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METRO NASHVILLE WATER SERVICES STANDARD NOTES

- 1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISION OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEOTAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
12. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
13. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
14. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
15. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
16. ALL SEWER SERVICES SHALL BE 8 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
17. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
18. PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.

LANDSCAPE NOTES

- 1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 3/4 LOOSE COMPACT (NO GREATER THAN 1" SIV), 1/2 PEAT AND 1/2 SAND.
3. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE. AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FORM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNERS.
* WATER IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
4. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN PLANS AND THE PLANT LIST QUANTITY, THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
5. THE CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SPECIFIED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
6. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED.
7. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE RUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND/OR MULCH DEPTH.
9. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOMED, CLEANED AND THE SITE LEFT IN NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
10. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTRATING, SPRAYING, AND ALL OTHER OPERATIONS FOR ESTAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNERS REPRESENTATIVE.
11. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTIED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS REPRESENTATIVE.
12. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

TRAFFIC NOTES

THE SOUTHPOINTE MARKETPLACE DEVELOPMENT IS PROPOSED TO BE LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF NOLENSVILLE PIKE AND PETTUS ROAD IN NASHVILLE, TENNESSEE. ACCORDING TO INFORMATION PROVIDED BY GBT REALTY CORPORATION, THE DEVELOPMENT IS PLANNED TO CONSIST OF APPROXIMATELY 12,000 SQUARE FEET OF RETAIL SPACE, 22,000 SQUARE FEET OF SUPERMARKET SPACE, AND 4,500 SQUARE FEET OF FAST-FOOD RESTAURANT WITH A DRIVE-THRU WINDOW. THE ANALYSES PRESENTED IN THIS STUDY INDICATE THAT THE IMPACTS OF THE PROPOSED PROJECT ON THE EXISTING STREET NETWORK WILL BE MANAGEABLE BY PROVIDING THE RECOMMENDATIONS BELOW. THESE SPECIFIC RECOMMENDATIONS WILL PROVIDE SAFE AND EFFICIENT TRAFFIC OPERATIONS WITHIN THE STUDY AREA FOLLOWING THE COMPLETION OF THE PROPOSED PROJECT. THE RECOMMENDATIONS ARE AS FOLLOWS:
NOLENSVILLE PIKE AND PETTUS ROAD
• THE ANALYSIS OF THE PROJECTED TRAFFIC VOLUMES AT THE INTERSECTION INDICATE THE EXISTING STORAGE FOR WESTBOUND TRAFFIC ON PETTUS ROAD WILL BE INADEQUATE. IT IS RECOMMENDED TO WIDEN PETTUS TO A 3-LANE CROSS SECTION CONSISTING OF ONE 11-FOOT TRAVEL LANE IN EACH DIRECTION WITH A CENTER 10-FOOT LANE FOR A MINIMUM OF 400 FEET EAST OF NOLENSVILLE PIKE. THE CENTER LANE SHOULD PROVIDE APPROXIMATELY 240 FEET OF LEFT TURN STORAGE AT THE INTERSECTION WITH NOLENSVILLE PIKE AND THEN TRANSITION INTO A TWO-WAY LEFT-TURN LANE.
NOLENSVILLE PIKE AND FUTURE PUBLIC ROAD
• THE ANALYSIS OF THE PROJECTED TRAFFIC VOLUMES AT THE INTERSECTION INDICATE THE PLANNED STORAGE FOR WESTBOUND LEFT TURNS WILL BE INADEQUATE. IT IS RECOMMENDED PROVIDE A MINIMUM OF 190 FEET OF LEFT TURN STORAGE ON THE WESTBOUND APPROACH OF THE FUTURE PUBLIC ROAD. THE ROADWAY CROSS-SECTION IS RECOMMENDED TO CONSIST OF ONE 11-FOOT TRAVEL LANE IN EACH DIRECTION WITH A CENTER 10-FOOT LEFT-TURN LANE.
SITE ACCESS DRIVEWAYS
• ALL SITE ACCESS DRIVEWAYS SHOULD BE DESIGNED TO INCLUDE SUFFICIENT WIDTH FOR ONE ENTERING LANE AND ONE EXITING LANE. A R1-1 'STOP' SIGN AND STOP BAR SHOULD BE INSTALLED ON EACH EGRESS APPROACH.
• AS PART OF THE CONSTRUCTION OF THE PROJECT, EACH SITE ACCESS SHOULD BE DESIGNED SUCH THAT THE DEPARTURE SIGHT TRIANGLES, AS SPECIFIED BY AASHTO, WILL BE CLEAR OF ALL SIGHT OBSTRUCTIONS, INCLUDING LANDSCAPING, EXISTING VEGETATION, MONUMENT SIGNS/WALLS, FENCES, ETC.
o THE FIELD INVESTIGATIONS AND SITE PLANE OBSERVATIONS INDICATE THAT THE SIGHT DISTANCE AVAILABLE AT ALL PROPOSED SITE ACCESSES WILL BE ADEQUATE FOR LEFT AND RIGHT TURNS ONTO PETTUS ROAD AND THE FUTURE PUBLIC ROAD WITH TWO EXCEPTIONS.
o THE AVAILABLE SIGHT DISTANCE FOR LEFT TURNS ONTO PETTUS ROAD FROM SITE ACCESS #2 FALLS 28 FEET BELOW THE DESIGN VALUE OF 500 FEET. THE RECOMMENDED WIDENING OF PETTUS ROAD WILL PROVIDE A TWO-WAY LEFT-TURN LANE AT THIS ACCESS DRIVEWAY WHICH WILL ALLOW A TWO-STAGE LEFT-TURN IF NEEDED.
o THE AVAILABLE SIGHT DISTANCE FOR LEFT TURNS ONTO THE FUTURE PUBLIC ROAD FROM SITE ACCESS #5 FALLS 90 FEET BELOW THE DESIGN VALUE OF 280 FEET. THIS ACCESS DRIVE WILL PRIMARILY SERVE AS LOADING ACCESS FOR THE PROPOSED SUPERMARKET AND IS ANTICIPATED TO HAVE VERY FEW EXITING LEFT TURNS. NO SITE GENERATED TRIPS WERE DISTRIBUTED TO THIS MOVEMENT.
CONSIDERATIONS
• DUE TO THE INCREASE IN TRAFFIC VOLUMES AND ACCESS POINTS ALONG PETTUS ROAD IN THE VICINITY OF THE PROJECT SITE, CONSIDERATION SHOULD BE GIVEN TO LOWERING THE SPEED LIMIT ON PETTUS ROAD TO INCREASE OVERALL ROADWAY SAFETY.

EROSION CONTROL NOTES

- 1. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
2. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
5. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
6. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
7. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
8. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
9. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
10. STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES.
10a. WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
10b. ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH TDEC'S STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE.

UTILITY NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNERS REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
4. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
5. REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.



