

PRELIMINARY SP FOR FAIRVIEW MEADOWS DAVIDSON COUNTY, TENNESSEE



VICINITY MAP
(NOT TO SCALE)

PROJECT OWNER / DEVELOPER:
MRS. PATRICIA STALLWORTH-PRICE
545 MAPLEWOOD LANE
NASHVILLE, TN 37216
PH: 615-478-5530

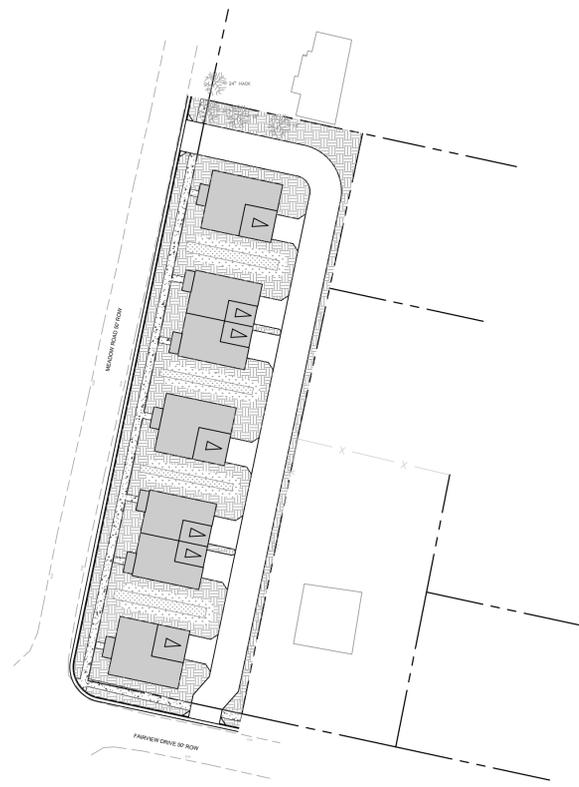
ARCHITECT:
CLEVELAND SALMON
1101 KERMIT DRIVE
SUITE 504
NASHVILLE, TN 37217
PH: 615-360-9263

LOCAL UTILITIES

METRO WATER AND SANITARY SEWER:
800 SECOND AVENUE SOUTH
PO BOX 196300
CONTACT: PAISLEY MAROTTA OR
CHRISTIAN THOMPSON
PH: 615-862-4142

ELECTRICITY:
NES
1214 CHURCH STREET
NASHVILLE, TN 37246
CONTACT: PAUL JACKSON (ENGINEERING)
PH: 615-747-3965

METRO PUBLIC WORKS:
800 SECOND AVENUE SOUTH
NASHVILLE, TN 37219
CONTACT:
PLAN REVIEW, GRADING PERMITS:
BEN YORK, PH: 615-862-8758
PERMITS, CURB & SIDEWALK INSPECTION
KIM PATTON, PH: 615-862-8782
SUBDIVISION INSPECTIONS
BOBBY AIKEN, PH: 615-862-8761
STORMWATER:
800 SECOND AVENUE SOUTH
NASHVILLE, TN 37219
CONTACT: ROGER LINDSEY
PH: 615-862-4706



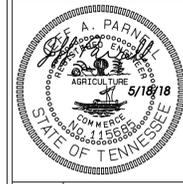
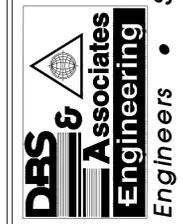
PARCEL: 06904002700
SP ZONING: R15, RESIDENTIAL

COUNCIL DISTRICT: 01
COUNCIL PERSON: (CURRENTLY VACANT)

- INDEX OF SHEETS:**
- TITLE
 - SURVEY
 - C 1.00 SP NOTES
 - C 2.00 SITE LAYOUT & SURFACE MATERIALS PLAN
 - C 3.00 GRADING & DRAINAGE PLAN
 - C 4.00 UTILITY LAYOUT

FEDERAL COMPLIANCE NOTE:
ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE
REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR
HOUSING ACT. ADA: <https://www.ada.gov/>
U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

2200 Rosa Parks Blvd
Nashville, TN 37228
Phone (615) 244-2040
www.dbsengr.com
Fax (931) 647-7135



FAIRVIEW MEADOWS
COVERSHEET
3606 FAIRVIEW DRIVE, NASHVILLE
DAVIDSON COUNTY, TENNESSEE
May 18, 2018

REVISIONS

DESIGN BY: ZJW
DRAWN BY: ZJW
CHECKED BY: JAP

TITLE

Case No. 2018SP-039-001

FAIRVIEW MEADOWS
NASHVILLE, TENNESSEE
PLOTTED: 5/18/2018 1:46 PM

BOUNDARY & TOPOGRAPHIC SURVEY

OF LOT 24 SECTION BB OF FAIRVIEW SUBDIVISION
 OWNER: YOHANCE T. AND PATRICIA A PRICE
 AS RECORDED IN BOOK 1130, PG. 54 AND DOCUMENT: QC-20080304-21589
 3606 FAIRVIEW DR., NASHVILLE, TENNESSEE 37218
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE
 TAX ID: 06904002700 AS PER
 TAX ASSESSORS OFFICE OF DAVIDSON COUNTY TENNESSEE
 1ST COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 AREA = 37,305.39 SQUARE FEET OR 0.86 ACRES, MORE OR LESS
 ZONE: RS 15 DATE: 05-26-17



VICINITY MAP
(NOT TO SCALE)
SITE LEGEND

---	BOUNDARY LINE
- - -	ADJOINING BOUNDARY LINE
X - X	FENCE
G - G	UNDERGROUND GAS LINE
W - W	WATER LINE
P - P	OVERHEAD UTILITY LINE
ELEV. ---	CONTOUR LINE INDEX
ELEV. ---	CONTOUR LINE INTERVAL
SA - SA	MINIMUM BUILDING SETBACK LINE
SA - SA	SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
W - GIS	ROADWAY CENTER LINE
W - GIS	GIS WATER LINE (APPROXIMATE)

