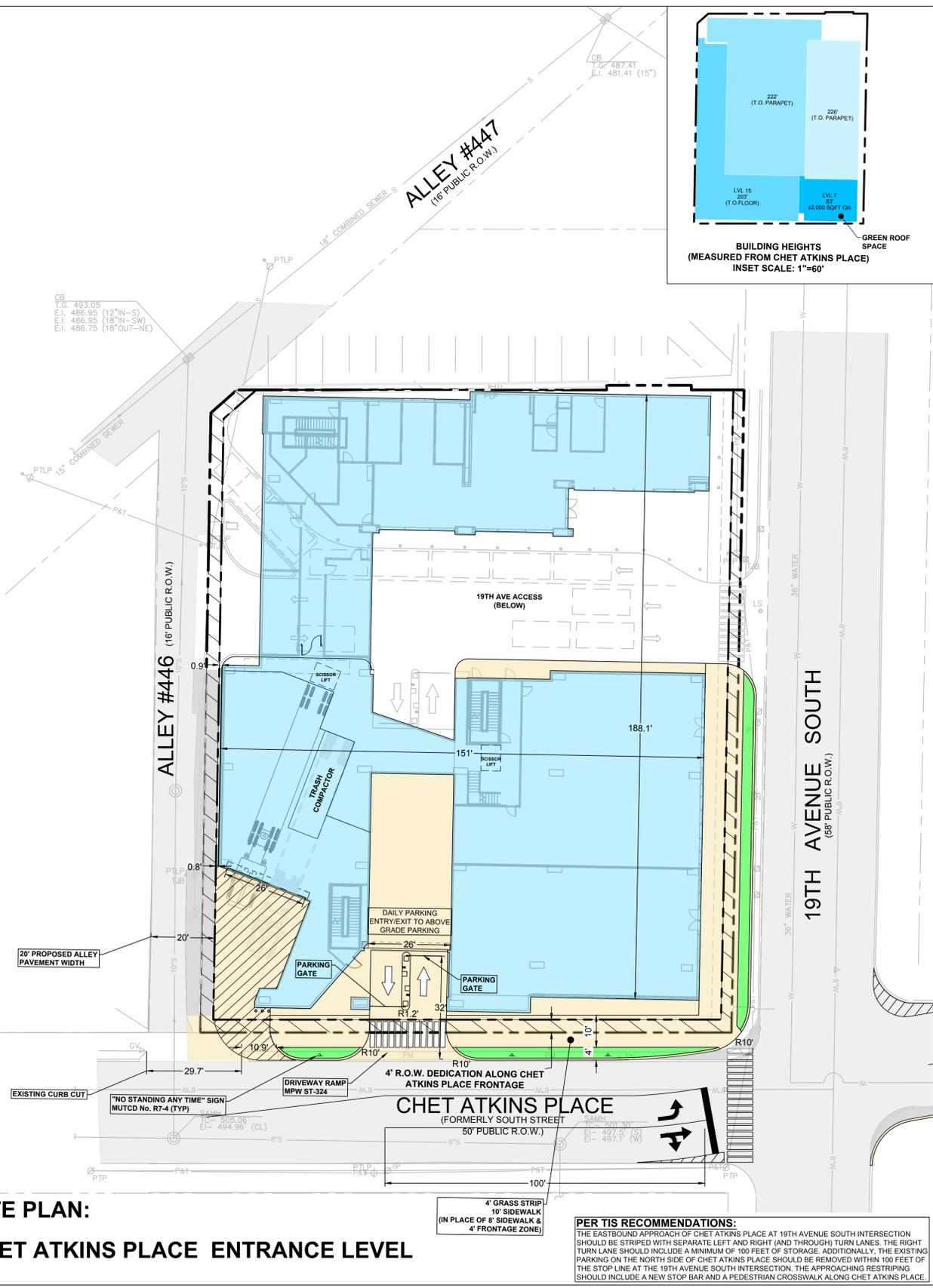