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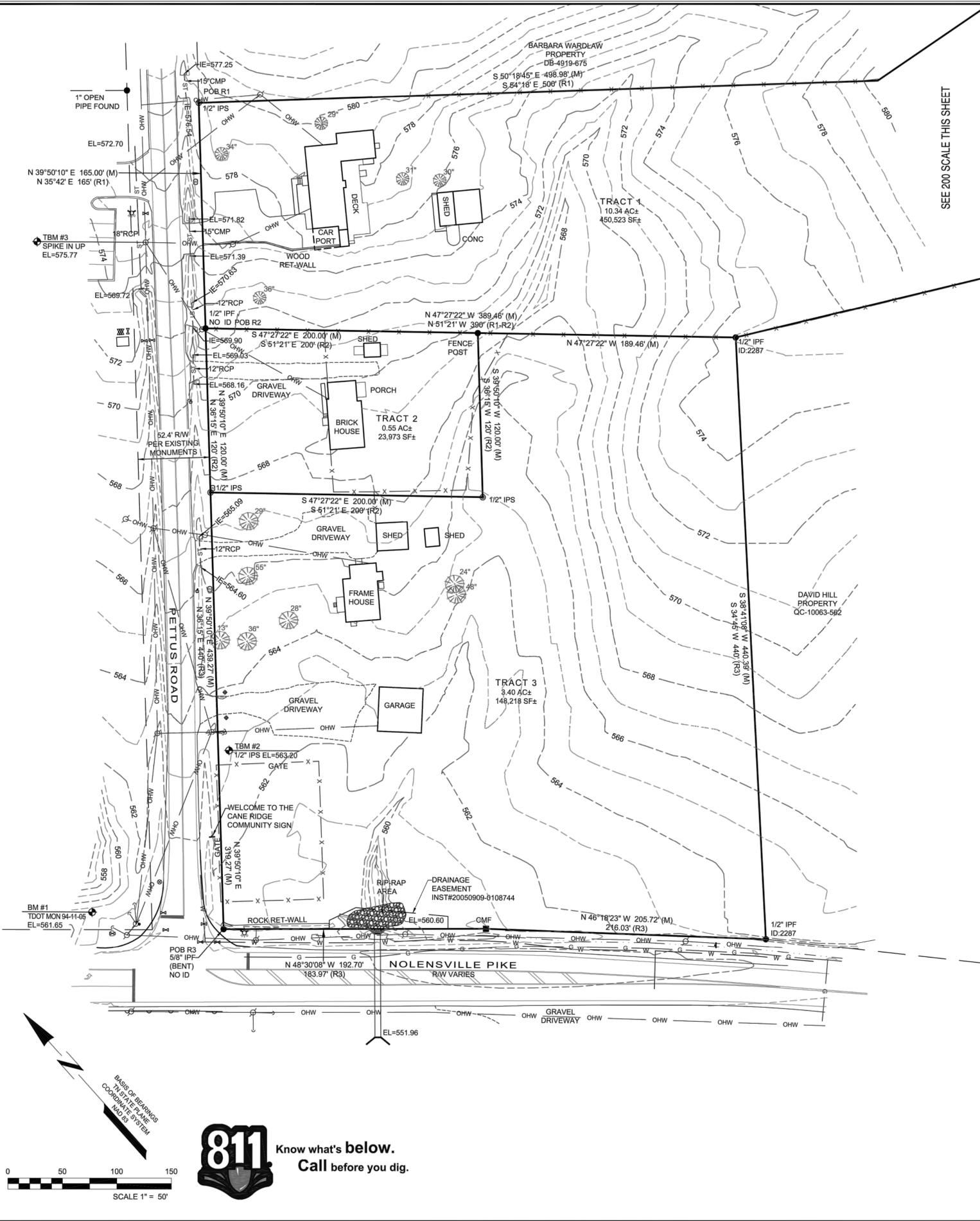
PRELIMINARY SPECIFIC PLAN 2018SP-012-001
SOUTHPOINTE MARKETPLACE
GBT REALTY
ANTIOCH, TENNESSEE



Table with columns for REVISIONS, DATE, and BY. Includes a grid for tracking changes.

DESIGNED BY: PHN
DRAWN BY: PHN
CHECKED BY: ZJD
DATE: 05/22/2018
KIMLEY-HORN PROJECT NO. 018959005

GENERAL NOTES
SHEET NUMBER
C0-01



SURVEYOR'S CERTIFICATION:

To: FRANKLIN LAND ASSOCIATES, LLC, A TENNESSEE LIMITED LIABILITY COMPANY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 22, 2017.

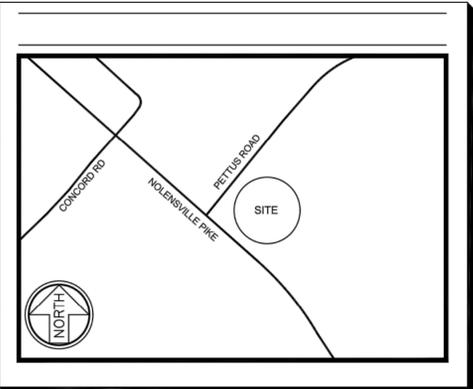
DATE OF PLAT OR MAP: NOVEMBER 4, 2017.

KENNETH A. BAU, RLS 2019
kenny@younghobbs.com

DATE _____

LEGEND

- R1 DB-4273-643
- R2 QC-10367-593
- R3 QC-9926-533
- IRON PIN SET (IPS)
- IRON PIN FOUND, AS NOTED
- CONCRETE MONUMENT FOUND (CMF)
- BENCHMARK, AS NOTED
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY POLE
- CUIRY WIRE
- TRAFFIC POLE
- BOLLARD / POST
- SIGN, AS NOTED
- GAS VALVE
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINES
- OVERHEAD WIRE
- OHW
- X FENCE LINE
- G GAS LINE, AS NOTED
- W



SITE ADDRESS:

TRACT 1: 6434 PETTUS RD
ANTIOCH, TN 37013

TRACT 2: 6438 PETTUS RD
ANTIOCH, TN 37013

TRACT 3: 6444 PETTUS RD
ANTIOCH, TN 37013

PARKING:

TRACTS 1-3; THERE ARE NO PARKING SPACES DELINEATED ONSITE.

TRACT 1 LAND DESCRIPTION (PER TITLE)

TITLE COMMITMENT HAS NOT BEEN PROVIDED TO THE SURVEYOR.

TRACT 2 LAND DESCRIPTION (PER TITLE)

OLD REPUBLIC NATIONAL TITLE
EFFECTIVE DATE: OCTOBER 10, 2017 @ 8:00 A.M.
COMMITMENT NO.: 172253

Land in the 5th Civil District of Davidson County, Tennessee, more particularly described as follows:

Beginning at a point 440 feet from the southeasterly corner of Pettus Road and Nolensville Pike in a northwesterly direction from the above mentioned corner; thence south 51 deg. 21' East 200 feet; South 36 deg. 15' West 120 feet; North 51 deg. 21' West 200 feet to a point in the margin of Pettus Road; thence along the margin of Pettus Road North 36 deg. 15' East 120 feet to the point of beginning.

Being the same property conveyed to EDWARD W. HILL AND WIFE, LILLIAN HILL, by deed, from DONALD EUGENE HOGAN, of record in Book 5618, Page 610, Register's Office for Davidson County, Tennessee. Said property was conveyed to LILLIAN INEZ LYELL HILL, by quitclaim deed from EDWARD W. HILL AND WIFE, LILLIAN HILL, of record in Book 9244, page 28, Register's Office for Davidson County, Tennessee. The said LILLIAN INEZ LYELL HILL, having since died, HOUSTON EDWARD HILL is the duly appointed Executor of the ESTATE OF LILLIAN INEZ LYELL HILL pursuant to probate proceedings set forth as file number 95F981 and of record in Will Book 197, Page 355, of the Probate Court for Davidson County, Tennessee.

Being the same property conveyed to DAVID ROY HILL, HOUSTON EDWARD HILL AND CATHERINE ELAINE MELBY AS CO-TRUSTEES OF THE LILLIAN INEZ LYELL HILL FAMILY TRUST, by quitclaim deed from HOUSTON EDWARD HILL, EXECUTOR OF THE ESTATE OF LILLIAN INEZ LYELL HILL, of record in Book 9526, Page 635, dated January 24, 1996, said Register's Office.

Being the same property conveyed to DAVID ROY HILL, by quitclaim deed from DAVID ROY HILL, HOUSTON EDWARD HILL AND CATHERINE ELAINE MELBY AS CO-TRUSTEES OF THE LILLIAN INEZ LYELL HILL FAMILY TRUST, of record in Book 10063, page 584, dated February 10, 1996, said Register's Office.

Being the same property conveyed to HOUSTON E. HILL, by quitclaim deed from DAVID ROY HILL, of record in Book 10063, page 583, dated February 10, 1996, said Register's Office.

NOTES CORRESPONDING TO SCHEDULE B-I:

ITEMS 1-7 & 9 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED.

TRACT 3 LAND DESCRIPTION (PER TITLE)

OLD REPUBLIC NATIONAL TITLE
EFFECTIVE DATE: OCTOBER 10, 2017 @ 8:00 A.M.
COMMITMENT NO.: 172219

Land in the 5th Civil District of Davidson County, Tennessee, being the same property of record in Book 10063, page 580, and being known as Map 181, Parcel 84, according to Davidson County Tax Assessor's Office.

Being part of the same property (tract 2) conveyed to EDWARD W. HILL AND WIFE, LILLIAN HILL, by deed from EDGAR TURRENTINE AND WIFE, WILLIAMINA TURRENTINE, of record in Book 2454, Page 271, Register's Office for Davidson County, Tennessee. Said property was conveyed to LILLIAN INEZ LYELL HILL by quitclaim deed from EDWARD W. HILL AND WIFE, LILLIAN HILL, of record in Book 9244, page 28, Register's Office for Davidson County, Tennessee. The said LILLIAN INEZ LYELL HILL, having since died, HOUSTON EDWARD HILL is the duly appointed Executor of the ESTATE OF LILLIAN INEZ LYELL HILL pursuant to probate proceedings set forth as file number 95F981 and of record in Will Book 197, Page 355, of the Probate Court for Davidson County, Tennessee.