	FIRE HYDRANT		WATER METER		AREA DRAIN		GAS METER
	BENCHMARK		WATER VALVE		SEWER VALVE		SEWER CLEANOUT
	UTILITY POLE		MAILBOX		SEWER MANHOLE		TREE (SIZE AND TYPE NOTED)
	AIR CONDITIONING UNIT		SANITARY SEWER MANHOLE		MONUMENT FOUND (IRON PIN)		MONUMENT SET (1/2" REBAR CAPPED "DBS & ASSOC.")
	BUILDING		CONCRETE		ASPHALT		

N.A.D.=NORTH AMERICAN DATUM
 N.A.V.D.=NORTH AMERICAN VERTICAL DATUM
 A.C.= AIR CONDITIONING UNIT
 F.F.E.=FINISHED FLOOR ELEVATION
 M.B.S.L.= MINIMUM BUILDING SETBACK LINE
 R.O.W.= RIGHT OF WAY
 S.A.S.= SANITARY SEWER
 T.C.= TOP OF CASTING
 I.E.= INVERT ELEVATION
 R.O.D.C.T.= REGISTER'S OFFICE DAVIDSON COUNTY, TENNESSEE
 P.O.B.= POINT OF BEGINNING
 R.O.W.= RIGHT OF WAY
 E.O.P.= EDGE OF PAVEMENT
 R.C.P.= REINFORCED CONCRETE PIPE
 G.I.S.= GEOGRAPHIC INFORMATION SYSTEM
 Q.C.= QUITCLAIM
 P.G.= PAGE
 D.B.= DEED BOOK
 H.A.C.K.= HACKBERRY
 R.L.S.= REGISTERED LAND SURVEYOR
 T.N.F.= TERMINUS NOT FOUND
 E.L.V.= ELEVATION
 C.M.P.= CORRUGATED METAL PIPE
 R.C.P.= REINFORCED CONCRETE PIPE
 P.V.C.= POLYVINYL CHLORIDE

SURVEYOR'S NOTES

A TITLE COMMITMENT/ SEARCH WAS NOT FURNISHED AT TIME OF SURVEY, THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT/ SEARCH.

BEARINGS AND DISTANCES TAKE PRECEDENCE OVER SCALE

SETBACKS ARE AS PER ZONING, PROPERTY IS ZONED AS "RS-15"

PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.

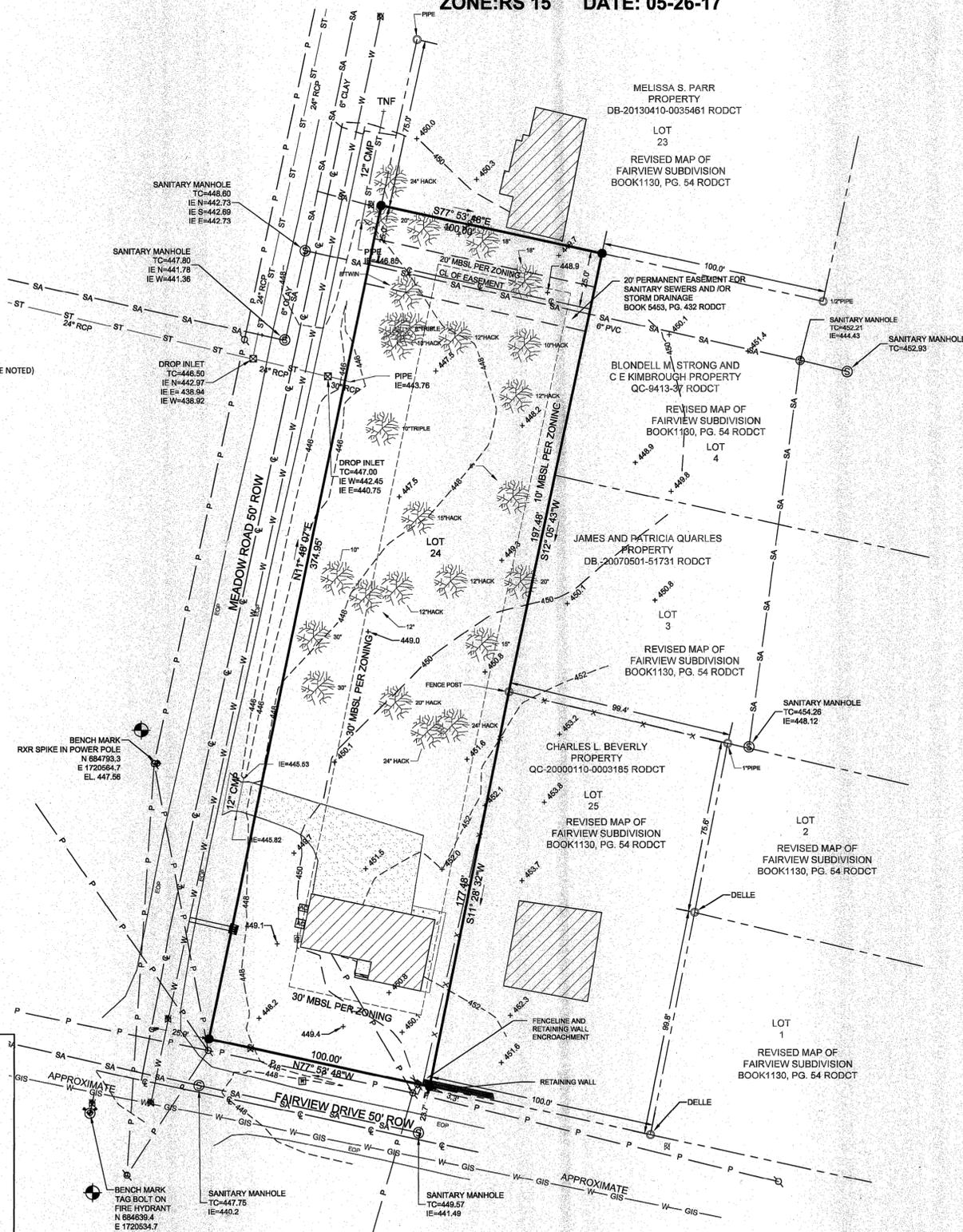
THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER, AND DOES NOT EXTEND TO ANY UNNAMED PERSONS OR ENTITIES WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS HEREON.

THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AREAS.

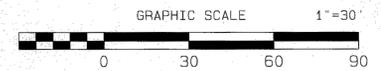
TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS; CONTOUR INTERVAL = 2

DISCLAIMER

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT," THAT WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS. NO LESS THAN (3) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 1-800-351-1111.



