

405 40th Ave North

Preliminary Specific Plan

Case No: 2018SP-029-001

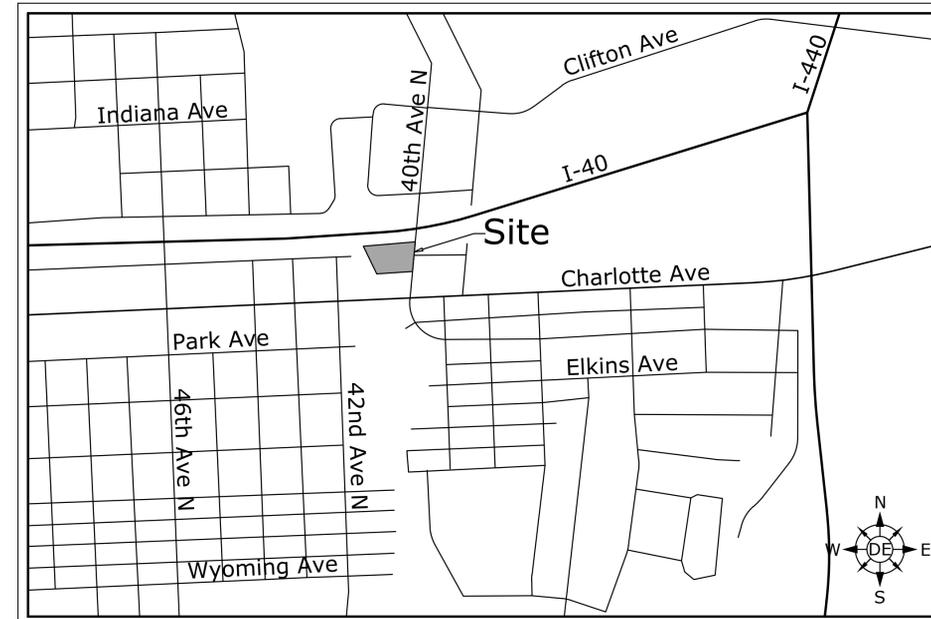
Being Parcel 274 on Tax Map 91-22
Nashville, Davidson County, Tennessee

General Notes

- The Purpose of this Submittal is to Request Approval of the Preliminary Specific Plan for 405 40th Avenue North.
- Electric Services for the Proposed Development Shall be Underground. All Public Utilities Shall be Subject to the Approval of the Appropriate Local Utility Companies.
- Water and Sewer Service is Provided by Metro Water Services.
- A Maintenance Agreement and Storm Water System Long-Term Operation and Maintenance Plan for all storm water structures and facilities must be prepared, submitted, and approved.
- All construction shall comply with all applicable requirements, codes and ordinances of the Local Municipality and the State of Tennessee.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.
- Driveway culverts shall be sized per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15' CMP).
- Building Elevations Shall be Provided with the Final Site Plan.
- If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application.
- The final site plan/building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Parking Requirements shall be determined by the Metro Zoning Ordinance.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval / comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

Architectural Standards

- Mansard roofs are prohibited. Roofs must be sloped or flat with parapets.
- Must provide a minimum of 30 percent of the front facade on the occupiable ground floor as clear or lightly tinted windows, doors, or other treatments sufficiently transparent to provide views into the interior of the buildings. Additional floors shall have a minimum of 20 percent glazing.
- No awning should exceed 25 feet in length. Awnings constructed of rigid materials, plastic, or fabric that is glossy in texture are not permitted. The colors and patterns should complement the building.
- Vinyl siding is prohibited and E.I.F.S. is prohibited on ground floor facades fronting a public way.
- A building shall avoid long monotonous, uninterrupted walls or roof planes facing the street.
- All elevations will coordinate with each other and shall be designed to emphasize all building entries. Entries will be clearly identifiable with signage and lighting.



Vicinity Map
N.T.S.