Being the same property conveyed to DAVID ROY HILL, HOUSTON EDWARD HILL AND CATHERINE ELAINE MELBY AS CO-TRUSTEES OF THE LILLIAN INEZ LYELL HILL FAMILY TRUST, by quitclaim deed from HOUSTON EDWARD HILL, EXECUTOR OF THE ESTATE OF LILLIAN INEZ LYELL HILL, of record in Book 9526, Page 635, dated January 24, 1996, said Register's Office.

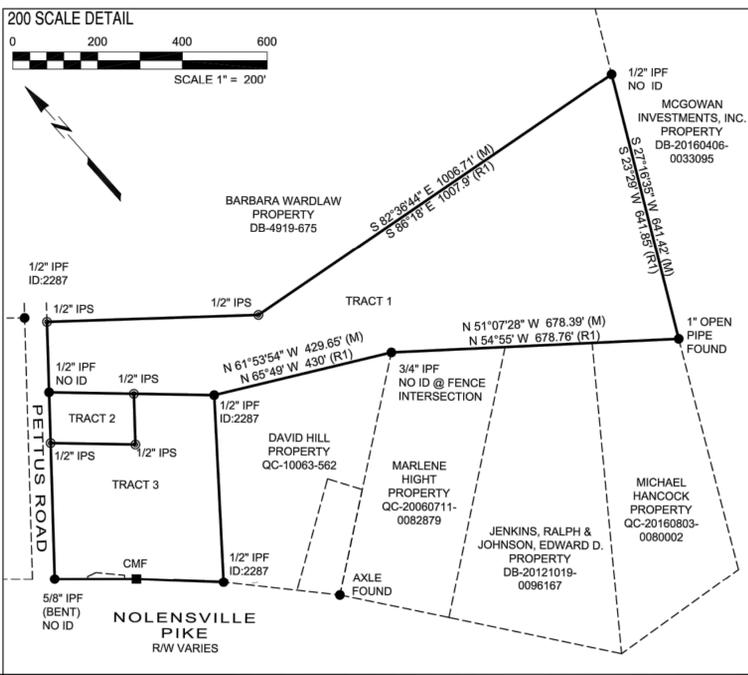
Being the same property conveyed to DAVID ROY HILL, by quitclaim deed from DAVID ROY HILL, HOUSTON EDWARD HILL AND CATHERINE ELAINE MELBY AS CO-TRUSTEES OF THE LILLIAN INEZ LYELL HILL FAMILY TRUST, of record in Book 10063, page 580, dated February 10, 1996, said Register's Office.

NOTES CORRESPONDING TO SCHEDULE B-II:

ITEMS 1-7 & 9 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED.

8. Easement Agreement of record as Instrument No. 20050909-0108744, said Register's Office.

AFFECTS, AS SHOWN HEREON.



SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (TENNESSEE ONE CALL SYSTEM, INC. 1-800-351-1111).

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY. CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES. FOR EASEMENT WIDTH AND RESTRICTIONS, UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 4703704088H WITH A MAP REVISED DATE OF APRIL 5, 2017, IN NASHVILLE AND DAVIDSON COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY AS SHOWN HEREON AND IDENTIFIED AS PETTUS ROAD.

LIST OF ENCROACHMENTS: NONE.

AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE ON SITE OF USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

AT THE TIME OF THIS SURVEY THERE WAS NO DELINEATION OF WETLANDS ON THIS SITE.

AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.

GROUND MEASUREMENTS ARE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PROPERTY.

AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 1/2" DIAMETER REBAR, 18" IN LENGTH, WITH A YELLOW PLASTIC CAP STAMPED "YOUNG HOBBS".

THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER 820-3, STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDED INFORMATION SHOWN, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED TRAVERSE IS BETTER THAN 1:10,000 AS SHOWN HEREON.

YOUNG - HOBBS AND ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
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dave@younghobbs.com

PRELIMINARY - NOT FOR RECORDING OR TRANSFER

KENNETH A. BAU, RLS
kenny@younghobbs.com

Revision	No.	Date
	1	

Kimley Horn

Kimley Horn and Associates, Inc.
214 Oceanside Drive
Nashville, TN

ALTA/NSPS LAND TITLE SURVEY CO-02

OWNER INFORMATION

TRACT 1
ALVIN BEERMAN
DB-4273-643
MAP 181, PARCEL 83.00

TRACT 2
HOUSTON E. HILL
QC-10367-593
MAP 181 PARCEL 127.00

TRACT 3
DAVID R. HILL
QC-9926-533
MAP 181 PARCEL 84.00
ANTIOCH, DAVIDSON COUNTY, STATE OF TENNESSEE

DRAWN BY: KAB

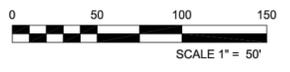
APPROVED BY: KAB

DATE: (FIELD) 10/22/2017

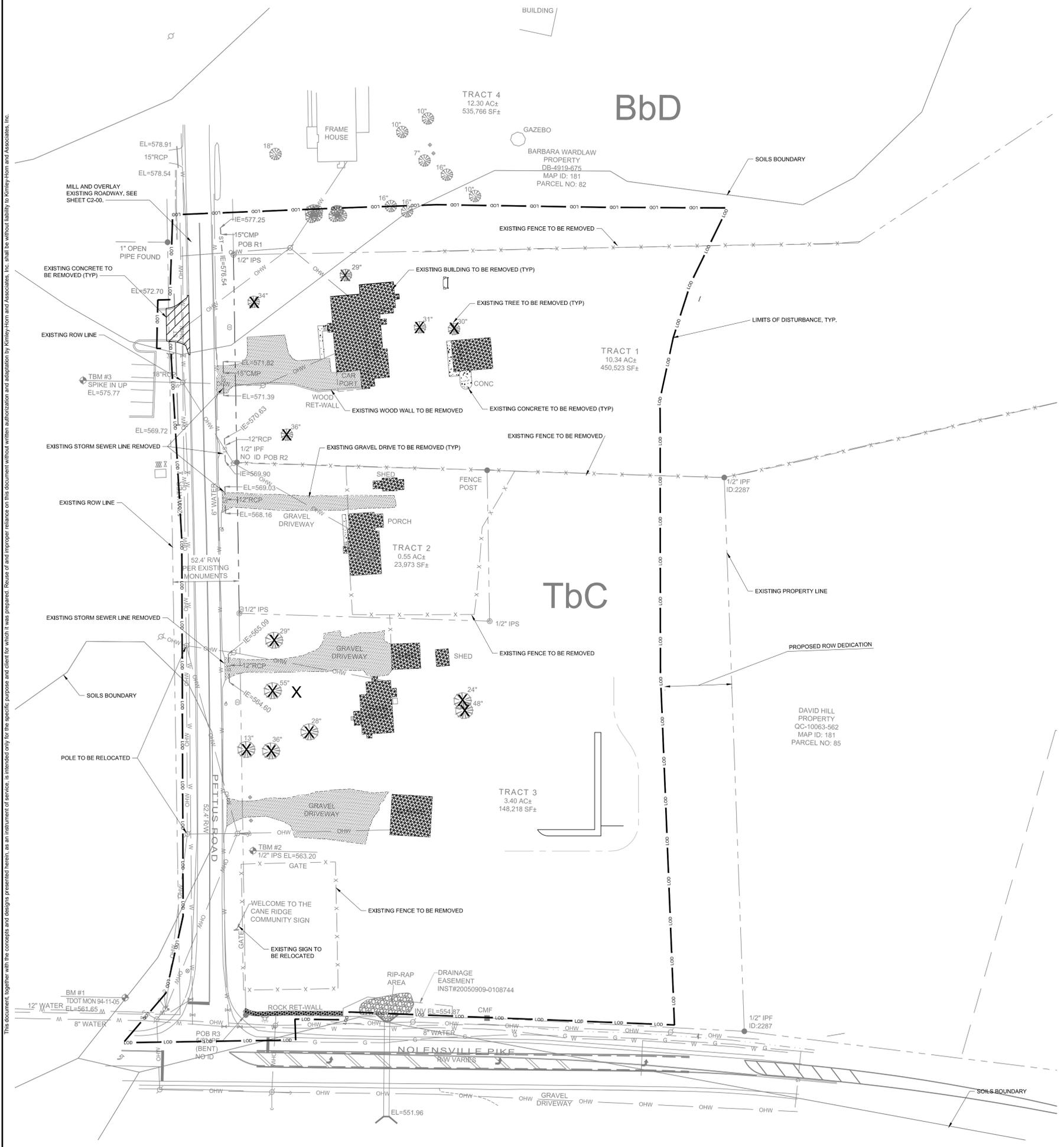
DATE: (OFFICE) 11/4/2017

YHA PRO. # 167-17

811 Know what's below.
Call before you dig.



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DEMOLITION LEGEND	
	REMOVE GRAVEL
	DEMOLISH AND REMOVE STRUCTURE
	REMOVE CONCRETE / RIGID PAVEMENT
	REMOVE TREE

UTILITY DEMOLITION NOTE

CONTRACTOR RESPONSIBLE FOR REMOVING ALL EXISTING UTILITY SERVICES TO SERVE THE EXISTING BUILDING(S). CONTACT THE RESPONSIBLE UTILITY DEPARTMENT AND NOTIFY OWNER A MINIMUM OF 72 HOURS PRIOR TO DISCONNECTING SERVICES TO THE EXISTING BUILDING(S). MAINTAIN UTILITY SERVICE TO THE ADJACENT PROPERTIES FOR THE DURATION OF THE PROJECT.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

SOILS DATA

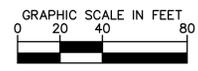
BbD
BARFIELD-ROCK OUTCROP COMPLEX,
5 TO 20 PERCENT SLOPES

TbC
TALBOTT SILT LOAM,
2 TO 10 PERCENT SLOPES

STREAM NOTE

STREAM SHOWN IN METRO MAPS IS WET WEATHER CONVEYANCE PER HYDROLOGIC DETERMINATION (DWR HD# 8924) PERFORMED BY DAVID WINTER CORD AND WINTER, LLC DATED 11/8/2017. DOCUMENTATION AVAILABLE PER REQUEST.