NORTH BASED ON
 TENNESSEE STATE PLAN COORDINATES
 N.A.D. 83
 GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88



RS 15 ZONING CODE:
 MINIMUM LOT AREA: 15,000 SQ FT
 MAXIMUM BUILDING COVERAGE: 0.35
 MINIMUM FRONT SETBACK: 30 FT
 MINIMUM REAR SETBACK: 20 FT
 MINIMUM SIDE SETBACK: 10 FT
 MAXIMUM HEIGHT: 3 STORIES

NOTE FROM PLAT:
 RELEASED FOR PUBLIC RECORD (NOT AS A SUBDIVISION)
 HAVING BEEN ESTABLISHED AS A SUBDIVISION PRIOR TO THE EFFECTIVE DATE OF THE DAVIDSON COUNTY SUBDIVISION REGULATIONS AS EVIDENCED BY A PREVIOUSLY PREPARED SUBDIVISION PLAT AND THE SALE AND TRANSFER OF LOTS- APRIL 18, 1945.

The perimeter shown here is per a Survey made on the ground, there are no encroachments other than those shown, and the survey is correct to the best of my knowledge, belief and professional opinion.

This tract does not lay within a Special Flood Hazard Area of the Federal Emergency Management Agency according to the Flood Insurance Rate Map (47037 C 0229 H Zone X) of the City of Nashville, Davidson County, Tennessee, Dated: April 5, 2017, unless otherwise noted on survey.

I hereby certify that this is a Category-1 survey, and that the Closure of the Unadjusted Traverse is better than 1:10,000. This survey was done in compliance with current Tennessee minimum standards of practice.

Bearing and distance shown take precedence over scale.



5-26-17
 JOSHUA MEEKS TN RLS # 2790
 DBS & ASSOCIATES ENGINEERING

95 White Bridge Rd
 Suite #250
 Nashville, TN 37205
 Phone (615) 244-2040
 Fax (615) 244-2040
 www.dbsengr.com



BOUNDARY & TOPOGRAPHIC SURVEY

OF LOT 24 SECTION BB OF FAIRVIEW SUBDIVISION
 OWNER: YOHANCE T. AND PATRICIA A PRICE
 AS RECORDED IN BOOK 1130, PG. 54 AND DOCUMENT: QC-20080304-21589
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 1ST COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 AREA = 37,305.39 SQUARE FEET OR 0.86 ACRES, MORE OR LESS
 ZONE: RS 15 DATE: 05-26-17

REVISIONS

DRAWN BY: L. MCCRAW
 CHECKED BY:

SHEET
 1 OF 1

INFO PROJECT 030300 NS 3606 FAIRVIEW DRIVE - SURVEY AND SP CONCEPTUAL LAYOUT SURVEY INFO FAIRVIEW DRIVE B AND T.DWG
 PLOTTED: 5/26/17 1:21 PM

PURPOSE/GOAL

THE PURPOSE OF THIS SP APPLICATION IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A 7-UNIT RESIDENTIAL DEVELOPMENT.

THE GOAL FOR THIS DEVELOPMENT IS TO CREATE A PLACE THAT ENHANCES THE NEIGHBORHOOD, INCREASES A SENSE OF PRIDE, PROVIDES CONNECTIVITY AND WALKABILITY, RESPECTS ITS NEIGHBORS AND ENHANCES THE QUALITY OF LIFE OF THE RESIDENTS. THE DEVELOPMENT HAS TWO VEHICULAR ACCESS POINTS PROPOSED, ONE FROM FAIRVIEW DRIVE AND ONE FROM MEADOW ROAD.

EXISTING POLICY

THIS PROJECT IS LOCATED WITHIN THE BORDEAUX/WHITES CREEK COMMUNITY PLAN'S T3 SUBURBAN NEIGHBORHOOD EVOLVING POLICY AREA (T3-NE).

T3-NE POLICY:

CREATE AND ENHANCE SUBURBAN NEIGHBORHOODS WITH THE BEST QUALITIES OF CLASSIC SUBURBAN NEIGHBORHOODS — GREATER HOUSING CHOICE, IMPROVED CONNECTIVITY, AND MORE CREATIVE, INNOVATIVE, AND ENVIRONMENTALLY SENSITIVE DEVELOPMENT TECHNIQUES.

GENERAL PLAN CONSISTENCY

THE PROPOSED PROJECT FULLY COMPLIES WITH THE GENERAL POLICIES AS OUTLINED IN THE NASHVILLE NEXT GENERAL PLAN FOR BORDEAUX/WHITES CREEK. A NEW NORTH-SOUTH STREET CREATES NEIGHBORHOOD-SCALED BLOCK STRUCTURE FOR DEVELOPMENT. THE PROPOSED LAYOUT MAINTAINS THE CHARACTER OF LOW TO MODERATE HOUSING DENSITY WITH A MIX OF SINGLE FAMILY HOMES AND DUPLEXES, WHICH ARE SIMILAR IN SCALE TO THE SINGLE-FAMILY AND TWO-FAMILY BUILDINGS IN THE SURROUNDING AREA.

ALL PARKING IS LOCATED TO THE REAR OF THE PROPOSED BUILDINGS. OPEN SPACE IN THE FORM OF YARDS AND BIORETENTION AREAS ARE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT. A SIDEWALK ALONG BOTH FAIRVIEW DRIVE AND MEADOW ROAD WILL BE PROVIDED TO ENHANCE PEDESTRIAN CONNECTIVITY.