SITE DATA

USE	SEE CHART FOR PERMITTED USES (THIS SHEET)
EX. PROPERTY ZONING (OVERLAYS) - SURROUNDING ZONING	IR (UZO) - MUL-A & CS
MAP & PARCEL NO.	MAP 91-12, PARCEL 274
COUNCIL DISTRICT	24 - KATHLEEN MURPHY
TOTAL SITE AREA	1.92 AC (83,459 SF)
FAR	1.50 MAXIMUM (125,188 SF)
ISR	0.90 MAXIMUM
STREET SETBACK/STREET TYPE(S)	5 FEET
SIDE YARD	0 FEET
REAR YARD	5 FEET
HEIGHT REQUIREMENT	4 STORIES IN 70 FEET*

*NOTE: A ROOF TOP DECK MAY BE PERMITTED AND SHALL NOT BE CONSIDERED A STORY.

Sheet Schedule:

1	C0.0	Cover Sheet
2	C1.0	Existing Conditions
3	C2.0	Layout & Utilities Plan
4	C3.0	Grading & Drainage Plan
5	C4.0	Landscape Plan

General Plan Consistency Note

The Specific Plan District Proposed Herein is Located Within Subarea #7 - West Nashville Community Plan. The Specified Land Use Policy for this Site is Transect 4 (T4) Urban Mixed Use Corridor (T4 CM). The Intent of T4 CM is to Encourage a Greater Mix of Higher-Density Residential and Mixed Use Development. This Site Appear to be Located in SPA 07-T4-CM-01 (Charlotte Avenue). Where the SPA does Not Provide Guidance, the Policies in T4-CM Shall be Applied. Per the SPA 07-T4-CM-01, the Building Height Shall be a Maximum of 4 Stories. The Recommended Zoning Districts Shall be MUL-A, OR20-A, RM20-A, or Design-based Zoning. As Proposed, this Specific Plan Satisfies the Goals of the Policy by Providing Mixed Uses Near a Major Corridor Intersection.

Land Use Table

All of the Following Uses are Permitted within this SP:

Educational Uses
Business School
College or University
Personal Instruction

Office Uses
Financial Institution
General Office
Leasing/Sales Office

Medical Uses
Medical Office
Outpatient Clinic
Rehabilitation Services

Commercial Uses

ATM
Automobile Parking
Bar
Business Service
Grocery Store
Home Improvement Sales
Hotel/Motel
Liquor Sales
Restaurant, fast food
Restaurant, full-service
Restaurant, take-out
Retail

Industrial Uses
Artisan Distillery
Microbrewery
Tasting Room

Owner

405 Charlotte Development Partners
154 Franklin Road
Brentwood, TN 37027

Engineer

Dewey Engineering
2925 Berry Hill Drive
Nashville, TN 37204

Flood Note

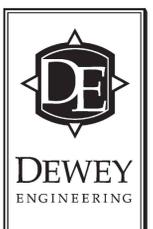
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47037C0239H. Dated April 5, 2017

Revisions:

Drawing Notes:

Date: June 21, 2018

405 40th Ave North
Preliminary Specific Plan
Tax Map 91-22, Parcel 274
Nashville, Davidson County, Tennessee



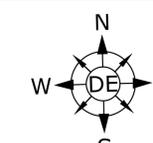
Cover Sheet

Job No. 16051

C0.0

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Scale 1" = 30'
Total Site Acreage: 1.9 Acres

Engineer
Dewey Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956
mdewey@dewey-engineering.com