SEE DEMOLITION NOTES,
SHEET C0-01.



Kimley-Horn

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PRELIMINARY SPECIFIC PLAN 2018SP-012-001
SOUTHPOINTE MARKETPLACE
GBT REALTY
ANTIOCH, TENNESSEE

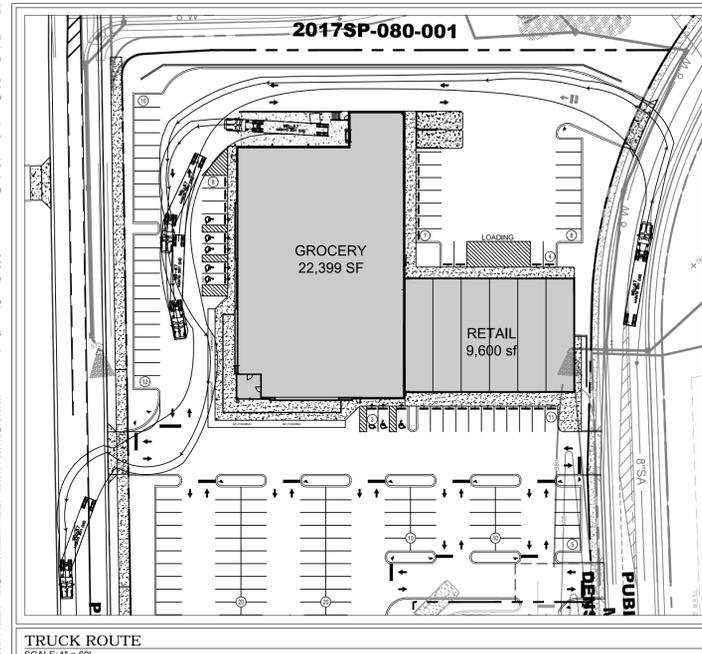
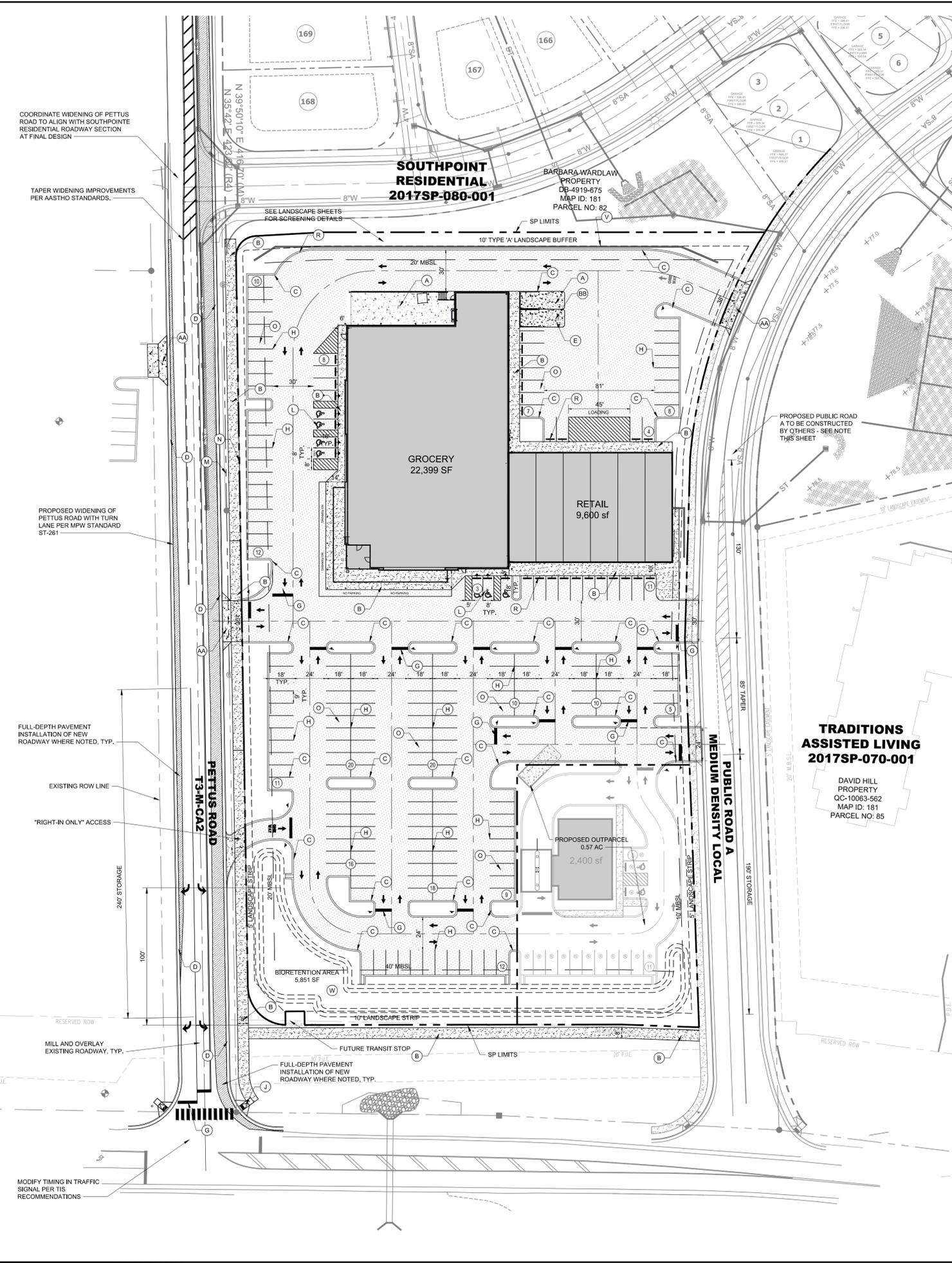


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DESIGNED BY: PHN
DRAWN BY: PHN
CHECKED BY: ZJD
DATE: 05/22/2018
KIMLEY-HORN PROJECT NO. 018959005

DEMOLITION PLAN
SHEET NUMBER
C1-00

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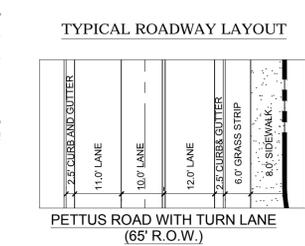
- ### SITE LAYOUT NOTES
- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL LANDSCAPE ISLANDS SHALL BE MOUNDING WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - ALL SIDEWALK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER MPW STANDARD DWG NO. ST-210.
 - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
 - REFER TO ARCHITECTURAL PLAN FOR STRIPING WITHIN THE BUILDING.
 - ALL TREE GRATES SHALL BE ADA COMPLIANT AND H20 TRAFFIC RATED.
 - THE FINAL SITE PLAN/BLDG PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

- ### PUBLIC WORKS NOTES
- THE DEVELOPERS FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 - ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.