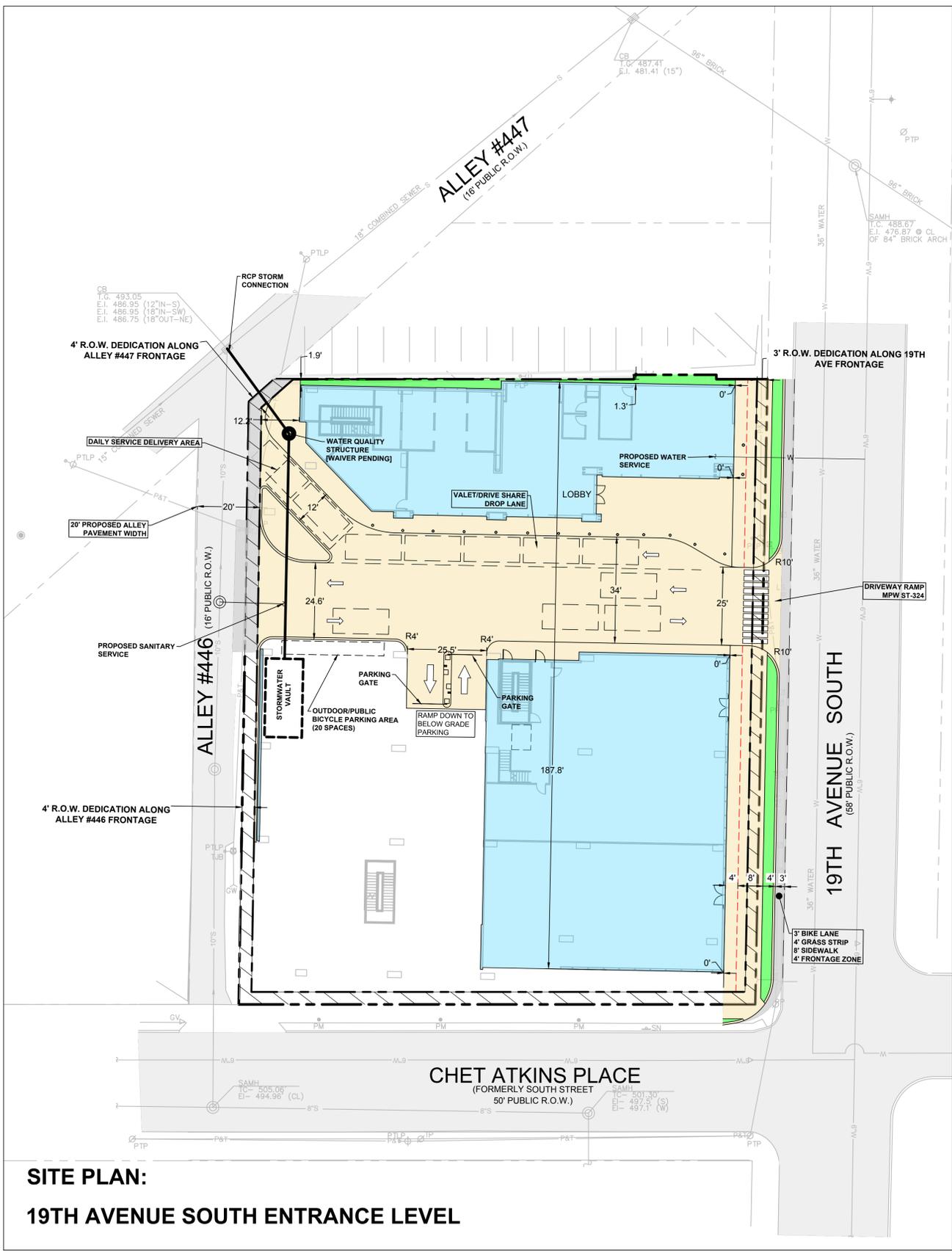
PRELIMINARY
NOT FOR
CONSTRUCTION