EROSION CONTROL AND GRADING NOTES

- EXPPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6 INCH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE APPROPRIATE AMOUNT OF FERTILIZER AND SEED MIXTURE FOR THE GROWTH SEASON BEING PLANTED.
- EROSION CONTROL BARRIER IS CALLED OUT ON PLANS IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME 4, SECTION TCP – 14.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLANNED SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6 INCHES THICK OVER GEOTEXTILE FABRIC.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LIFTS AS DIRECTED BY A GEOTECHNICAL REPORT. ALL ORGANIC MATERIALS WILL BE EXCAVATED AND REMOVED FROM THE FILL AREA. SAID FILL MATERIAL IS TO BE FREE OF SOO, ROOTS, FROZEN SOILS, OR ANY OTHER ORGANIC MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS SPECIFIED BY THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE METRO STORMWATER AND PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ARCHITECT OR CIVIL ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSION ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE IMMEDIATELY FOR A DECISION.
- SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISE OR INJURIES TO THE PUBLIC DURING CONSTRUCTION CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- ALL WORK IS TO BE COMPLETED WITHIN COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY THE GOVERNING METRO DEPARTMENT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTION OF THE WORK WHICH HE IS TO PERFORM.
- ALL EROSION CONTROL MEASURE SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED AND CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13. LOCATION TO BE COORDINATED WITH THE NPDES AGENCY DURING THE PRE-CONSTRUCTION MEETING.
- THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008–328 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES.

STORMWATER NOTES

- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE 2008–328 (METRO CODE CHAPTER 17.24).
- STREET TREES SHALL BE PROVIDED ALONG ALL STREET FRONTAGES BY PRESERVING EXISTING OR AT A MINIMUM SPACING AVERAGE OF FIFTY (50) LINEAR FEET WHEN TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- ALL LANDSCAPING SHALL BE PROPERLY IRRIGATED AND MAINTAINED BY A LANDSCAPE CONTRACTOR. IF DROUGHT RESISTANT PLANT MATERIAL IS USED, IRRIGATION SHALL NOT BE REQUIRED.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. ALL ROOT BOUND PLANTS SHALL BE REJECTED.
- GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES, UTILITIES OR OTHER OBSTRUCTIONS. FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPEDE DRAINAGE AWAY FROM BUILDINGS. IF SIGNIFICANT RELOCATIONS ARE REQUIRED, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY OF PLANT MATERIALS.
- TREES SHOULD REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD. GUYS AND STRAPPING SHALL BE REMOVED AFTER ONE GROWING SEASON.
- THE ROOT CROWN TO BE AT FINISHED GRADE OR NO GREATER THAN A MAXIMUM OF ONE INCH HIGHER (AFTER SETTLING) THAN FINISHED GRADE.

LANDSCAPE NOTES

- THE DEVELOPER OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SP AND ADOPTED TREE ORDINANCE 2008–328 (METRO CODE CHAPTER 17.24).
- STREET TREES SHALL BE PROVIDED ALONG ALL STREET FRONTAGES BY PRESERVING EXISTING OR AT A MINIMUM SPACING AVERAGE OF FIFTY (50) LINEAR FEET WHEN TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
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METRO WATER NOTES

- WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
- WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING THE FINAL SP PROCESS.
- METRO WATER AND SEWER AVAILABILITY HAS BEEN RECEIVED FROM METRO WATER SERVICES DATED MARCH 13, 2018 WHICH INDICATED WATER AND SEWER CAPACITY IS AVAILABLE TO MEET THE 1,750 GALLONS PER DAY AVERAGE DAILY FLOW.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- THE CONTRACTOR IS TO BE RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES FOR COST OF INSPECTION.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- ALL EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- REDUCED PRESSURE BACKFLOW PREVENTION DEVICES OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- ALL WATER METERS SHALL BE A MINIMUM OF 24 INCH NOT TO EXCEED A MAXIMUM OF 28 INCH BELOW FINISHED GRADE.
- PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURE EXCEEDS 100 PSI.

UTILITY NOTES

- EXISTING UTILITY POLE OBSTRUCTIONS WILL BE RELOCATED TO AN AREA OUTSIDE OF THE SIDEWALK/DRIVEWAY WITHIN THE VEGETATION STRIP OR BEHIND THE SIDEWALK WITHIN PUDE EASEMENT.
- THERE ARE TO BE NO VERTICAL OBSTRUCTIONS (POLES, SIGNS, GUY WIRES, ETC.) WITHIN THE SIDEWALKS.
- INDIVIDUAL WATER AND/OR SANITARY SEWER LINES ARE REQUIRED FOR EACH UNIT.

PUBLIC WORKS NOTES

- ALL WORK WITHIN THE METRO PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ALL WORK CONDUCTED WITHIN THE TDOT RIGHT OF WAY ALONG FRONTAGE ROAD WILL REQUIRE AN EXCAVATION PERMIT FROM METRO PUBLIC WORKS.
- PROOF ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC, IF REQUIRED.
- THE PUBLIC WORKS RIGHT OF WAY SHALL BE BUILT OUT USING THE EXISTING STREET CROWN AS THE CENTER OF THE RIGHT OF WAY PER METRO PUBLIC WORKS.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT-OF-WAY IS 15" CMP) WITH SAFETY HEADWALLS.
- METRO PUBLIC RIGHT OF WAY ALONG CHERON ROAD AND FRONTAGE ROAD WILL BE DESIGNED PER METRO PUBLIC WORK DETAILS AS SHOWN ON PLANS.
- WASTE MANAGEMENT PLAN – THE DEVELOPMENT WILL UTILIZE TRASH AND RECYCLING CARTS FOR WASTE AND RECYCLING PICKUP BY METRO PUBLIC WORKS.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- SIDEWALK WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM OF 5 FEET CLEAR ACCESS AND FREE OF VERTICAL OBSTRUCTIONS.
- WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS SHALL BE CONSTRUCTED AT STREET CROSSINGS AS APPLICABLE.
- SIDEWALK, CURB AND GUTTER, AND ROAD PATCHING CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH METRO PUBLIC WORKS DETAILS.
- THE FINAL SITE PLAN/BUILDING PERMIT PLANS SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS AND REQUIRED GRASS PRIOR TO ISSUANCE OF USE AND OCCUPANCY PERMITS. EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE R15 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL ENGINEERING, OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL. THE INCREASED THE PERMITTED DENSITY FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION WILL BE MET PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

DEVELOPMENT NOTES

- PERMITTED USES: ALL USES PERMITTED BY R15 – SINGLE FAMILY RESIDENTIAL. THE INTENT IS NOT TO RESTRICT THE LISTED LAND USES DESCRIBED IN THIS SECTION, NOT LIMIT THE FLEXIBILITY OF THE DEVELOPMENT. ALL LISTED LAND USES WILL BE PERMITTED WITHOUT CONDITIONS OF SPACE SIZE AND NUMBER OF UNITS. THE REQUIRED PARKING MUST BE PROVIDED WITHIN THE DEVELOPMENT LIMITS OR BY SHARED PARKING AS PERMITTED.
- PARKING: PROVIDED PARKING SHALL MEET THE REQUIREMENTS OF THE PARKING STANDARDS OF THE ZONING CODE (17.20). PARKING SHALL BE PROVIDED INTERNALLY WITH GARAGES AND DRIVEWAYS WITHIN THE DEVELOPMENT.
- HEIGHT STANDARDS: MAXIMUM HEIGHT FOR SINGLE FAMILY HOMES SHALL BE 3 STORIES.