SITE PLAN KEYNOTE LEGEND

(A)	HEAVY DUTY PAVEMENT
(B)	CONCRETE SIDEWALK
(C)	12" EXTRUDED CURB (TYP.)
(D)	30" CURB & GUTTER
(E)	DUMPSTER (SEE ARCH. PLANS FOR DETAILS)
(F)	CURB CUT (NOT USED)
(G)	24" WHITE THERMOPLASTIC STOP BAR (TYP.)
(H)	4" PARKING STRIPE (TYP.)
(I)	STOP SIGN (TYP.) (NOT USED)
(J)	ADA RAMP (TYP.)
(K)	ACCESSIBLE PARKING SIGN (MUTCD R-8) (TYP.) (NOT USED)
(L)	THERMOPLASTIC ADA PARKING SYMBOL (TYP.)
(M)	EXISTING PROPERTY LINE (TYP.)
(N)	PROPOSED PROPERTY LINE (TYP.)
(O)	STANDARD PARKING SPACE (TYP.)
(P)	BICYCLE PARKING SPACE (TYP.) (NOT USED)
(Q)	COMPACT PARKING SPACE (TYP.) (NOT USED)
(R)	CONCRETE WHEEL STOP (TYP.)
(S)	20' BUILDING SETBACK (NOT USED)
(T)	10' LANDSCAPE BUFFER (NOT USED)
(U)	25' SANITARY SEWER EASEMENT (NOT USED)
(V)	RETAINING WALL
(W)	BIORETENTION AREA
(X)	TRANSFORMER (NOT USED)
(Y)	SITE LIGHTING (TYP. - SEE LIGHTING PLAN FOR DETAILS) (NOT USED)
(Z)	BLDG. LIGHTING (TYP. - SEE LIGHTING PLAN FOR DETAILS) (NOT USED)
(AA)	METRO STANDARD COMMERCIAL RAMP (ST-324)
(BB)	RECYCLING CONTAINER

- ### RETAINING WALL NOTES
- ALL SITE RETAINING WALLS INDICATED ON THESE PLANS ARE SHOWN FOR GENERAL LOCATION. SITE SPECIFIC STRUCTURAL ENGINEER SHALL VERIFY PROPOSED WALL LOCATIONS AND HEIGHTS.
 - ALL SITE WALLS SHALL BE DESIGN / BUILD UNDER THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TENNESSEE TO THE CIVIL ENGINEER OF RECORD AND THE CODES AND ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS OR CONSTRUCTION.
 - ALL WALLS OF HEIGHTS EQUAL TO OR GREATER THAN 30 INCHES (MEASURED FROM TOP OF WALL TO FINISHED GRADE AT BOTTOM OF WALL) SHALL INCLUDE PEDESTRIAN GUARDRAIL OR FENCE. GUARDRAIL SHALL BE IN COMPLIANCE WITH LOCAL CODES AND IBC REQUIREMENTS.



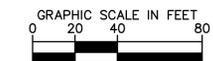
PARKING DATA

GROCERY FLOOR AREA:	22,399 SF
GROCERY PARKING REQ'D:	112 STALLS
(1 / 200 SF, RETAIL)	
RETAIL FLOOR AREA (ATTACHED):	9,600 SF
RETAIL PARKING REQ'D:	48 STALLS
(1 / 200 SF, RETAIL)	
TOTAL PARKING REQ'D:	160 STALLS
TOTAL PARKING PROVIDED:	194 STALLS
TOTAL ADA STALLS REQ'D:	6 STALLS
TOTAL ADA STALLS PROVIDED:	7 STALLS

NOTE: ADDITIONAL PARKING FOR PROPOSED OUTPARCEL SHALL BE PROVIDED PER METRO CODE BASED ON USE.

SEE TRAFFIC NOTES SHEET C0-01

"PUBLIC ROAD A" MUST BE INSTALLED WITH THIS DEVELOPMENT OR PRIOR TO FINAL SP APPROVAL FOR THIS PROPOSED DEVELOPMENT



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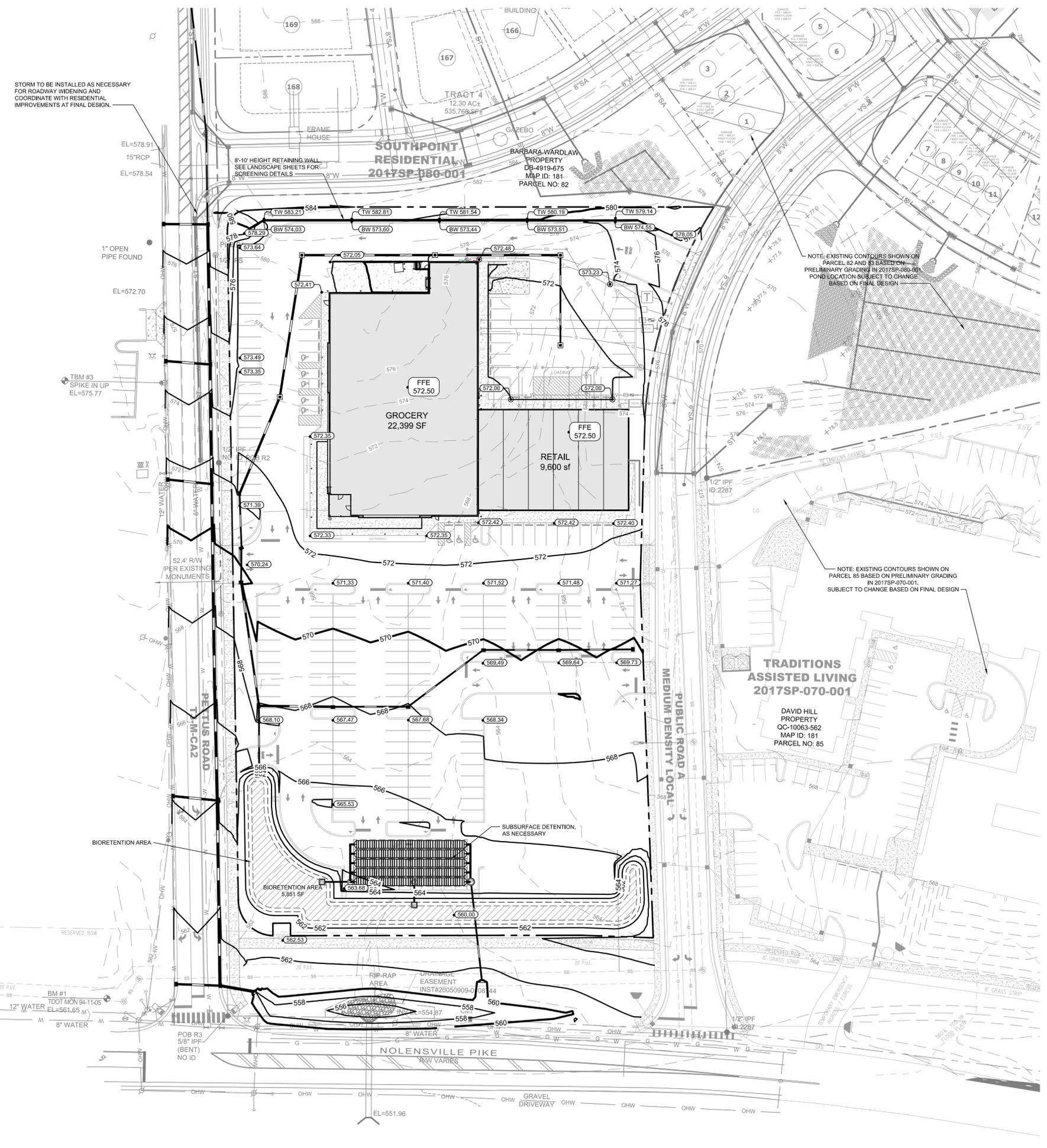
PRELIMINARY SPECIFIC PLAN 2018SP-012-001
SOUTHPOINTE MARKETPLACE
 GBT REALTY
 ANTIPOCH, TENNESSEE



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DESIGNED BY:	PHN									
DRAWN BY:	PHN									
CHECKED BY:	ZJD									
DATE:	05/22/2018									
KIMLEY-HORN PROJECT NO. 018959005										

SITE LAYOUT PLAN
 SHEET NUMBER
C2-00

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METRO STORMWATER NOTES

FEMA NOTE:
THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #47037C04584, EFFECTIVE APRIL 5, 2017.

CONSTRUCTION SCHEDULE:
1. PRE-CONSTRUCTION MEETING
2. INSTALLATION OF EROSION CONTROL MEASURES
3. EROSION INSPECTION BY EPSC AND METRO
4. ISSUANCE OF GRADING PERMIT
5. CONSTRUCTION

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.

TDEC NOTICE OF COVERAGE NOTE:
THIS PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND IS NOT REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC.

THE TOTAL DISTURBED AREA IS 4,506 ACRES.

AS-BUILT NOTE

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOW AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE-GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVALS

GRADING NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL, MATTING OR BLANKETS.
- THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENTATION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOIL.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- MAXIMUM SLOPE WITHIN PUBLIC ROW IS TO BE 3:1

PUBLIC WORKS NOTES

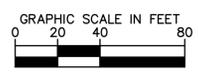
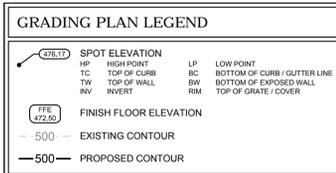
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.
- STORMWATER DISCHARGES ARE TO BE COORDINATED WITH MPW AND METRO STORMWATER. POINT SOURCE DISCHARGE WILL NOT BE PERMITTED.

