

# PRELIMINARY SPECIFIC PLAN

# PLATINUM STORAGE BELLEVUE

## BELLEVUE, DAVIDSON COUNTY, TENNESSEE

CASE NO. 2009SP-001-002  
 T&H PROJECT NO. 27051.0000  
 MAY 22, 2018



VICINITY MAP  
 NOT TO SCALE

### DEVELOPMENT SUMMARY / SITE DATA

PROJECT NAME: PLATINUM STORAGE BELLEVUE  
 MAP/PARCEL: MAP 155 PARCEL 90 & 91  
 SITE ADDRESS: 7860 LEARNING LANE  
 SITE ACREAGE: 1.76 AC

COUNCIL DISTRICT: 35  
 COUNCIL MEMBER: DAVE ROSENBERG

EXISTING USE: VACANT  
 EXISTING ZONING: SP-C  
 PROPOSED USE: SELF-SERVICE STORAGE  
 PROPOSED ZONING: SP

### SP DISTRICT STANDARDS

LOT SIZE: 1.76 AC  
 FAR: 0.94  
 ISR: 0.50

### STREET SETBACK/STREET TYPES

LEARNING LANE (T3-M-CA2): 6FT. GRASS STRIP, 6FT. SIDEWALK

BUILDING HEIGHT: 3 STORIES IN 36 FT.

BUILDING DATA: 71,882 GSF  
 506 STORAGE UNITS  
 1,000 SF OFFICE/LOBBY SPACE

### PARKING REQUIREMENTS:

SELF-STORAGE: 4 SPACES MIN. (1 ADA)

PARKING PROVIDED: 15 SPACES (1 ADA)

### DEVELOPER

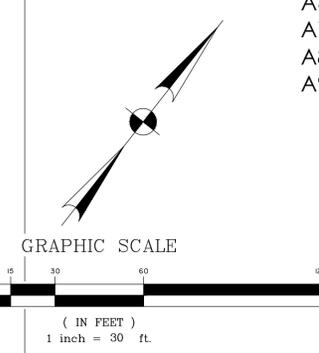
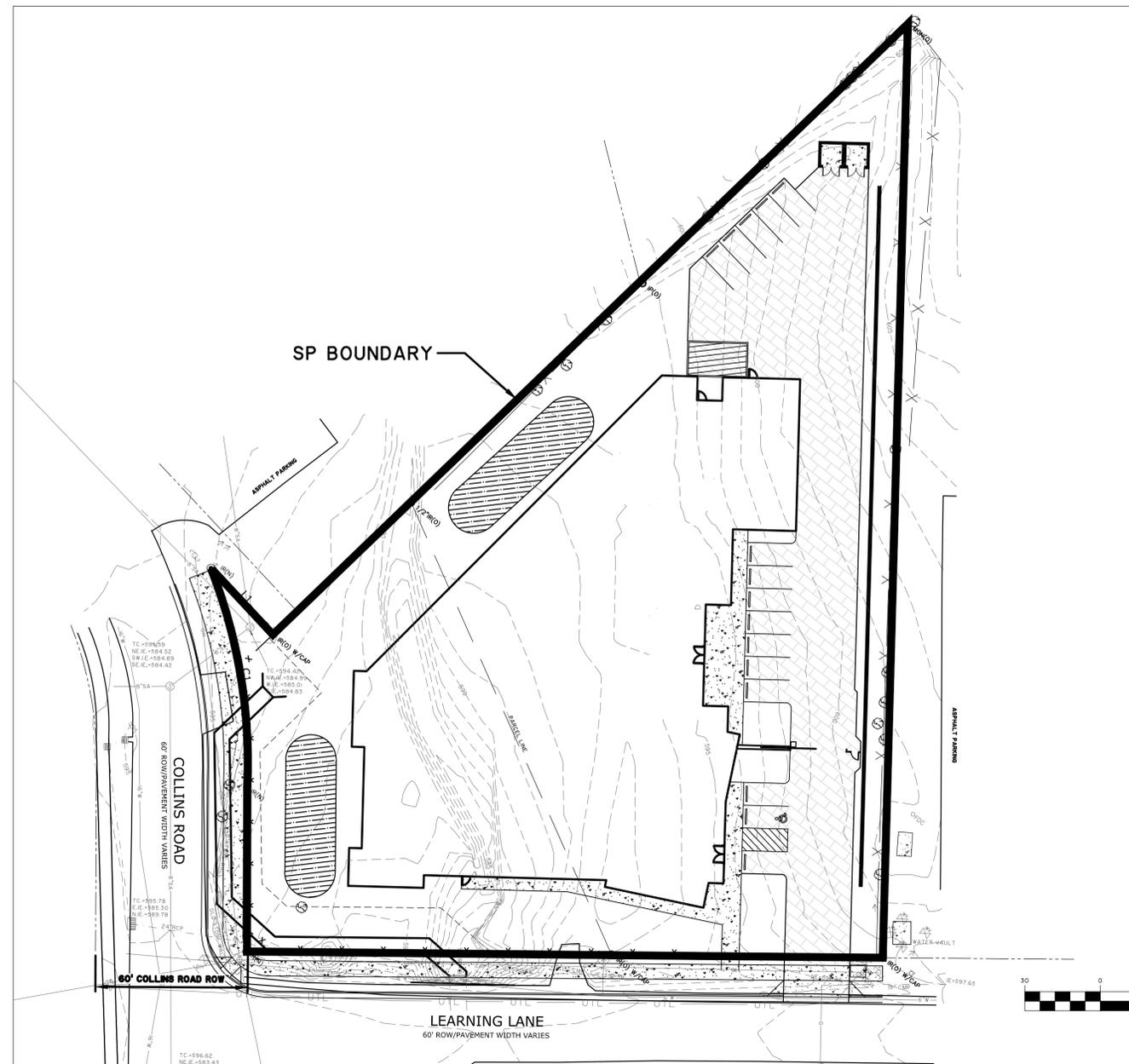
HAMPTON FALLS STORAGE PARTNERS, LLC  
 2100 MAIN STREET  
 IRVINE, CA 92614  
 (949)770-2232