19TH & CHET ATKINS OFFICE BUILDING
FOR
CREED INVESTMENTS COMPANY
19TH COUNCIL DISTRICT, NASHVILLE, DAVIDON COUNTY, TENNESSEE

WK. ORDER	0970	DESIGNED:	E. FOSTER
JOB NO.	17135	DRAWN:	M. SMIAL
SCALE:	1"=20'	DATE:	NOVEMBER 2, 2017
REVISIONS		REV.:	

EXISTING
CONDITIONS &
DEMOLITION PLAN

C0.2



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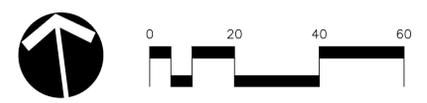
**SITE PLAN:
 19TH AVENUE SOUTH ENTRANCE LEVEL**

**SITE PLAN:
 CHET ATKINS PLACE ENTRANCE LEVEL**

NOTE
 The final site plan/building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

STORM WATER NOTE
 On-site water quality and detention requirements will be provided by the proposed stormwater vault and water quality unit. The proposed building will also contain a series of rooftop pocket parks that will contain extensive green roof space to accommodate pavers and green space zones. See inset for approximate locations.

- METRO PUBLIC WORKS NOTES**
- The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works, in effect at the time of the approval of the preliminary development plan or final development plan or building permit, as applicable. Final design may vary based on field conditions.
 - Submit recorded copy of ROW dedication prior to building permit approval by MPW.



PER TIS RECOMMENDATIONS:
 THE EASTBOUND APPROACH OF CHET ATKINS PLACE AT 19TH AVENUE SOUTH INTERSECTION SHOULD BE STRIPPED WITH SEPARATE LEFT AND RIGHT (AND THROUGH) TURN LANES. THE RIGHT TURN LANE SHOULD INCLUDE A MINIMUM OF 100 FEET OF STORAGE. ADDITIONALLY, THE EXISTING PARKING ON THE NORTH SIDE OF CHET ATKINS PLACE SHOULD BE REMOVED WITHIN 100 FEET OF THE STOP LINE AT THE 19TH AVENUE SOUTH INTERSECTION. THE APPROACHING RESTRIPING SHOULD INCLUDE A NEW STOP BAR AND A PEDESTRIAN CROSSWALK ALONG CHET ATKINS PLACE.

12/22/17 (BAP) REV.	REVISIONS
12/11/17 (EPF) REV.	
11/10/17 (PC) REV.	
11/10/17 (PC) REV.	