WATER QUALITY CALCULATIONS

- PRELIMINARY CALCULATIONS SHOW THAT THIS PROJECT WILL REQUIRE APPROXIMATELY 5,500 S.F. OF BIORETENTION. PRELIMINARY DESIGN PROPOSES ONE BIORETENTION AREA THAT WILL PROVIDE OVERALL VOLUME NEEDED.
- IF DEEMED NECESSARY, A GEOTECHNICAL STUDY WILL BE PERFORMED TO ENSURE THE NEEDED INFILTRATION RATE PRIOR TO FINAL SP SUBMITTAL.

PEAK FLOW ATTENUATION

PRELIMINARY CALCULATIONS ABOVE SHOWS THAT THIS PROJECT WILL INCREASE THE AMOUNT OF RUNOFF GENERATED BY THIS SITE. ON-SITE MITIGATION SHALL BE PROVIDED THROUGH BIORETENTION AND UNDERGROUND DETENTION TO MEET THE REQUIREMENTS OF THE METRO NASHVILLE STORMWATER MANAGEMENT MANUAL.



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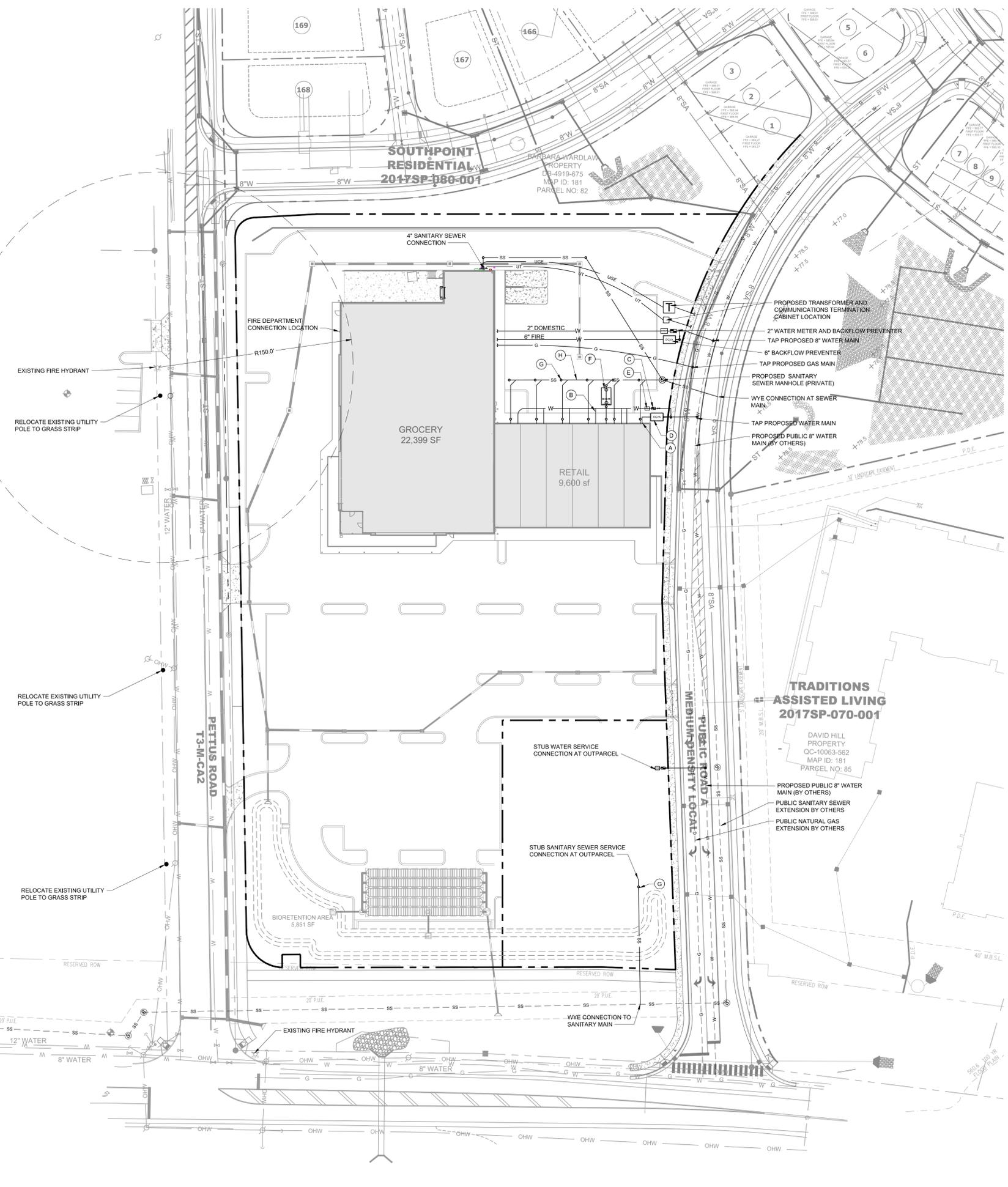


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DESIGNED BY: PHN
DRAWN BY: PHN
CHECKED BY: ZJD
DATE: 05/22/2018
KIMLEY-HORN PROJECT NO. 018959005

GRADING AND DRAINAGE PLAN
SHEET NUMBER
C4-00

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- ### METRO NASHVILLE WATER SERVICES STANDARD NOTES
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
 - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
 - ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
 - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
 - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
 - THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
 - ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
 - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 - PLAN SIZE SHALL BE 24" X 36" AND SHALL SHOW CONTOURS AROUND METER BOXES.

UTILITY AND GOVERNING AGENCIES CONTACT LIST

BUILDING DEPT.	STORMWATER	WATER
METRO NASHVILLE CODES WADE HILL 800 SECOND AVE. SOUTH NASHVILLE, TN 37210 PHONE: (615) 862-6520	METRO WATER SERVICES ROY NESTER 800 SECOND AVE. SOUTH NASHVILLE, TN 37210 PHONE: (615) 862-4705	METRO WATER SERVICES GEORGE REAGAN 800 SECOND AVE. SOUTH NASHVILLE, TN 37210 PHONE: (615) 862-4572
CABLE	TELEPHONE	SANITARY SEWER
COMCAST KEVIN VIA 660 MAINSTREAM DRIVE NASHVILLE, TN 37228 PHONE: 615-405-5563	AT&T LOGAN EAKES 6405 CENTENNIAL BLVD NASHVILLE, TN 37209 PHONE: 615-350-9375	METRO WATER SERVICES GEORGE REAGAN 800 SECOND AVE. SOUTH NASHVILLE, TN 37210 PHONE: (615) 862-4572
ELECTRIC	NATURAL GAS	
NASHVILLE ELECTRIC SERVICE LARRY KELLY 1214 CHURCH STREET NASHVILLE, TN 37246 PHONE: (615) 747-3888	PIEDMONT NATURAL GAS CRAIG OWEN 83 CENTURY BOULEVARD NASHVILLE, TN 37214 PHONE: 615-872-8034	

SITE PLAN KEYNOTE LEGEND

(A)	8" FIRE LINE
(B)	3/4" WATERLINE
(C)	3/4" WATER METER
(D)	DOUBLE DETECTOR CHECK VALVE
(E)	BACKFLOW PREVENTER
(F)	GREASE TRAP
(G)	CLEANOUT (TYP)
(H)	6" SANITARY SEWER LINE (TYP)

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

VALVE NOTE

ALL VALVES SHALL BE INSTALLED IN METRO NASHVILLE WATER SERVICES APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".

IRRIGATION METER NOTE

CONTRACTOR TO VERIFY IRRIGATION METER SIZE WITH IRRIGATION DESIGNER.

GREASE TRAP NOTE

ALL GREASE TRAPS SHALL BE MANUFACTURED AND INSTALLED PER METRO NASHVILLE WATER SERVICES STANDARDS.

FRANCHISE UTILITY NOTES

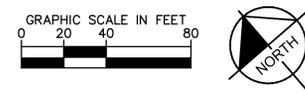
- TELEPHONE UTILITY CONSTRUCTION SHALL COMPLY WITH AT&T STANDARD SPECIFICATIONS.
- UNDERGROUND ELECTRICAL INSTALLATION SHALL COMPLY WITH NASHVILLE ELECTRIC SERVICE (NES) STANDARD SPECIFICATIONS.
- NATURAL GAS CONSTRUCTION & INSTALLATION SHALL COMPLY WITH PIEDMONT NATURAL GAS STANDARD SPECIFICATIONS.
- SEE COVER SHEET (00-00) FOR FRANCHISE UTILITY CONTACT INFORMATION.