### APPLICANT

THOMAS & HUTTON  
 615 MAIN STREET, SUITE 124  
 NASHVILLE, TN 37206  
 CONTACT: ALAN MAHER, PE  
 (615) 349-4970  
 MAHER.A@THOMASANDHUTTON.COM

### NOTES

- THE PURPOSE OF THIS SP IS TO PERMIT A SELF-SERVICE STORAGE FACILITY.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN FEBRUARY OF 2018 AND WILL TAKE APPROXIMATELY 11 MONTHS TO BE COMPLETED.
- ALL DEVELOPMENT SHALL COMPLY WITH THE STANDARDS OF THE RIVER TRACE URBAN DESIGN OVERLAY INCLUDING BUT NOT LIMITED TO BUILDING MATERIALS, FENCING, SIGNAGE, AND LANDSCAPING.
- METRO GRADING PERMIT NUMBER: SWGR Txxxxxxx
- THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.



### INDEX OF SHEETS

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	SURVEY
C2.0	DEMOLITION PLAN
C4.0	LAYOUT PLAN
C5.0	GRADING & DRAINAGE PLAN
C6.0	UTILITY PLAN
L1.1	LANDSCAPE PLAN
A1	SITE PLAN
A2	FIRST AND SECOND FLOOR PLAN
A3	THIRD FLOOR PLAN
A4	ROOF PLAN
A5	SOUTH & EAST ELEVATIONS
A6	NORTH & WEST ELEVATIONS
A7	NORTH ELEVATION WITH WALL
A8	COLOR SOUTH & EAST ELEVATIONS
A9	COLOR NORTH & WEST ELEVATIONS

ARCHITECT  
**WALLACE DESIGN GROUP**  
 27405 Puerta Real, Suite 235  
 Mission Viejo, CA 92691

PREPARED FOR  
**PLATINUM STORAGE GROUP**  
 2100 MAIN ST., SUITE 106  
 IRVINE, CA 92614

CIVIL ENGINEER/LANDSCAPE ARCHITECTURE  
**THOMAS & HUTTON**  
 Engineering | Surveying | Planning | GIS | Consulting  
 615 Main Street • Suite 124  
 Nashville, TN 37206  
 p.615.961.0913



**SURVEYOR'S NOTES:**

- The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
- Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of underground containers, facilities, wells, wetlands, sinkholes, unmarked grave sites, or debris that may affect the use or development of this tract.
- This drawing was prepared in accordance with my field survey notes. It shows improvements as they exist to the best of my knowledge, but is not guaranteed to be correct in each and every detail.
- The property shown hereon is located within the City of Nashville, City limits and Davidson County, Tennessee. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, landscaping, radiation, illumination, setback provisions, etc., are subject to the Zoning Regulations as interpreted and regulated by the Department of Planning and Codes.
- This property currently identified as Parcels 090.00 & 91, on Davidson County Tax Map No. 155.
- Bearings based on: Tennessee State Plane (NAD 83).
- The Surveyor's liability for this document shall be limited to the party shown in the title of the survey, and does not extend to any unnamed person or entities without an expressed re-certification.
- All deed & plat references are made to the Register's Office of Davidson County, Tennessee (ROSC).
- The property does not lie within the 100 year flood plain and is determined to be in Zone X as per Federal Emergency Management Agency Firm Map Number 47037c0337H, Dated April 5, 2017.
- Contours are based on NAVD 88 (GPS derived)

Site BM  
Nail across Learning LN. Middle of site.  
Elev.=595.34

**SURVEYOR'S COMMENTS**

Commitment of Title Insurance by: Chicago Title Insurance Company  
File Number: 2017-0940  
Date: June 22, 2017 @ 8:00 AM

Schedule B Section II

item #  
No items to comment on.

**SURVEYOR'S CERTIFICATE**

To: St. Thomas Hospital Employees Credit Union and Chicago Title Insurance Company.