NES NOTES

- ELECTRICAL SERVICES WILL BE FED TO UNDERGROUND METER PEDESTALS, PROVIDED BY THE DEVELOPER. POLE RELOCATION REQUEST ALONG MEADOW DR WILL BE AT DEVELOPER'S COST.
- NES ELECTRIC SERVICE GUIDELINES CAN BE FOUND AT [WWW.NESPOWER.COM](http://www.nespower.com), BUILDERS AND CONTRACTORS LINK, THEN GUIDELINES AND MANUALS OR BY CLICKING ON THE FOLLOWING LINK: [HTTP://WWW.NESPOWER.COM/DOCUMENTS/ELECTRICSERVICEGUIDELINES2015.PDF](http://www.nespower.com/documents/electricserviceguidelines2015.pdf)
- NES WILL MEET WITH DEVELOPER/ENGINEER UPON REQUEST TO DETERMINE ELECTRICAL SERVICE OPTIONS.
- DEVELOPER SHALL PROVIDE A CIVIL DUCT AND PAD-MOUNTED TRANSFORMER LOCATIONS FOR NES REVIEW.
- NES NEEDS ANY DRAWINGS THAT WILL COVER ANY ROAD IMPROVEMENTS.
- DEVELOPER DRAWING SHALL SHOW ANY EXISTING UTILITIES EASEMENTS ON PROPERTY OR PROPERTY LINES WITH ADJACENT PROPERTIES.
- PAD-MOUNTED EQUIPMENT SHOULD BE A MINIMUM OF 36" FROM THE TRAVEL SURFACE.
- QUANTITY AND LOCATION OF TRANSFORMERS TO BE DETERMINED BY THE NES ENGINEER AFTER RECEIVING FINAL PLANS AND ELECTRICAL LOAD INFORMATION. AN EXHIBIT TO DESIGN WILL BE SENT TO THE DEVELOPER OR REPRESENTATIVES OF THE DEVELOPER FOR REVIEW. SUGGESTIONS OR REQUESTS TO THE DESIGN SHOULD BE MADE DURING THIS REVIEW PROCESS. ANY CHANGES REQUIRING RE-DESIGN, AFTER THIS DOCUMENT HAS BEEN SIGNED, WILL BE AT THE DEVELOPER'S EXPENSE.
- NES FACILITIES, INCLUDING DUCT, EQUIPMENT, AND METER CENTERS, SHALL BE PLACED IN A PUBLIC UTILITY EASEMENT.
- ANY ADDITIONAL EASEMENTS REQUIRED THAT ARE NOT PART OF THIS PARCEL MUST BE OBTAINED BY THE DEVELOPER OR REPRESENTATIVES OF THE DEVELOPER.
- OVERHEAD ELECTRICAL POWER LINES ARE REQUIRED TO MEET OR EXCEED THE CONDITIONS AS SPECIFIED IN THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE STATE OF TENNESSEE IN CHAPTER 69, PUBLIC ACTS. THE EXISTING OVERHEAD POWER LINES ARE LOCATED IN THE PUBLIC RIGHT-OF-WAYS AND WILL REQUIRE AN ELECTRICAL SAFETY CLEARANCE THAT MUST BE MAINTAINED DURING AND AFTER CONSTRUCTION OF ANY BUILDINGS. THE NATIONAL ELECTRICAL SAFETY CODE, 2012 EDITION, DICTATES THE CLEARANCES IN RULE 234 C AND G TO PROVIDE THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM LIVE CONDUCTORS. THE OVERHEAD DISTRIBUTION LINE MUST HAVE A HORIZONTAL CLEARANCE OF 7'-6". THE OVERHEAD TRANSMISSION LINE MUST HAVE A HORIZONTAL CLEARANCE OF 15 FEET AWAY FROM THE NEAREST CONDUCTOR TO ALLOW FOR BLOW-OUT CONDITIONS AS IT IS CONFIGURED TODAY. IT IS THE DEVELOPER AND HIS CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THEY COMPLY WITH OSHA REGULATIONS FOR WORKING NEAR ENERGIZED CONDUCTORS. CHECK WITH OSHA REGULATIONS FOR MINIMUM CLEARANCES FOR CONSTRUCTION NEAR ENERGIZED CONDUCTORS FOR ADDITIONAL CLEARANCE REQUIREMENTS. TYPICALLY OSHA CLEARANCES WILL EXCEED WHAT IS REQUIRED BY THE NESC. OFTEN THE LOCATIONS OF NEW BUILDINGS ARE IMPACTED BY THE INABILITY OF DE-ENERGIZING THE CIRCUITS TO MEET COST AND CONSTRUCTION SCHEDULES. PROPER CLEARANCES MUST BE MAINTAINED FROM NOT ONLY THE BUILDING ENVELOPE, BUT ALSO FROM SCAFFOLDING AND OTHER CONSTRUCTION EQUIPMENT. THIS IS THE CASE AT THE SOUTHEAST AND SOUTHWEST CORNER OF THE PROPERTY ALONG TRIMBLE ST BETWEEN WHARF AV AND ALLEY #96.
- NES FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27; AND NESC SECTION 15 – 152.A.2 FOR COMPLETE RULES (SEE PG. 99 OF THE NES ELECTRIC SERVICE GUIDELINES).