Owners
405Charlotte Development Partners
154 Franklin Road
Brentwood, TN 37027

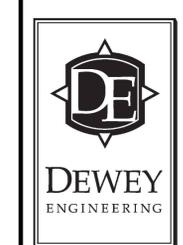
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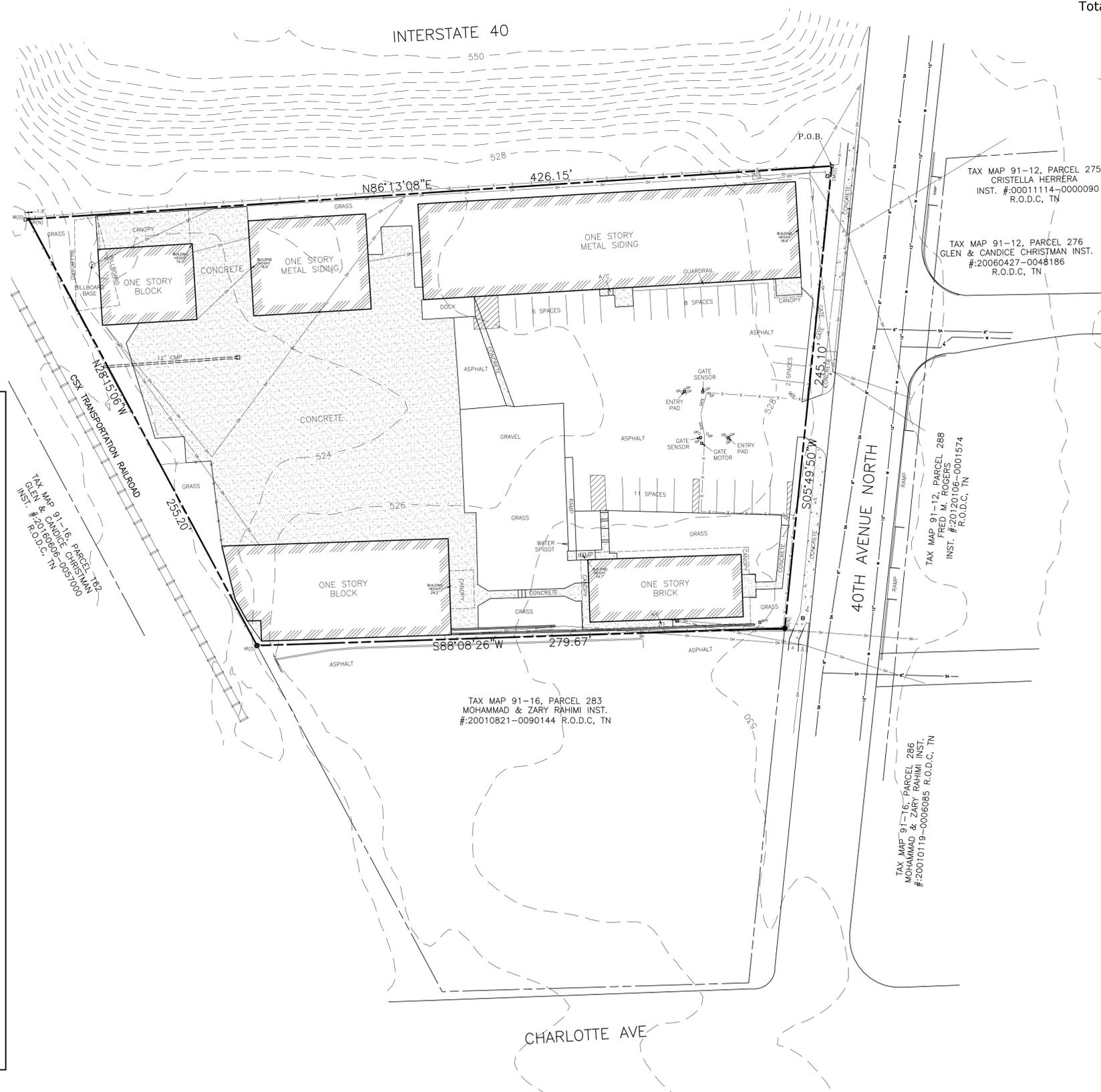


Existing
Conditions

Job No. 16051

C1.0

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Erosion Control & Grading Notes:

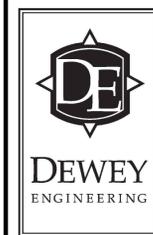
1. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
2. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED.
3. EROSION CONTROL BARRIER IS CALLED OUT ON THE PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL VOLUME FOUR, SECTION TCP-14.
4. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
6. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 8" THICK.
7. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
8. THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE METRO WATER SERVICES NPDES DEPARTMENT (880-2420) PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
10. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
13. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SHALL BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH IN THE METRO WATER SERVICES STORM WATER MANAGEMENT MANUAL. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION FOR HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
14. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED AND CONSTRUCTION IS COMPLETE.
15. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE. LOCATIONS OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
16. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE SERVICES OF A LICENSED GEOTECHNICAL ENGINEER PRIOR TO COMMENCING WITH CONSTRUCTION TO DETERMINE THE POTENTIAL OF THE EXISTENCE OF UNSUITABLE SOIL MATERIAL ONSITE. IF IT IS DETERMINED THAT THE SUBSURFACE IS NOT SUITABLE FOR CONSTRUCTION AND UNDERCUTTING IS REQUIRED, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCING OF ANY CONSTRUCTION ACTIVITIES LOCATED WITHIN PUBLIC RIGHT OF WAY.
18. STEEP SLOPES TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
19. VEHICULAR TRAFFIC SHALL BE PROHIBITED ON THE PERVIOUS PAVEMENT UNTIL THE SITE IS STABLE TO PREVENT MUD FROM BEING DEPOSITED BY VEHICLES.
20. CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR THE INSTALLATION OF THE PERVIOUS LAYER TO OBSERVE THE SUB-BASE MATERIAL.

Revisions:

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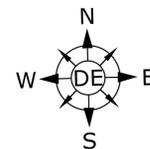


Grading &
 Drainage Plan

Job No. 16051

C3.0

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Scale 1" = 30'
 Total Site Acreage: 1.9 Acres