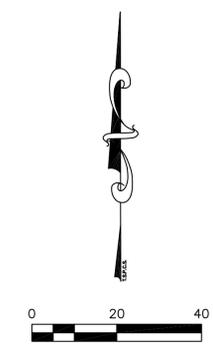
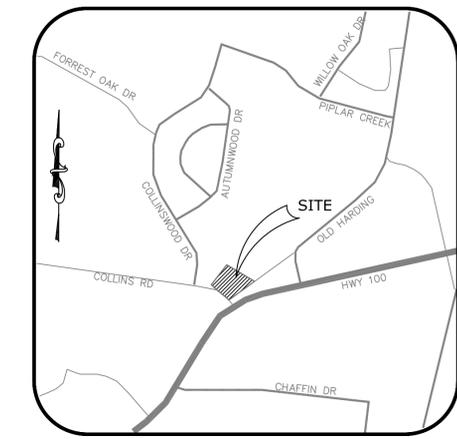
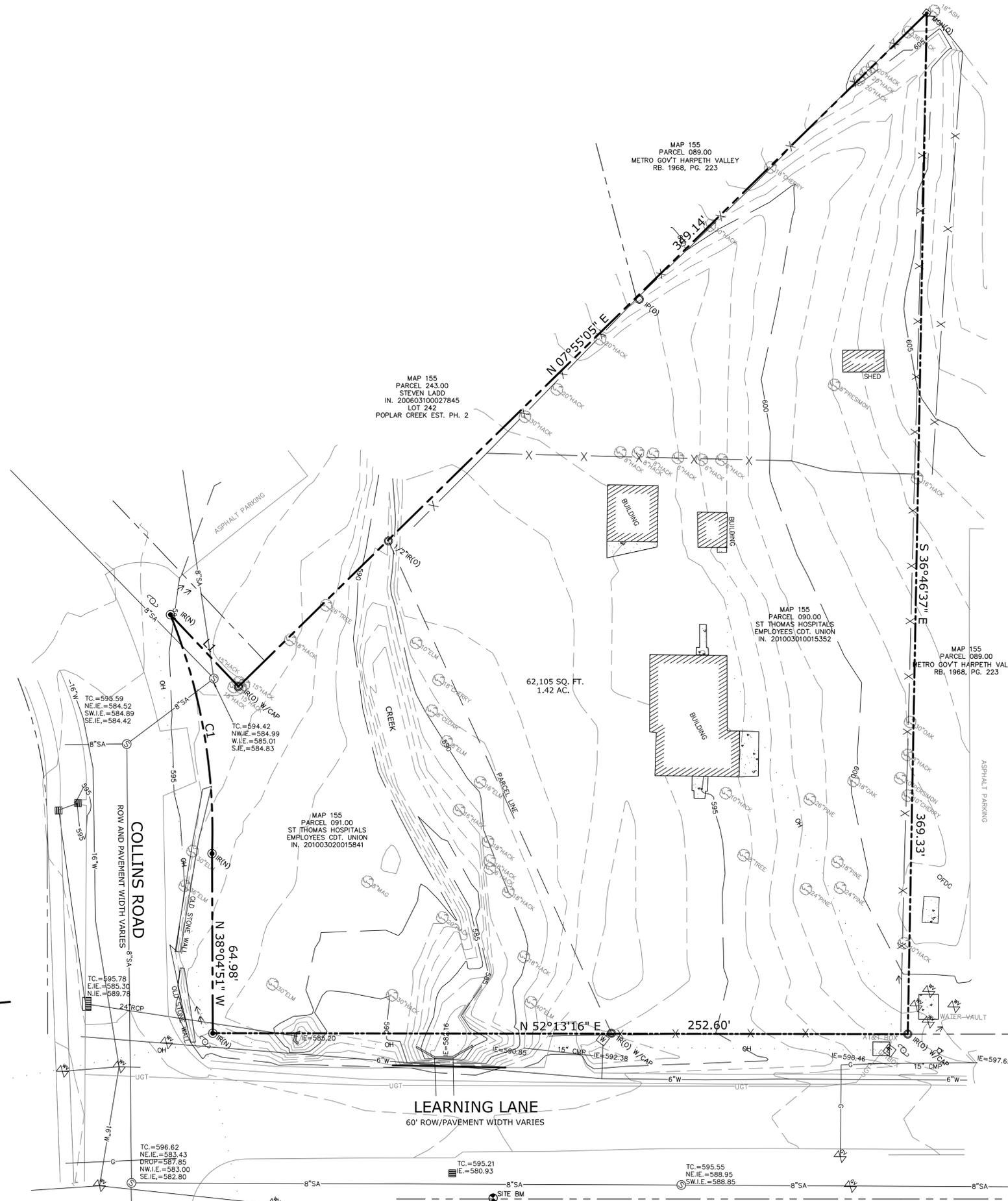
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 7(b), 8, 11 & 13 of Table A thereof. The field work was completed on March 18, 2018.

Date of Plat or Map: March 19, 2018

By: *Jason J. Stivers* Date: 3/19/18  
JASON J. STIVERS TN REGISTERED SURVEYOR'S No. 2219

**SURVEYOR'S LEGEND**

- IRON ROD (OLD) ○ IR(O)
- PROPERTY LINE - - - - -
- IRON ROD (NEW) ● IR(N)
- POWER POLE
- CURB INLET
- MANITARY SEWER MANHOLE
- WATER VALVE
- WATER METER
- OVER HEAD LINE
- TELEPHONE BOX
- AREA DRAIN
- GAS VALVE
- GUY WIRE
- AT&T UNDERGROUND LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- FENCE LINE



PREPARED BY  
**STIVERS LAND SURVEYING**  
RLS 2219  
1134 LAKEWOOD DR., GALLATIN TN. 37066  
615-939-1171  
stiverslandsurveying@gmail.com

LINE BEARING	DISTANCE
LT IS 81°26'07"	E 135.88'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	88.39'	1208.00'	24°20'57"	N 47°46'42" W	187.73'

**ALTA/ACSM LAND TITLE SURVEY**  
OF THE  
**ST. THOMAS HOSPITAL PROPERTY**  
7860 LEARNING LN. & 8236 COLLINS RD., 2ND DISTRICT  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
DATE OF SURVEY: MARCH 18, 2018  
DATE OF DRAWING: MARCH 19, 2018