ARCHITECTURAL STANDARDS

- BUILDING ELEVATIONS FOR ALL STREET FACADES SHALL BE PROVIDED WITH THE FINAL SITE PLAN. THE FOLLOWING STANDARDS SHALL BE MET:
 - BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM 15% GLAZING. CORNER LOTS ARE REQUIRED TO HAVE AN ENTRANCE ON EACH STREET FRONTAGE.
 - THE UNIT LOCATED ON THE CORNER SHALL HAVE A MINIMUM 25% GLAZING ALONG FAIRVIEW DRIVE FRONTAGE.
 - WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPTING ANY DORMER WINDOWS.
 - EIFS, VINYL AND UNTREATED WOOD SIDING SHALL BE PROHIBITED.
 - A RAISED FOUNDATION MINIMUM OF 18" TO A MAXIMUM OF 36" IS REQUIRED FOR ALL SINGLE FAMILY RESIDENTIAL UNITS. REDUCTIONS MAY BE GRANTED BY PLANNING STAFF WITH THE FINAL SP APPLICATION FOR TOPOGRAPHICAL CHALLENGED AREAS AND ADA REQUIREMENTS.
 - PORCHES SHALL PROVIDE FOR A MINIMUM OF 6'-0" IN DEPTH.

FIRE MARSHAL'S NOTE

A PRIVATE DRIVE WITHIN THE DEVELOPMENT SHALL CONNECT BETWEEN FAIRVIEW DRIVE AND THE MEADOW ROAD FOR EMERGENCY INGRESS AND EGRESS.

AN EXISTING FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF THE FAIRVIEW DRIVE AND MEADOW ROAD INTERSECTION IS ACCESSIBLE BY PAVEMENT. ADDITIONAL FIRE HYDRANTS WILL BE INSTALLED NO LESS THAN 500 FEET DISTANCE, AS NECESSARY TO MEET THE FIRE MARSHAL REQUIREMENTS. THE FIRE HYDRANTS WERE TESTED BY METRO WATER SERVICES ON MARCH 16, 2018. THE TEST DATA HAS BEEN PROVIDED ON THE PRELIMINARY SITE PLANS AND INCLUDED WITHIN THIS SUBMITTAL. THIS PLAN IS CONSISTENT WITH THE GOALS ESTABLISHED THROUGHOUT THE POLICY AND IS ALSO CONSISTENT WITH SEVERAL CRITICAL PLANNING GOALS.

DEVELOPMENT SCHEDULE

PROJECT IS EXPECTED TO TAKE 12 MONTHS TO COMPLETE IN ONE PHASE.

NEIGHBORHOOD PLANNING INFORMATION

DISTRICT / REPRESENTATIVE	01 / (CURRENTLY VACANT)
TRANSECT	T3 SUBURBAN
CURRENT POLICY CODE	T3 NE
CURRENT POLICY DESCRIPTION	NEIGHBORHOOD EVOLVING
SUBAREA NUMBER / NAME	03 / BORDEAUX – WHITES CREEK

PROPERTY OWNER INFORMATION

3606 FAIRVIEW DR.	PARCEL NO. 06904002700 PRICE, YOHANEC T. & PATRICIA A.
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ADJACENT PROPERTY OWNERS

3604 FAIRVIEW DR.	PARCEL NO. 0904002800 BEVERLY, LANARDO K. & DELORES ET. AL.
4005 CLARKSVILLE PIKE	PARCEL 06904003100 ELPIZO FUND, LLC.
4007 CLARKSVILLE PIKE	PARCEL 06904003200 ELPIZO FUND, LLC.
4006 MEADOW RD.	PARCEL 06904002600 PARR, MELISSA S.
FRONTAGE ROAD AND ADJACENT RIGHT OF WAY	TDOT NASHVILLE, TN

THIS TRACT DOES NOT LAY WITHIN A SPECIAL FLOOD HAZARD AREA OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO FLOOD INSURANCE RATE MAP (47037 C 0229 H ZONE X) OF THE CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, DATED: APRIL 5, 2017, UNLESS OTHERWISE NOTED ON SURVEY.

THE SOIL TYPE FOR THIS SITE IS MSD (MIMOSA – URBAN LAND COMPLEX) WHICH FALLS WITHIN THE "C" HYDROLOGICAL SOIL GROUP.

DEVELOPMENT SUMMARY	
BASE ZONING	R15 UNLESS SPECIFIED BELOW
SQUARE FEET / ACREAGE	37,305 SQFT / 0.86 ACRES
USES PERMITTED	SINGLE AND TWO FAMILY RESIDENTIAL
LAND USE AREA	RESIDENTIAL
REAR SETBACK	20 FEET FROM PROPERTY LINE
SIDE SETBACK	10 FEET
FRONT SETBACK	15 FEET FROM PROPERTY LINE
SINGLE AND TWO FAMILY RESIDENTIAL	
3 BEDROOM DETACHED	3 UNITS
3 BEDROOM ATTACHED	4 UNITS
MAX FLOOR AREA RATIO (FAR)	0.50
MAX IMPERVIOUS SURFACE RATIO (ISR)	0.60
PARKING REQUIRED:	
RESIDENTIAL	14 SPACES
PARKING PROVIDED	
RESIDENTIAL	14 SPACES (3 2-CAR GARAGES, 4 1-CAR GARAGES, 4 IN DRIVEWAYS)
ACCESS	DRIVE ENTRANCE ON FAIRVIEW DR. AND MEADOW RD.
PHASING	SINGLE PHASE DEVELOPMENT
SPECIFIC ENCROACHMENTS:	
*NOTE: SPECIFIC ENCROACHMENTS PROPOSED TO BE PERMITTED BY SP (NOT TO ENCRACH RIGHT-OF-WAY)	
6'-0" COVERED PORCHES, STOOPS, AND BALCONIES	
MAX FLOOR AREA RATIO TO BE CHANGED FROM 0.40 TO 0.50	

FAIRVIEW MEADOWS

SP NOTES
 3606 FAIRVIEW DRIVE, NASHVILLE
 DAVIDSON COUNTY, TENNESSEE
 May 18, 2018



2200 Rosa Parks Blvd
 Nashville, TN 37228

Phone (615) 244-2040
 Fax (931) 647-7135
 www.dbsengr.com

Surveyors • Planners



REVISIONS

DESIGN BY: JZW
 DRAWN BY: JZW
 CHECKED BY: JAP

C 1.00

GENERAL NOTES:

1. PRELIMINARY SP ZONING = R15
2. PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.

PUBLIC WORKS NOTES:

1. FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
2. ROW AND EASEMENT DEDICATIONS ARE TO BE RECORDED PRIOR TO METRO PUBLIC WORKS SIGN-OFF ON THE BUILDING PERMIT.
3. ALL CONSTRUCTION WITHIN THE ROW SHALL BE CONSTRUCTED IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
4. SOLID WASTE AND RECYCLING FOR THE DEVELOPMENT WILL BE IN COMPLIANCE WITH PUBLIC WORKS VIA CURBSIDE PICK-UP WITHIN DEVELOPMENT. CURB-SIDE PICK-UP WILL BE PROVIDED BY METRO PUBLIC WORKS.
5. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
6. PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
7. STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
8. STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
9. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC.