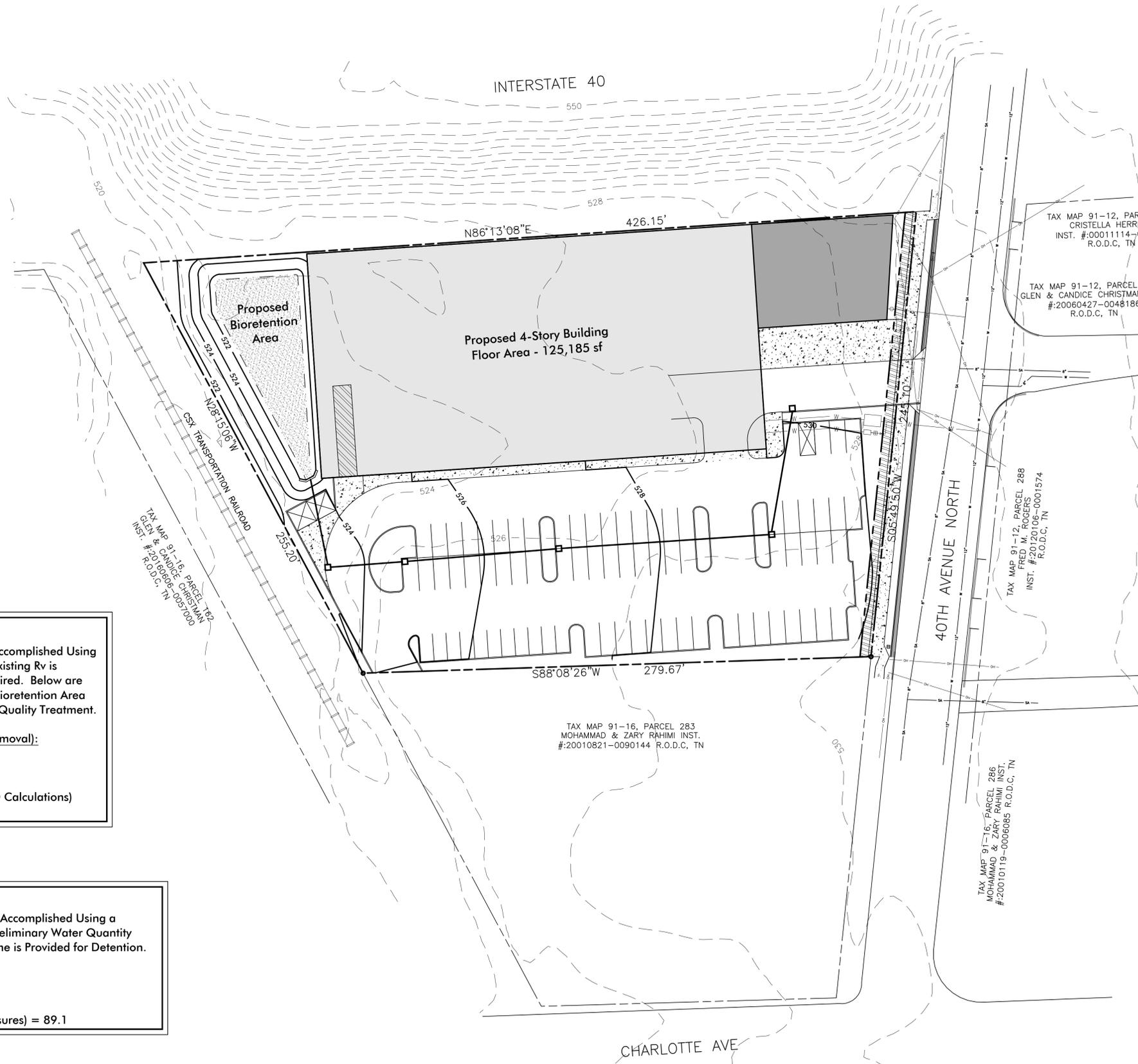
Engineer
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 Nashville, TN 37204
 Phone: (615) 401-9956
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	Headwall
	Storm Catch Basin
	Storm Pipe
	Fire Hydrant
	Water Main
	Sewer Manhole
	Sewer Main

Legend



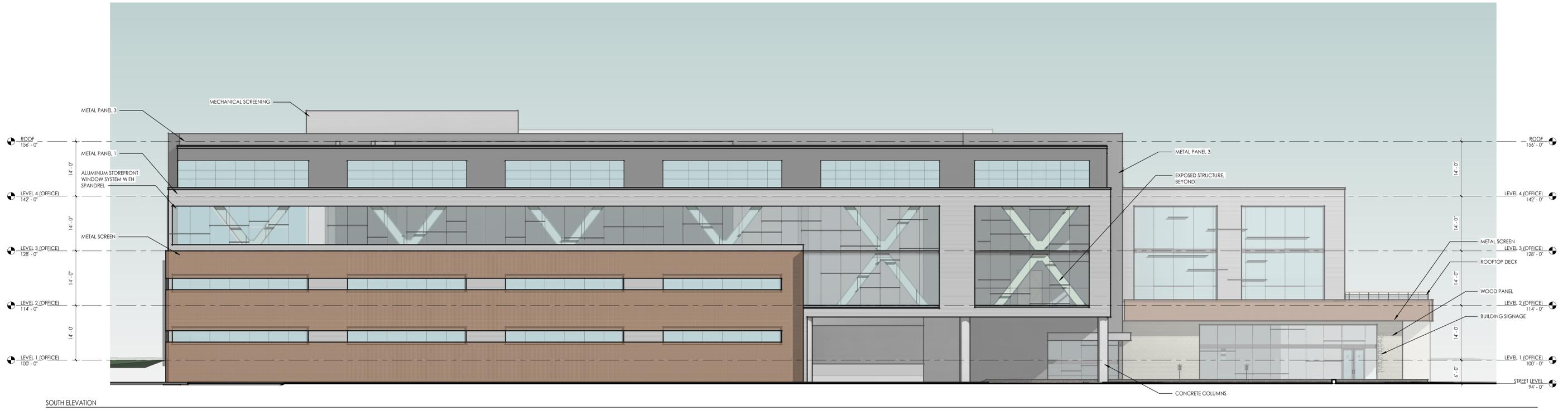
Water Quality Calculations
 Water Quality Requirements for this Site will be Accomplished Using a Proposed Level 2 Bioretention Area. Since the Existing Rv is Greater Than 0.4, Then 60% TSS Removal is Required. Below are Preliminary Sizing Calculations for the Proposed Bioretention Area Showing Adequate Volume is Provided for Water Quality Treatment.