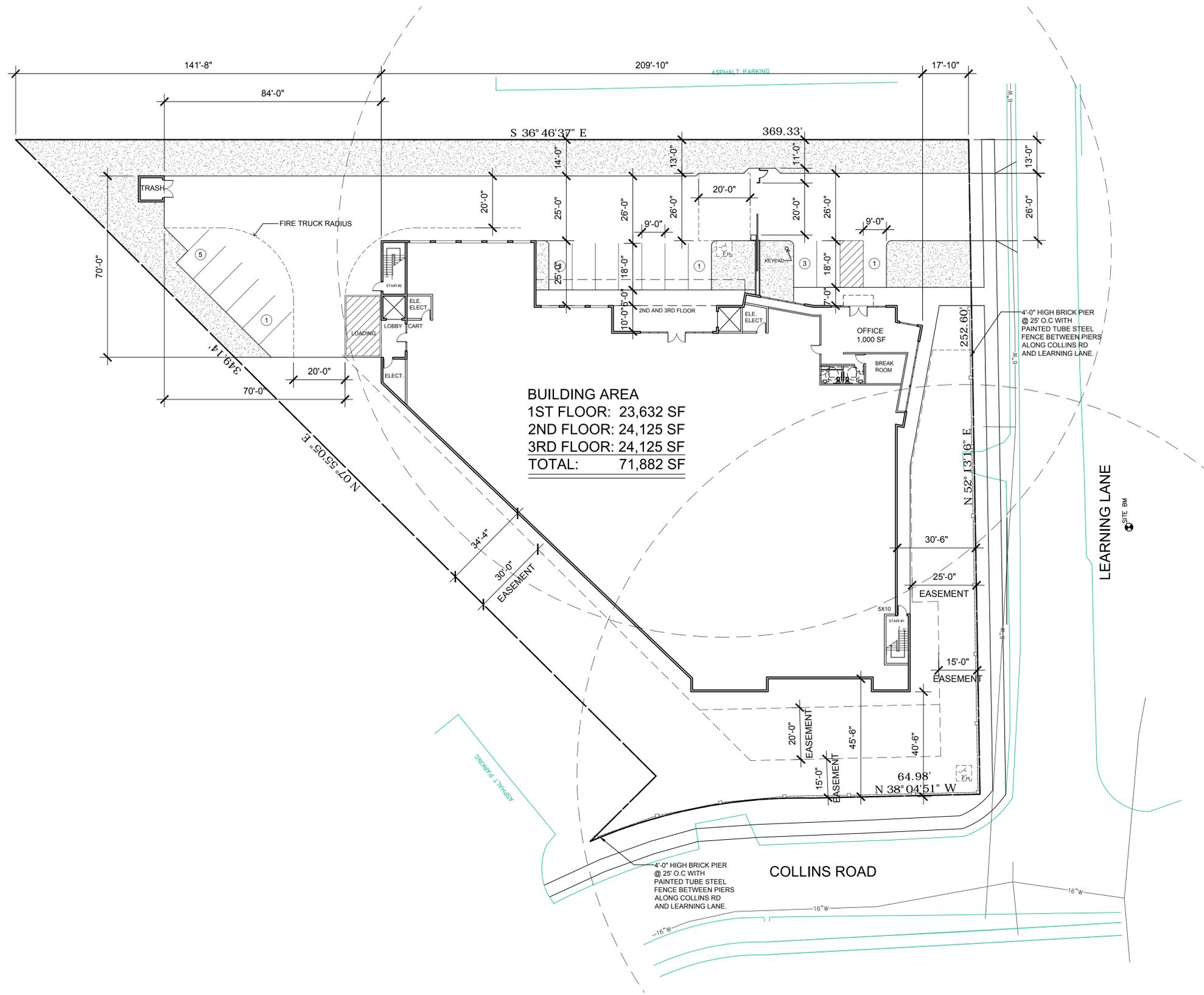












**BUILDING AREA**  
 1ST FLOOR: 23,632 SF  
 2ND FLOOR: 24,125 SF  
 3RD FLOOR: 24,125 SF  
 TOTAL: 71,882 SF

**SITE TABULATION:**

SITE AREA:	±62,104 SF
BUILDING FOOTPRINT:	24,125 SF
BUILDING COVERAGE:	39%

**BUILDING TABULATION:**

TOTAL BUILDING AREA:	71,882 SF
FIRST FLOOR:	23,632 SF
SECOND FLOOR:	24,125 SF
THIRD FLOOR:	24,125 SF

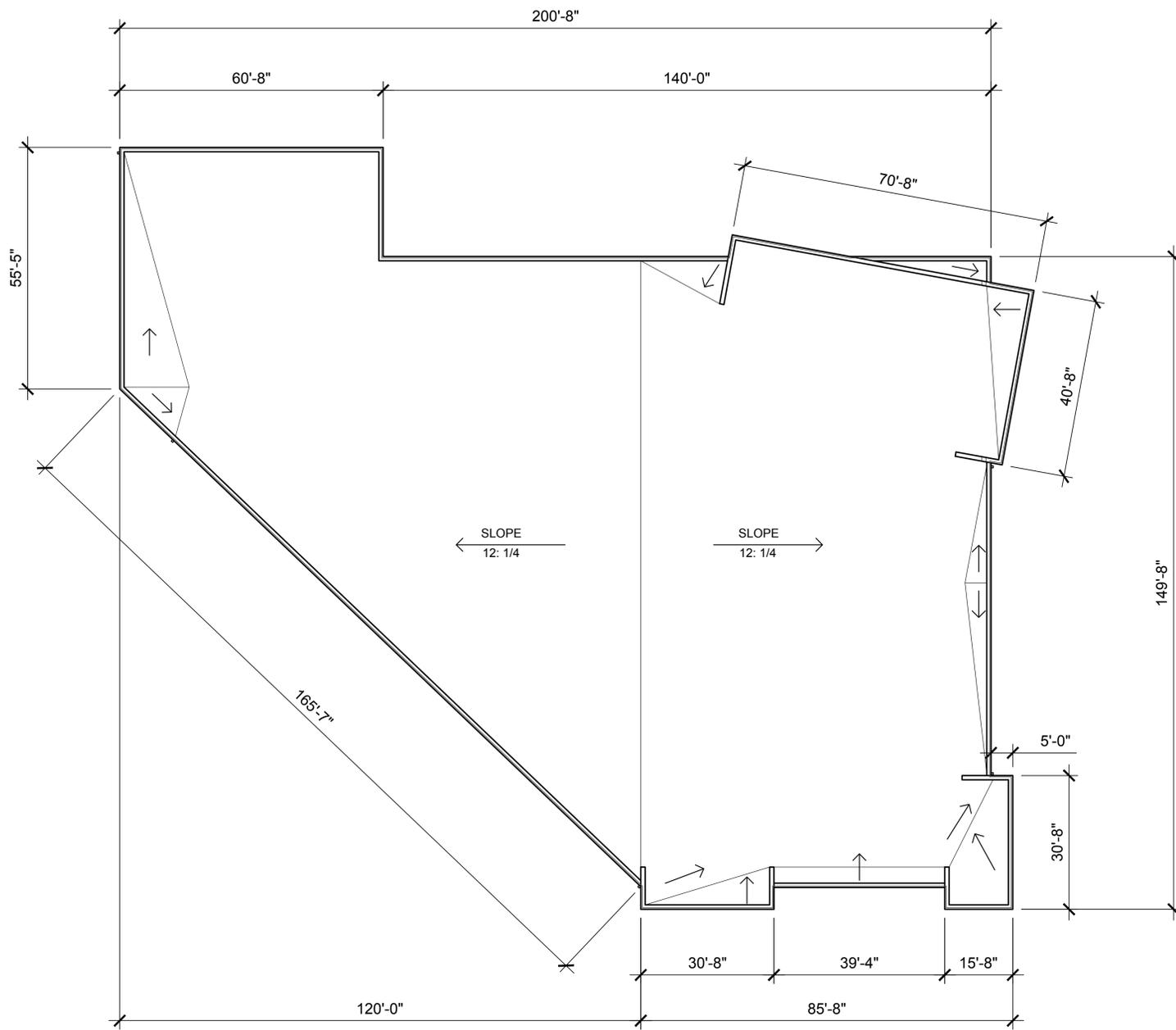
**PARKING TABULATION:**

PARKING STALLS PROVIDED:	15 STALLS
H.C STALLS PROVIDED:	1 STALL