UTILITY NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
- MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
- REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
- ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.

METRO PERMITTING REFERENCE

BUILDING PERMIT:	Value
GRADING PERMIT:	SWGR Value
WATER PERMIT:	MWS Value
SEWER PERMIT:	MWS Value



PRELIMINARY SPECIFIC PLAN 2018SP-012-001
 SOUTHPOINTE MARKETPLACE
 GBT REALTY
 ANTIPOCH, TENNESSEE

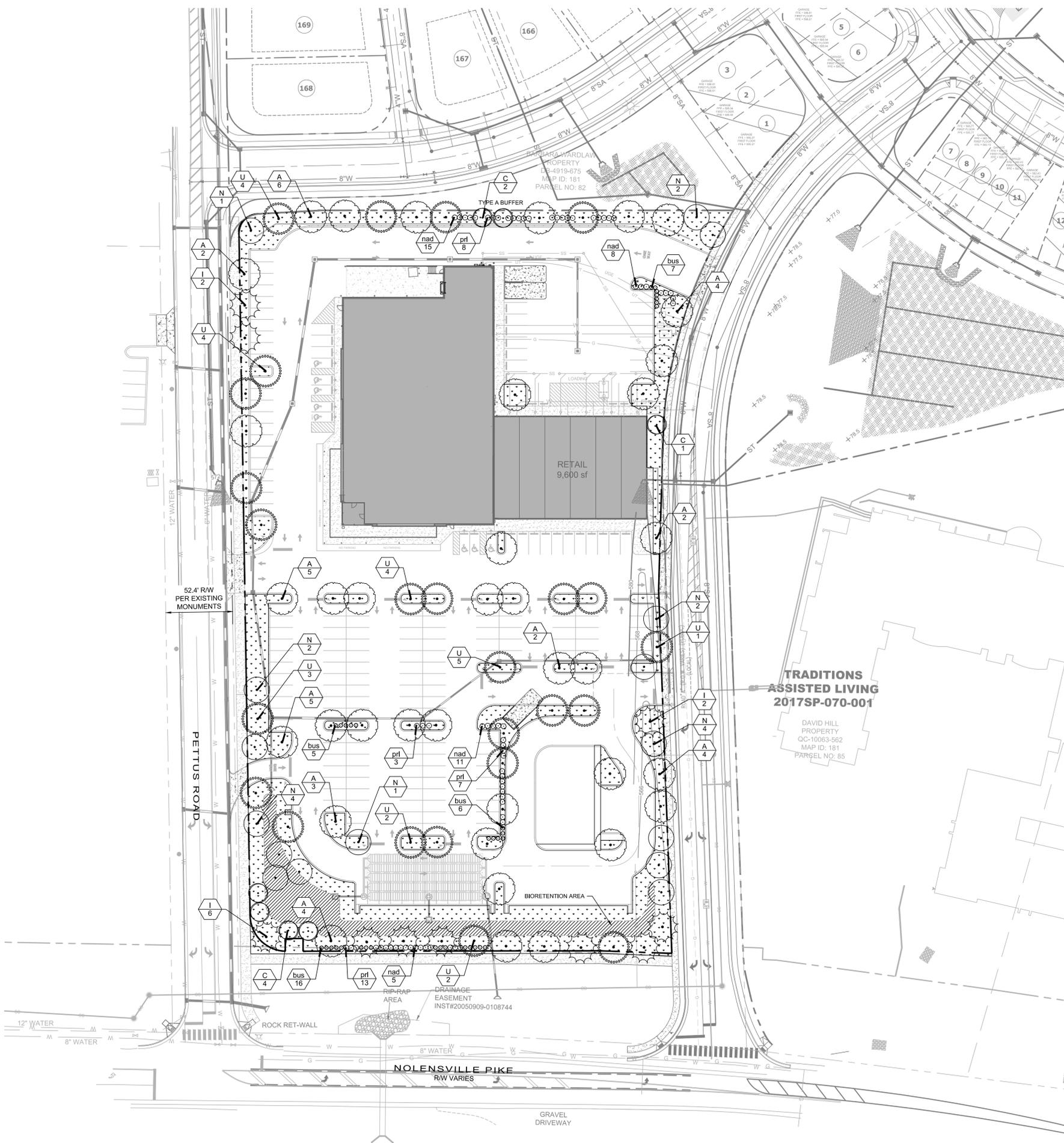


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DESIGNED BY:	PHN
DRAWN BY:	PHN
CHECKED BY:	ZJD
DATE:	05/22/2018
KIMLEY-HORN PROJECT NO.:	018959005

UTILITY PLAN
SHEET NUMBER
C6-00

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LANDSCAPE REQUIREMENTS					
BUFFER YARDS	Buffer Type	Buffer Requirements (per 100 LF)	Linear Feet	Required	Provided
North East Buffer	A	1.2 Trees Understory Trees Shrubs	4 295'	3.5 Trees 1.2 Understory Trees 11.8 Shrubs	12 Trees 2 Understory Trees 23 Shrubs
PARKING SCREENING	Screening required	Buffer Requirements (per 50 LF)	Linear Feet	Required	Provided
South East	Yes	1 tree Cont. evergreen screen	37'	1 tree Cont. evergreen screen	2 tree Cont. evergreen screen
South West	Yes	1 tree Cont. evergreen screen	130'	2.6 trees Cont. evergreen screen	6 trees Cont. evergreen screen
North West	Yes	1 tree Cont. evergreen screen	130'	2.6 trees Cont. evergreen screen	3 trees Cont. evergreen screen
INTERIOR PARKING	Screening required	Planting Requirements	Parking spots	Required	Provided
Parking Lot	Yes	1 tree / 15 parking spots	188	12.5 trees	35 trees
TREE DENSITY	Density required	Density Requirements	Adjusted acreage	Required	Provided
Overall site	Yes	14 density units / acre	3.63 acres	50.8 density units	51.2 density units*
*includes 95 trees shown + 15 trees required for bioretention areas					
BIORETENTION AREAS	Bioretention areas to be planted per metro Nashville requirements				

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
A	37	ACER SACCHARUM	SUGAR MAPLE	6' O.C.	3" CAL	B&B	
C	7	CERCIS CANADENSIS	EASTERN REDBUD	6' O.C.	2" CAL	B&B	
I	10	ILEX OPACA	AMERICAN HOLLY	6' O.C.	2" CAL	B&B	
N	16	NYSSA SYLVATICA	BLACK GUM	6' O.C.	2" CAL	B&B	
U	25	ULMUS PARVIFOLIA	CHINESE ELM	6' O.C.	2" CAL	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
bus	34	BUXUS SEMPERVIRENS	AMERICAN BOXWOOD	3' O.C.	3 GAL.	CONT	MATCHED
nad	39	NANDINA DOMESTICA	HEAVENLY BAMBOO	4' O.C.	3 GAL.	CONT	MATCHED
prl	31	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	4' O.C.	3 GAL.	CONT	MATCHED
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
FB	32,784 SF	FESTUCA 'BOLERO PLUS'	BOLERO FESCUE	FLAT			

TREE DENSITY WORKSHEET
(Ordinance 94-1104)

Date: 05/01/2018
 Map: 18100 Parcel: 083, 084, and 127
 Application Number: _____
 Project Name: South Pointe Market Place
 Address: 6434 and 6444 Pettus Road, Antioch TN 37013

- Acreage (area of building site) = 4.43 acres
- Minus building coverage area = 0.80 acres
- Equals adjusted acreage = 3.63 acres
- Multiplied by required density units per acre x 14 = 50.82
- Equals required tree density units for project = 50.82

PROTECTED TREES (existing trees 6" DBH or larger)
 DBH (diameter at 4 1/2') Example: 3 trees 6" DBH x 0.2 = 0.6 density units

DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
6	X	0.2	=	20	X	3.3	=
8	X	0.4	=	22	X	3.9	=
10	X	0.6	=	24	X	4.7	=
12	X	0.8	=	26	X	5.6	=
14	X	1.1	=	28	X	6.5	=
16	X	1.4	=	30	X	7.4	=
18	X	1.8	=	32	X	8.4	=

DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
34	X	09.5	=	48	X	25.1	=
36	X	10.7	=	50	X	27.3	=
38	X	11.9	=	52	X	29.5	=
40	X	17.4	=	54	X	31.8	=
42	X	19.2	=	56	X	34.2	=
44	X	21.1	=	58	X	36.7	=
46	X	23.1	=	60	X	39.3	=

REPLACEMENT TREE SCHEDULE
 UNITS represent Basal Area CAL represents caliper inches at planting

CAL	# OF TREES	VALUE	UNITS	CAL	# OF TREES	VALUE	UNITS
2	58	X	0.5 = 29	5	5	X	0.9 =
3	37	X	0.6 = 22.2	6	7	X	1.0 =
4		X	0.7 =	7		X	1.2 =

Density units provided on above schedules:
 Total density units for protected trees = 0
 Total density units for new trees = 51.2
 Total density units provided = 51.2

Note: The total density units provided must equal or exceed the requirements of #5 above. All protected and replacement trees must be shown on site plan.