Preliminary Sizing for Water Quality Only (60% removal):
 Surface Area of Media = 3,068 sf
 Equivalent Depth = 2.55 ft
 Tv Provided (Bio) = 7,823 cf
 Tv Required (Bio) = 4,493 cf (From Preliminary LID Calculations)
 Tv Provided/Tv Required = 174%

Water Quantity Calculations
 Water Quantity Requirements for this Site Will be Accomplished Using a Proposed Level 2 Bioretention Area. Below are Preliminary Water Quantity Calculations for the Site Showing Adequate Volume is Provided for Detention.

Water Quantity Calculations:
 Pre-Developed Curve Number = 94.7
 Post-Developed Curve Number = 94.6
 Adjusted Curve Number (Accounting for LID Measures) = 89.1





SOUTH ELEVATION



EAST ELEVATION



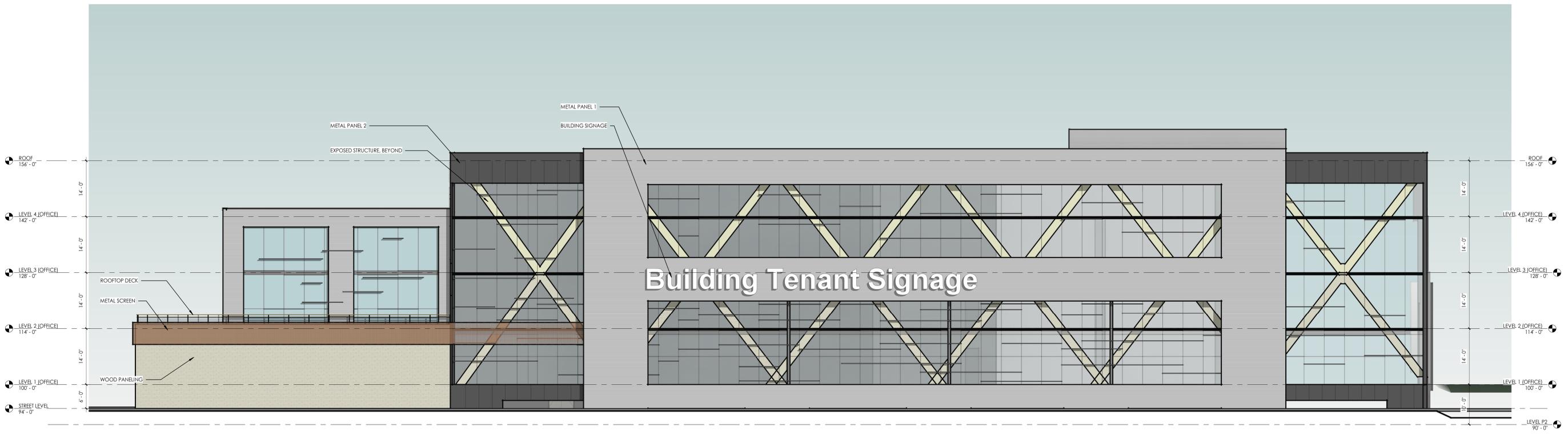
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405 40TH AVE NORTH
06/18/2018

ELEVATIONS



NORTH ELEVATION



WEST ELEVATION



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ELEVATIONS