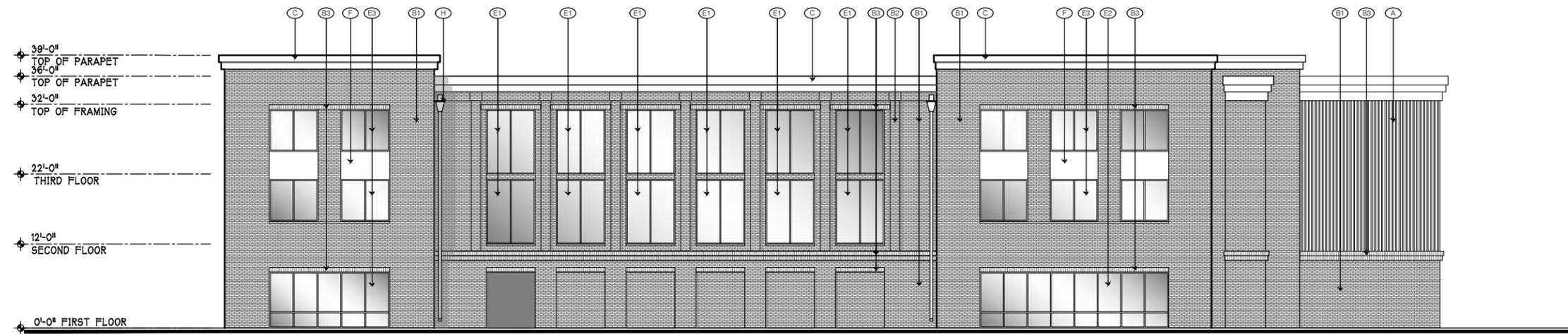




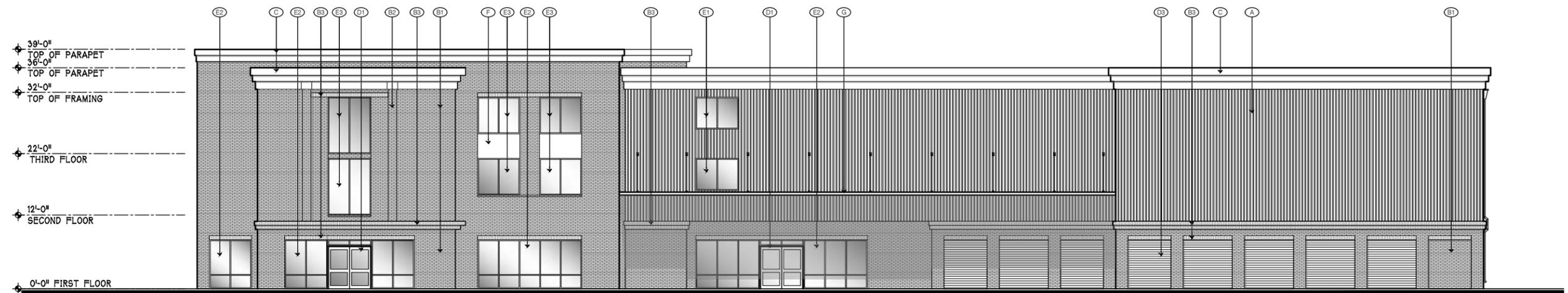
NORTH

ELEVATION KEY NOTES

- (A) METAL SIDING  
COLOR: PBU, MBCI
- (B1) BRICK VENEER  
COLOR:
- (B2) BRICK PILASTER  
COLOR:
- (B3) BRICK CORBEL BAND  
COLOR:
- (C) PAINTED TEXTURE CORNICE  
COLOR:
- (D1) SLIDING DOOR  
COLOR:
- (D2) DOOR  
COLOR:
- (D3) ROLL UP DOOR  
COLOR:
- (E1) WINDOWS
- (E2) STOREFRONT DISPLAY GLASS WINDOW
- (E3) SPANDREL GLASS WINDOW
- (F) PAINTED METAL ACCENT PANELS  
COLOR:
- (G) METAL CANOPY  
COLOR:
- (H) DOWNSPOUT  
COLOR:

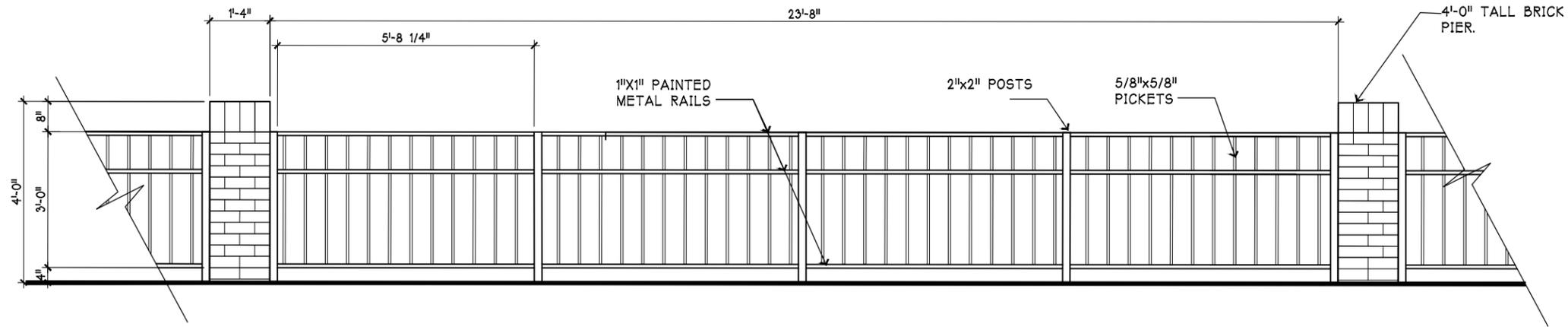


SOUTH ELEVATION - LEARNING LANE



EAST ELEVATION - ELEMENTARY SCHOOL

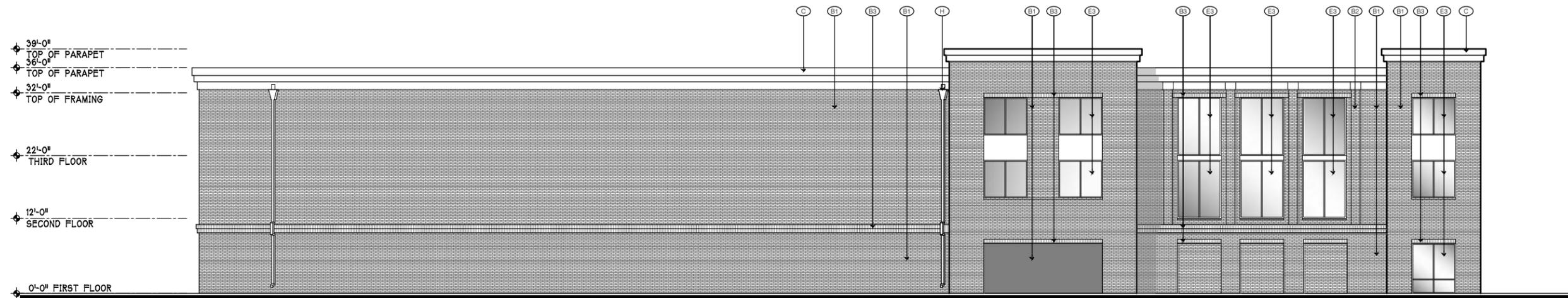
5/18/2018 4:51:53 PM



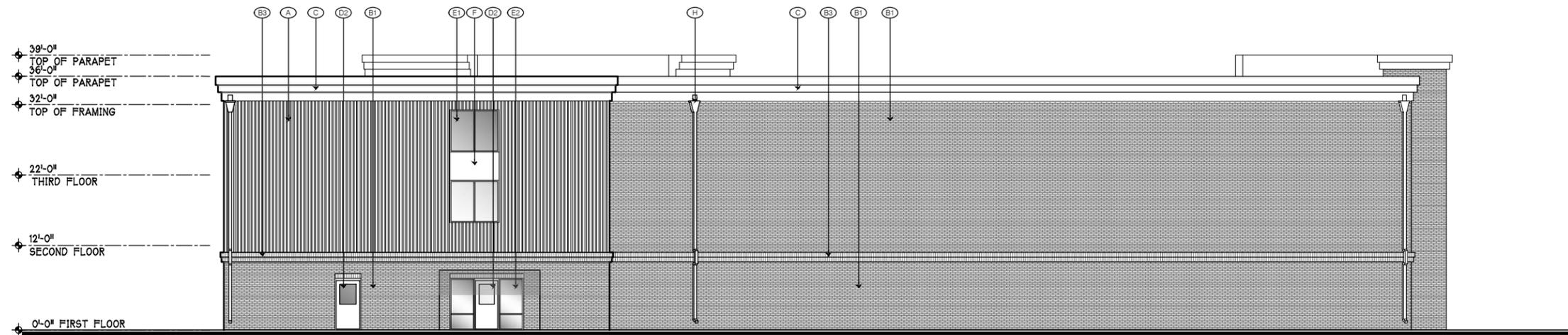
**ELEVATION KEY NOTES**

- (A) METAL SIDING  
COLOR: PBU, MBCI
- (B1) BRICK VENEER  
COLOR:
- (B2) BRICK PILASTER  
COLOR:
- (B3) BRICK CORBEL BAND  
COLOR:
- (C) PAINTED TEXTURE CORNICE  
COLOR:
- (D1) SLIDING DOOR  
COLOR:
- (D2) DOOR  
COLOR:
- (D3) ROLL UP DOOR  
COLOR:
- (E) WINDOWS
- (E2) STOREFRONT DISPLAY GLASS WINDOW
- (E3) SPANDREL GLASS WINDOW
- (F) PAINTED METAL ACCENT PANELS  
COLOR:
- (G) METAL CANOPY  
COLOR:
- (H) DOWNSPOUT  
COLOR:

TYPICAL FENCE - COLLINS RD & LEARNING LN. SCALE: 3/4"=1'-0"



WEST ELEVATION - COLLINS ROAD

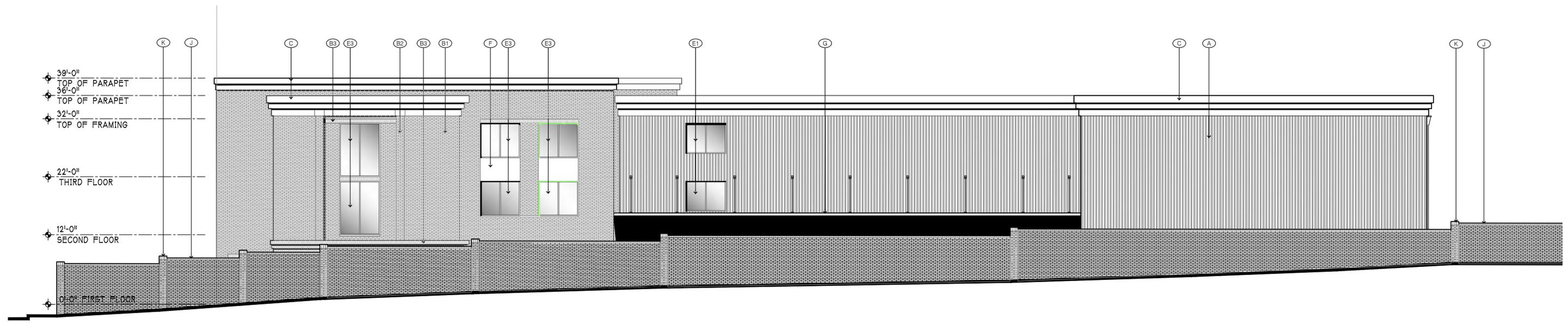


NORTH ELEVATION

5/18/2018 5:49:05 PM

ELEVATION KEY NOTES

- |                                       |  |
|---------------------------------------|--|
| (A) METAL SIDING<br>COLOR: PBU, MBCI  | (E1) WINDOWS   |
| (B1) BRICK VENEER<br>COLOR:           | (E2) STOREFRONT DISPLAY GLASS WINDOW                         |
| (B2) BRICK PILASTER<br>COLOR:         | (E3) SPANDREL GLASS WINDOW                                   |
| (B3) BRICK CORBEL BAND<br>COLOR:      | (F) PAINTED METAL ACCENT PANELS<br>COLOR:                    |
| (C) PAINTED TEXTURE CORNICE<br>COLOR: | (G) METAL CANOPY<br>COLOR:                                   |
| (D1) SLIDING DOOR<br>COLOR:           | (H) DOWNSPOUT<br>COLOR:                                      |
| (D2) DOOR<br>COLOR:                   | (J) BRICK VENEER TO MATCH BUILDING<br>OVER 7-FT. C.M.U. WALL |
| (D3) ROLL UP DOOR<br>COLOR:           | (K) BRICK VENEER TO MATCH BUILDING<br>PILASTER               |