WK. ORDER	0970
DESIGNED:	E. FOSTER
DRAWN:	M. SMAIL
SCALE:	1"=20'
DATE:	NOVEMBER 2, 2017

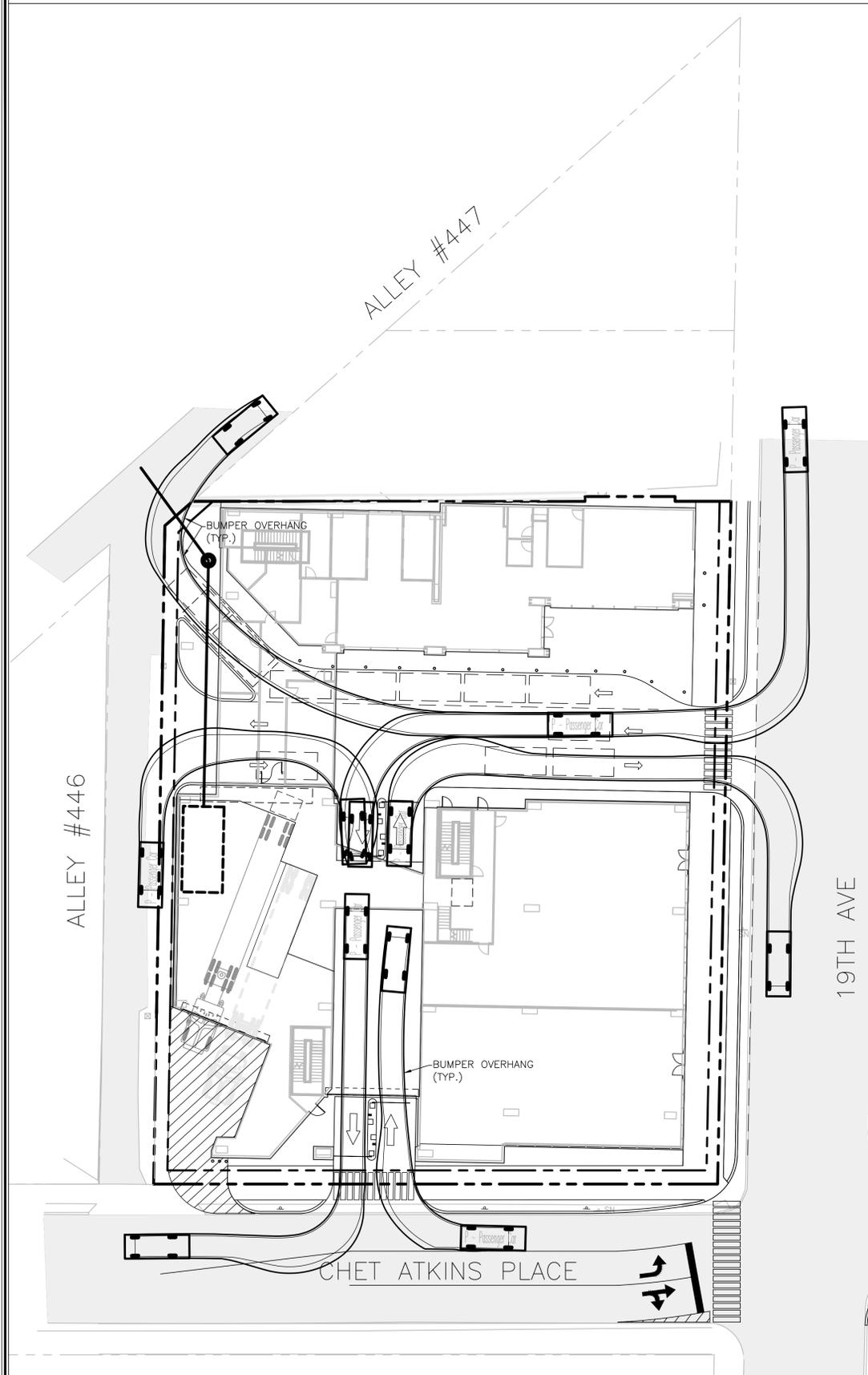
SITE LAYOUT PLAN

C1.0

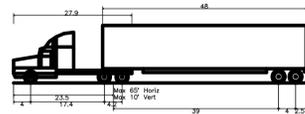
METRO CASE # 2017SP-095-001