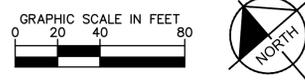
Kimley-Horn
 214 Oceanside Drive, Nashville, TN 37204
 Main: 615.564.2701 | www.kimley-horn.com
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PRELIMINARY SPECIFIC PLAN 2018SP-012-001
SOUTHPOINTE MARKETPLACE
 GBT REALTY
 ANTIPOCH, TENNESSEE



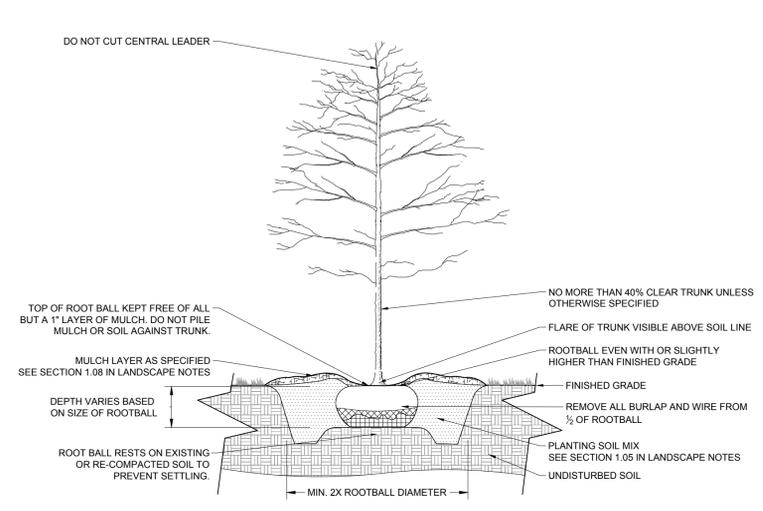
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DESIGNED BY: NAS
 DRAWN BY: AKB
 CHECKED BY: ARE
 DATE: 05/22/2018
 KIMLEY-HORN PROJECT NO. 018959005

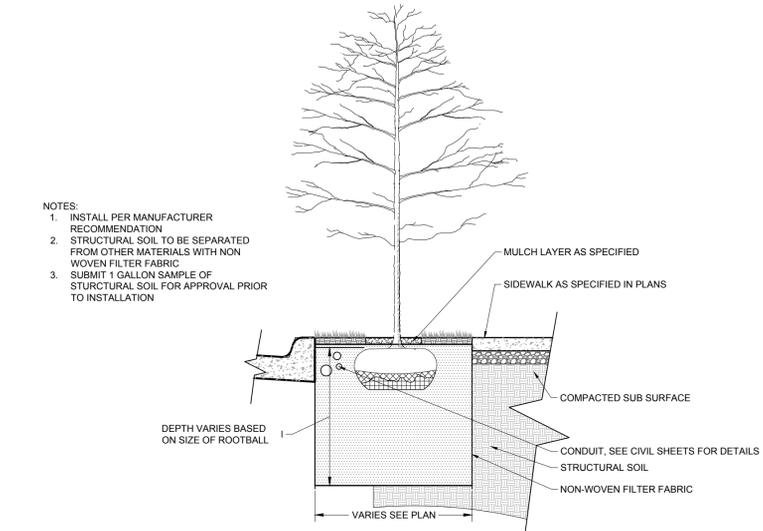


PLANTING PLAN
 SHEET NUMBER
L1-00

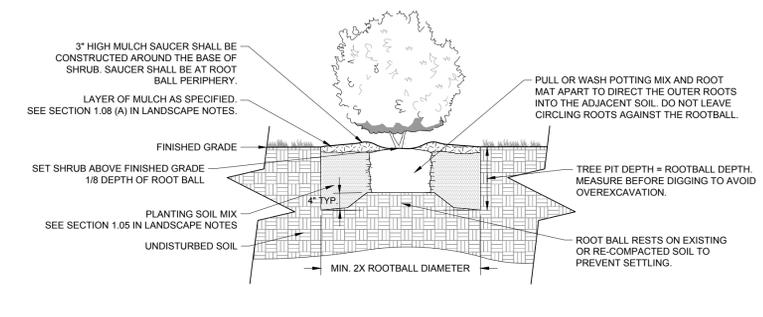
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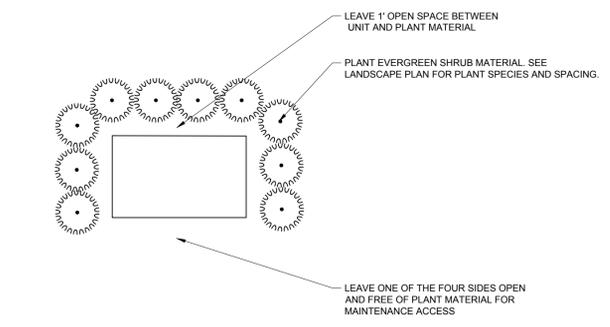
1 B&B TREE PLANTING
NOT TO SCALE



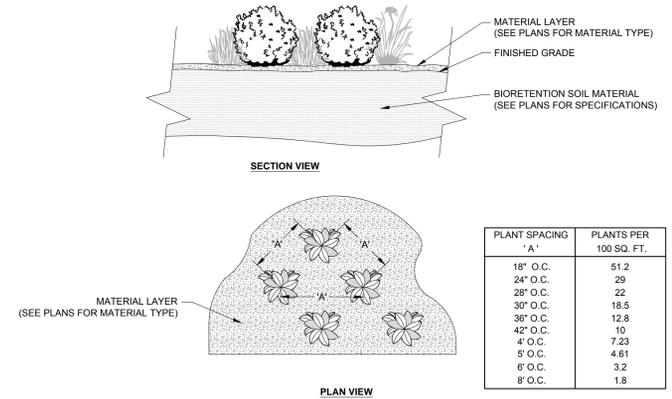
2 TREE PLANTING AT SIDEWALK (STRIP)
NOT TO SCALE



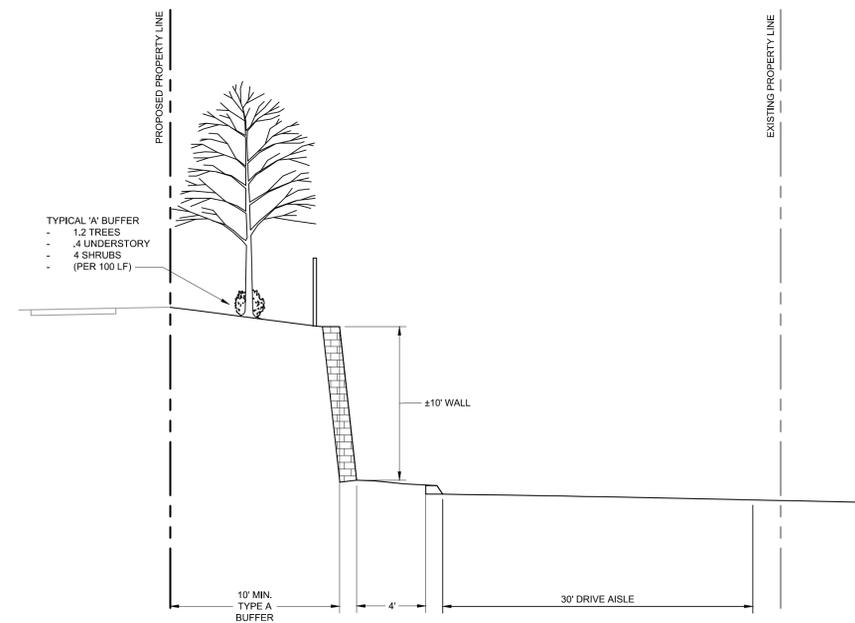
3 CONTAINER SHRUB PLANTING
NOT TO SCALE



4 TYPICAL SERVICE SCREENING DETAIL
NOT TO SCALE



5 BIORETENTION SPACING FOR PERENNIALS AND SHRUBS
NOT TO SCALE



6 RETAINING WALL ELEVATION
NOT TO SCALE



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PLANTING DETAILS
SHEET NUMBER
L1-01