METRO PLANNING NOTES:

1. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
2. IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE R15 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
3. MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSIONER ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
4. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING. CORNER LOTS ARE REQUIRED TO HAVE AN ENTRANCE ON EACH STREET FRONTAGE.
5. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.75:1 OR GREATER, EXCEPT FOR DORMERS.
6. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
7. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
8. A RAISED FOUNDATION OF 18" - 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.
9. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

DISCLAIMER

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT," THAT WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 1-800-351-1111.

DEVELOPMENT TO BE COMPLETED IN ONE PHASE

FEDERAL COMPLIANCE NOTE:
 ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.fda.gov/>
 U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

LEGEND

- BOUNDARY LINE
- ADJOINER'S LINE
- ROADWAY CENTERLINE
- MBSL LINE
- PROPOSED RETAINING WALL
- BUILDING
- PERVIOUS PAVERS
- CONCRETE
- PROPOSED LANDSCAPE/GRASSY AREA
- PROPOSED BIORETENTION AREA

FLOW HYDRANT
 ID: 06952
 STATIC PRESSURE: 90 PSI
 FLOW PRESSURE: 73 PSI
 FLOWRATE: 1434 GPM

BENCH MARK
 RXR SPIKE IN POWER POLE
 N 684793.3
 E 1720564.7
 EL. 447.56

MONITORING HYDRANT
 (LOCATED FURTHER UP
 MEADOW ROAD)
 ID: 11952
 STATIC PRESSURE: 95 PSI
 RESIDUAL PRESSURE: 85 PSI

INSTALL GROUND MOUNTED SIGN
 "NOW ENTERING PRIVATE PROPERTY"

CURB AND GUTTER
 REPAIR PAVEMENT PER
 METRO PUBLIC WORKS
 STANDARDS

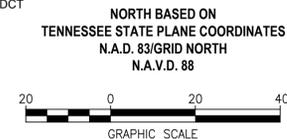
SIDEWALK IN R.O.W.

MEADOW ROAD 50' ROW

FAIRVIEW DRIVE 50' ROW

INSTALL GROUND MOUNTED SIGN
 "NOW ENTERING PRIVATE PROPERTY"

PP(S) AND UTILITY BOX TO BE
 RELOCATED TO GRASS STRIP



REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

BLONDELL M. STRONG AND
 C E KIMBROUGH PROPERTY
 QC-9413-37 RODCT

LOT 4
 REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

JAMES AND PATRICIA QUARLES
 PROPERTY
 DB-20070501-51731 RODCT

LOT 3
 REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

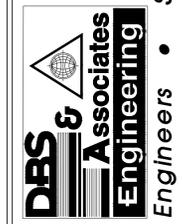
CHARLES L. BEVERLY
 PROPERTY
 QC-20000110-0003185 RODCT

LOT 2
 REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

LOT 1
 REVISED MAP OF
 FAIRVIEW SUBDIVISION
 BOOK1130, PG. 54 RODCT

2200 Rosa Parks Blvd
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 Phone (615) 244-2040
 www.dbsengr.com



FAIRVIEW MEADOWS
PRELIMINARY SP SITE PLAN
 3606 FAIRVIEW DRIVE, NASHVILLE
 DAVIDSON COUNTY, TENNESSEE
 May 18, 2018

REVISIONS

DESIGN BY: ZJW
 DRAWN BY: ZJW
 CHECKED BY: JAP

C 2.00

FAIRVIEW MEADOWS
 NASHVILLE, TENNESSEE
 PLOTTED: 5/18/2018 1:48 PM
 SURVEY AND SP CONCEPTUAL LAYOUT/PLANNING.DWG, DONAR 30399, C2.00, SITE SURF.DWG

Case No. 2018SP-039-001

LEGEND

- BOUNDARY LINE
 - - - ADJOMER'S LINE
 - - - ROADWAY CENTERLINE
 - - - PUDE LINE
 - - - MBSL LINE
 - - - SETBACK LINE
 - - - FENCE LINE
 - - - OVERHEAD UTILITY LINE
 - - - SANITARY SEWER LINE
 - - - PROPOSED RETAINING WALL
 - - - 540 --- EXISTING CONTOUR
 - - - 540 --- PROPOSED CONTOUR
-
- ⊙ SANITARY SEWER MANHOLE
 - ⊙ BELLSOUTH MANHOLE
 - ⊙ UTILITY POLE
 - ⊙ GAS VALVE
 - ⊙ WATER VALVE
 - ⊙ BENCHMARK
 - ⊙ GAS METER
 - ⊙ WATER METER
 - ⊙ GAS VALVE
 - ⊙ LIGHT POLE
 - ⊙ TREE
 - ⊙ 500.00 PROPOSED SPOT ELEVATION
 - ▭ BUILDING
 - ▭ PERVIOUS PAVERS
 - ▭ CONCRETE
 - ▭ BIORETENTION AREA
 - TW TOP OF WALL
 - TG TOP OF GROUND
 - BW BOTTOM OF WALL

GENERAL NOTES:

1. THIS TRACT DOES NOT LAY WITHIN A SPECIAL FLOOD HAZARD AREA OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO FLOOD INSURANCE RATE MAP (47037 C 0229 H ZONE X) OF THE CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, DATED: APRIL 5, 2017, UNLESS OTHERWISE NOTED ON SURVEY.