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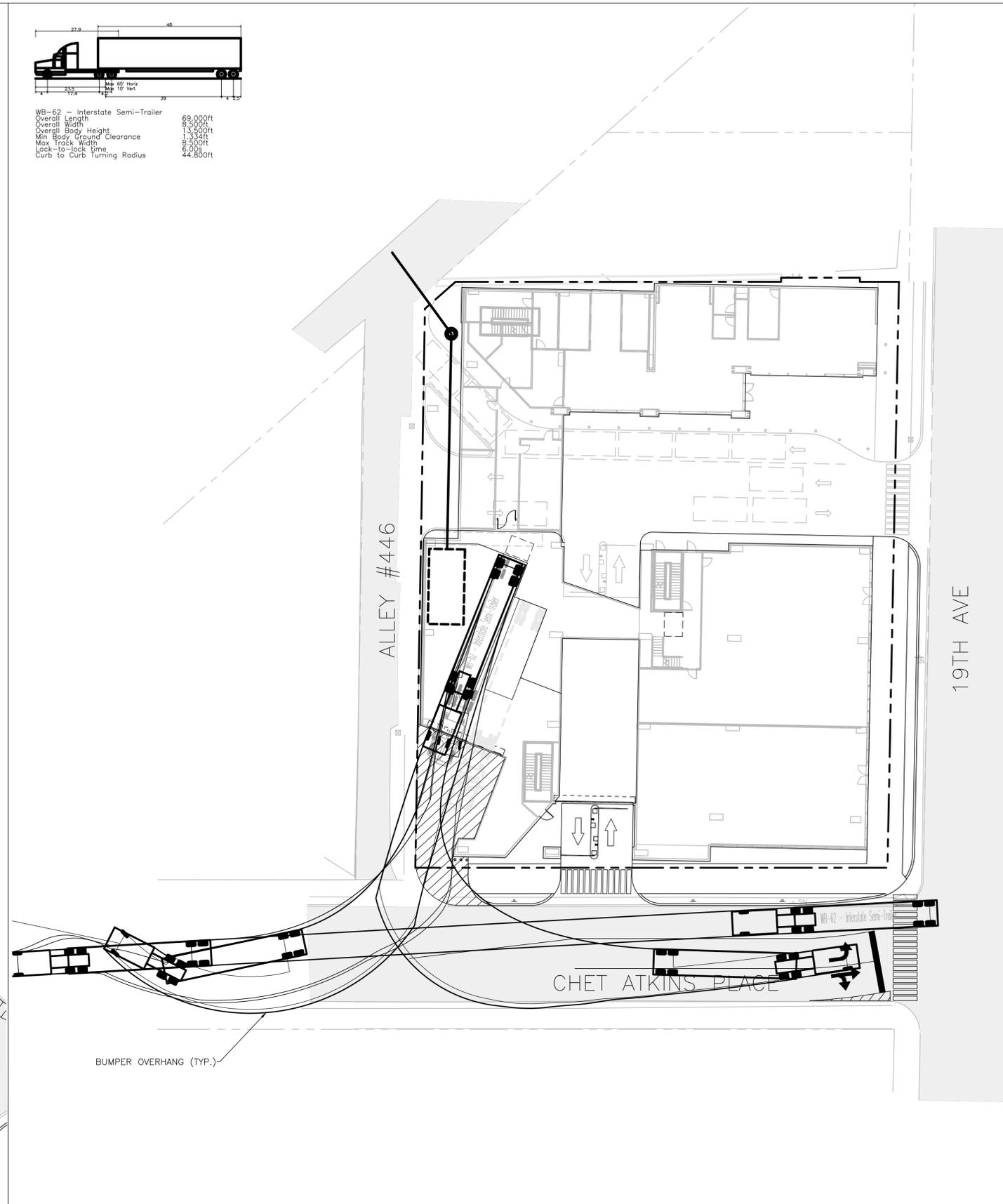
CHATTANOOGA COUNTY ENGINEERING & SURVEYING
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PASSENGER CAR MOVEMENTS
 SCALE: 1"=20'