NORTH ELEVATION

ELEVATIONS

SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

- |                                       |  |
|---------------------------------------|--|
| (A) METAL SIDING<br>COLOR: PBU, MBCI  | (E1) WINDOWS   |
| (B1) BRICK VENEER<br>COLOR:           | (E2) STOREFRONT DISPLAY GLASS WINDOW                         |
| (B2) BRICK PILASTER<br>COLOR:         | (E3) SPANDREL GLASS WINDOW                                   |
| (B3) BRICK CORBEL BAND<br>COLOR:      | (F) PAINTED METAL ACCENT PANELS<br>COLOR:                    |
| (C) PAINTED TEXTURE CORNICE<br>COLOR: | (G) METAL CANOPY<br>COLOR:                                   |
| (D1) SLIDING DOOR<br>COLOR:           | (H) DOWNSPOUT<br>COLOR:                                      |
| (D2) DOOR<br>COLOR:                   | (J) BRICK VENEER TO MATCH BUILDING<br>OVER 7-FT. C.M.U. WALL |
| (D3) ROLL UP DOOR<br>COLOR:           | (K) BRICK VENEER TO MATCH BUILDING<br>PILASTER               |



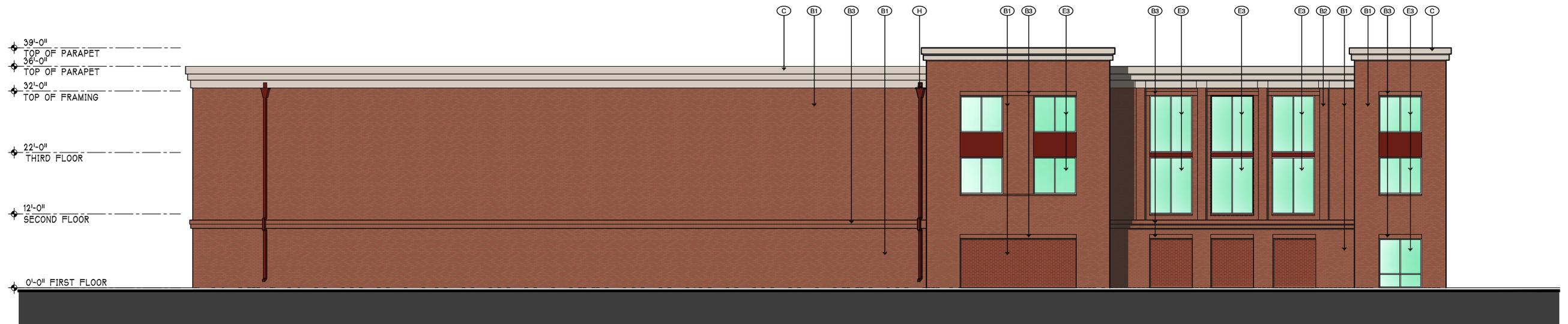
SOUTH ELEVATION - LEARNING LANE



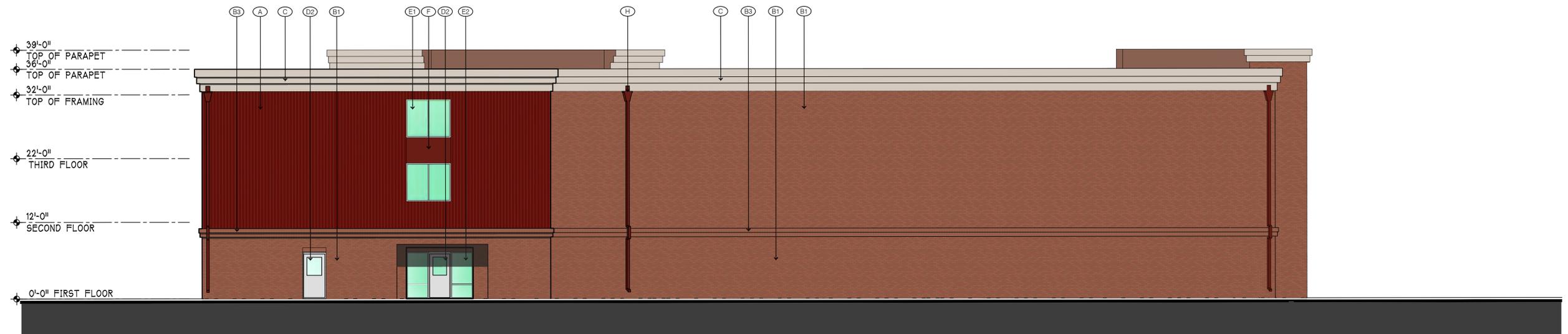
EAST ELEVATION - ELEMENTARY SCHOOL

ELEVATION KEY NOTES

- |                                       |  |
|---------------------------------------|--|
| (A) METAL SIDING<br>COLOR: PBU, MBCI  | (E1) WINDOWS   |
| (B1) BRICK VENEER<br>COLOR:           | (E2) STOREFRONT DISPLAY GLASS WINDOW                         |
| (B2) BRICK PILASTER<br>COLOR:         | (E3) SPANDREL GLASS WINDOW                                   |
| (B3) BRICK CORBEL BAND<br>COLOR:      | (F) PAINTED METAL ACCENT PANELS<br>COLOR:                    |
| (C) PAINTED TEXTURE CORNICE<br>COLOR: | (G) METAL CANOPY<br>COLOR:                                   |
| (D1) SLIDING DOOR<br>COLOR:           | (H) DOWNSPOUT<br>COLOR:                                      |
| (D2) DOOR<br>COLOR:                   | (J) BRICK VENEER TO MATCH BUILDING<br>OVER 7-FT. C.M.U. WALL |
| (D3) ROLL UP DOOR<br>COLOR:           | (K) BRICK VENEER TO MATCH BUILDING<br>PILASTER               |



WEST ELEVATION - COLLINS ROAD



NORTH ELEVATION