EROSION CONTROL AND GRADING NOTES:

1. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
2. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70% - 80% COVERAGE (APPROXIMATELY 25 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
3. EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME 4, SECTION TCP-14.
4. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
6. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
7. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
8. THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION THREE DAYS PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ARCHITECT. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR A DECISION.
10. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
13. ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
14. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
15. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.
16. BUILDING AREA DOES NOT INCLUDE ANY SLOPE EXCEEDING A 15% GRADE
17. ALL WORK TO BE COMPLETED IN ONE PHASE

STORMWATER NOTES:

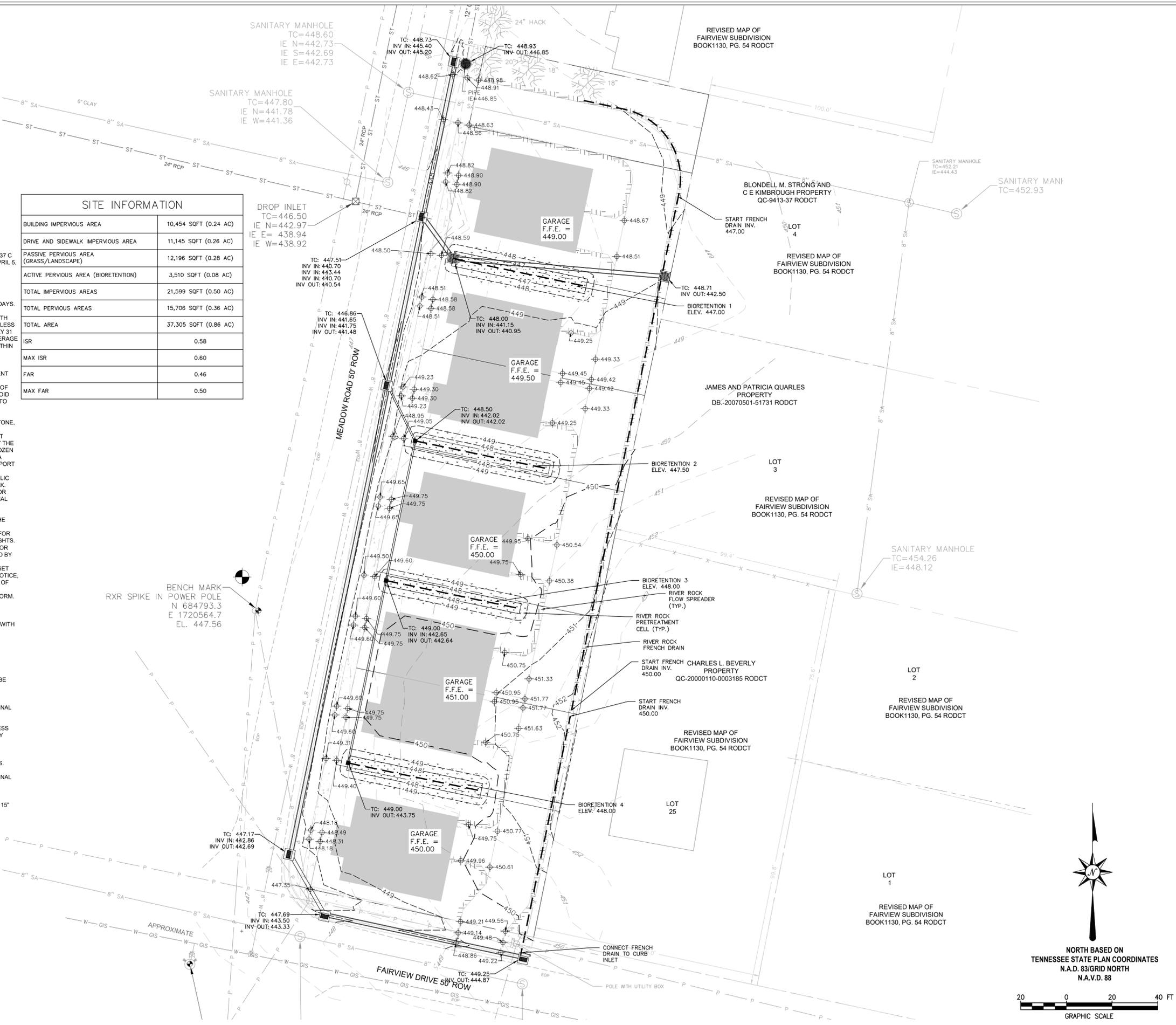
1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCLUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
4. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 REGULATIONS.
5. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
6. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).

FEDERAL COMPLIANCE NOTE:
 ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/>
 U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

NOTE: ALL CONTOURS SHOWN WITHIN THE BUILDING ENVELOPES ARE ILLUSTRATIVE FOR MASS GRADING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A MIN. 18" CRAWLSPACE UNDER EACH BUILDING

SITE INFORMATION	
BUILDING IMPERVIOUS AREA	10,454 SQFT (0.24 AC)
DRIVE AND SIDEWALK IMPERVIOUS AREA	11,145 SQFT (0.26 AC)
PASSIVE PERVIOUS AREA (GRASS/LANDSCAPE)	12,196 SQFT (0.28 AC)
ACTIVE PERVIOUS AREA (BIORETENTION)	3,510 SQFT (0.08 AC)
TOTAL IMPERVIOUS AREAS	21,599 SQFT (0.50 AC)
TOTAL PERVIOUS AREAS	15,706 SQFT (0.36 AC)
TOTAL AREA	37,305 SQFT (0.86 AC)
ISR	0.58
MAX ISR	0.60
FAR	0.46
MAX FAR	0.50

FAIRVIEW MEADOWS
 NASHVILLE, TENNESSEE
 PLOTTED: 5/18/2018 1:48 PM



NORTH BASED ON
 TENNESSEE STATE PLAN COORDINATES
 N.A.D. 83/GRID NORTH
 N.A.V.D. 88

20 0 20 40 FT
 GRAPHIC SCALE

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DBS & Associates
Engineering
 Engineers • Surveyors • Planners

STATE OF TENNESSEE
 PROFESSIONAL ENGINEER
 AGRICULTURE
 5/18/18
 JOHN E. BEVERLY
 LICENSE NO. 44585

FAIRVIEW MEADOWS
GRADING & DRAINAGE
 3606 FAIRVIEW DRIVE, NASHVILLE
 DAVIDSON COUNTY, TENNESSEE
 May 18, 2018

REVISIONS
DESIGN BY: ZJW
DRAWN BY: ZJW
CHECKED BY: JAP

C 3.00

Case No. 2018SP-039-001