WB-62 - Interstate Semi-Trailer
 Overall Length 69.00ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.33ft
 Max Truck Width 8.50ft
 Lock-to-lock time 6.00ft
 Curb to Curb Turning Radius 44.80ft



SEMI TRUCK ROUTE
 SCALE: 1"=20'



METRO CASE # 2017SP-095-001

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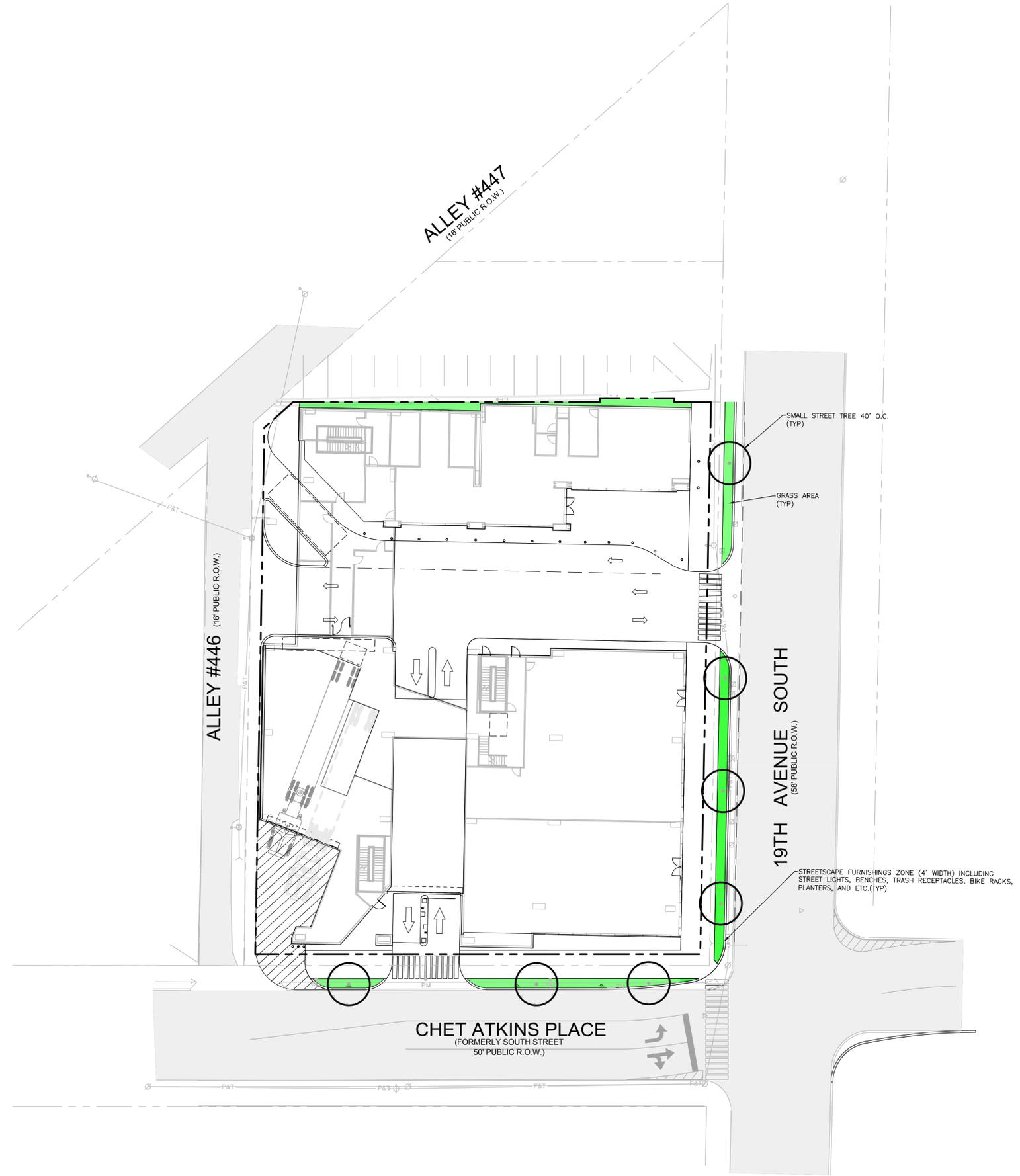
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WK. ORDER	0970
JOB NO.	17135
DESIGNED:	E. FOSTER
DRAWN:	M. SMAL
SCALE:	1"=20'
DATE:	NOVEMBER 2, 2017
REVISIONS	
1	12/22/17 (BAP) REV. COMMENTS
2	12/22/17 (BAP) REV. COMMENTS
3	12/22/17 (BAP) REV. COMMENTS

TRUCK MOVEMENT PLAN

C1.1

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 PLOTTED BY PAVAN DUTTA ON 11/20/2017 10:58:11 AM
 LAST UPDATED BY EJP ON 11/20/17 8:41 AM



- GENERAL LANDSCAPE NOTES:**
1. SEE URBAN FORESTRY CHECKLIST PRIOR TO ORDERING AND INSTALLING PLANTS. ANY/ALL FIELD ADJUSTMENTS SHOULD BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND APPROVED BY THE METRO URBAN FORESTER.
 2. SOD IS PROPOSED FOR THIS DEVELOPMENT. HOWEVER, OWNER MAY CHOOSE TO SEED IN LIEU OF SOD. OWNER APPROVAL SHOULD BE OBTAIN FOR THIS REQUEST.
 3. NO TREE SHALL BE PLANTED WITHIN 15' OF AN EXISTING OR FUTURE POWER POLE. SEE NOTE ONE ABOVE FOR ADDITIONAL REQUIREMENTS.
 4. CITY REQUIREMENT TO NOT PLANT OBSTRUCTING TREES WITHIN THE SITE TRIANGLE PREVENTS PLANTING OF ANY TREES WITHIN THE PLANTING STRIPS BEHIND THE STREET CURB. IN LIEU OF TREES, THE STRIPS WILL BE LANDSCAPED WITH OTHER PLANTINGS NOT TO EXCEED HEIGHT REQUIREMENTS.


811
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 19TH COUNCIL DISTRICT, NASHVILLE, DAVIDON COUNTY, TENNESSEE

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W.K. ORDER	0970
DESIGNED:	E. FOSTER
DRAWN:	M. SMAL
SCALE:	1"=20'
DATE:	NOVEMBER 2, 2017
REVISIONS	

LANDSCAPE PLAN
L1.0

