

PRELIMINARY SPECIFIC PLAN

19TH & BROADWAY MIXED-USED DEVELOPMENT

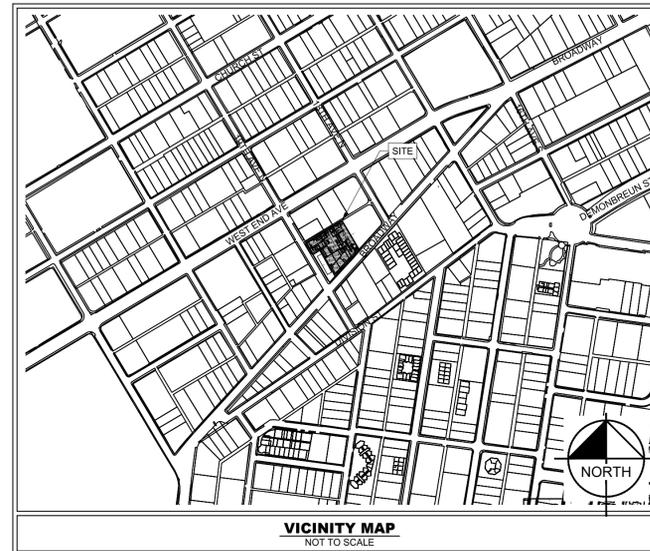
19TH AVE S & BROADWAY AVE
NASHVILLE, TENNESSEE

SITE DATA TABLE		
SITE ADDRESS	19TH AVE S & BROADWAY AVE NASHVILLE, TENNESSEE, 37203	
TAX MAP	MAP 92.16 PARCEL 164, 165, 167, 168 & 169	
OVERALL AREA	EXISTING	PROPOSED
SITE AREA	1.16 AC	1.16 AC
DISTURBED AREA	N/A	1.16 AC
DEDICATED R.O.W. AREA	N/A	4,441 SF
IMPERVIOUS AREA	0.97 AC	1.15 AC
PERVIOUS AREA	0.19 AC	0.01 AC
BUILDING DATA	REQUIRED	PROVIDED
USE	MULTI-FAMILY, RESTAURANT, RETAIL, BAR AND ALL USES PERMITTED UNDER THE MUI-A ZONING DISTRICT.	
STORIES	26-STORY RESIDENTIAL 16-STORY HOTEL	
BUILDING AREA	667,000 SF MULTI-FAMILY RESIDENTIAL 221,000 SF HOTEL AND ANCLARY USES	
FLOOR TO AREA RATIO (BEFORE DEDICATIONS)	9.90	
MAXIMUM I.S.R.	100%	
UNIT DENSITY	355 MULTI-FAMILY UNITS, 220 HOTEL UNITS	
BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT: NORTH	0 FT	0 FT
REAR: SOUTH	0 FT	0 FT
SIDE: EAST	0 FT	0 FT
SIDE: WEST	0 FT	0 FT
PARKING		
PROPOSED PARKING	489 (SEE T-200)	
REQUIRED PARKING	483 (SEE T-200)	

EXISTING PROPERTY SUMMARY	
PROPERTY ADDRESS:	19TH AVE S & BROADWAY AVE NASHVILLE, TENNESSEE
MAP AND PARCEL ID:	MAP 92.16, PARCEL 164, 165, 167, 168 & 169
U.S. FEMA FIRM PANEL:	47037CO243H DATED 4/5/17
EXISTING ZONING:	SP
EXISTING LAND USE:	OFFICE AND PARKING LOT
CASE NO.:	2014SP-072-003
ORDINANCE NO.:	BL2014-946

GENERAL DEVELOPMENT NOTES	
1.	ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANSI 117.1, 2009 EDITION AND THE FAIR HOUSING ACT.
2.	U.S. Justice Department: http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm
3.	THIS PROJECT IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL 47037CO243H, DATED 4/5/17, ZONE "X".
4.	ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
5.	METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.

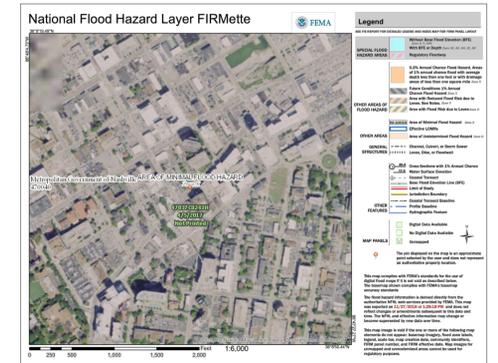
PURPOSE NOTE	
THE PURPOSE OF THIS PRELIMINARY SP ADDENDUM IS TO PERMIT A MIXED-USE DEVELOPMENT TO INCLUDE UP TO 355 MULTI-FAMILY RESIDENTIAL UNITS, 220 HOTEL ROOMS PLUS ANCLARY USES: RESTAURANT, BAR, MEETING SPACE, COMMERCIAL/RETAIL.	



COUNCIL DISTRICT 19
COUNCIL MEMBER FREDDIE O'CONNELL
CITY OF NASHVILLE
DAVIDSON COUNTY COUNTY, TENNESSEE

CASE NO.: 2014SP-072-003

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OWNER / DEVELOPER

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PLANS PREPARED BY



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PHONE: 615-405-5563

PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
FILE NUMBER 012877011	SHEET NUMBER C0-00	TOTAL SHEETS 17



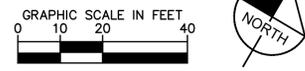
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EXISTING CONDITIONS NOTE

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CASE NUMBER: 2014SP-072-003

**19TH & BROADWAY
MIXED-USED DEVELOPMENT
GV-R NASHVILLE OWNER, LLC.**

NASHVILLE, TENNESSEE

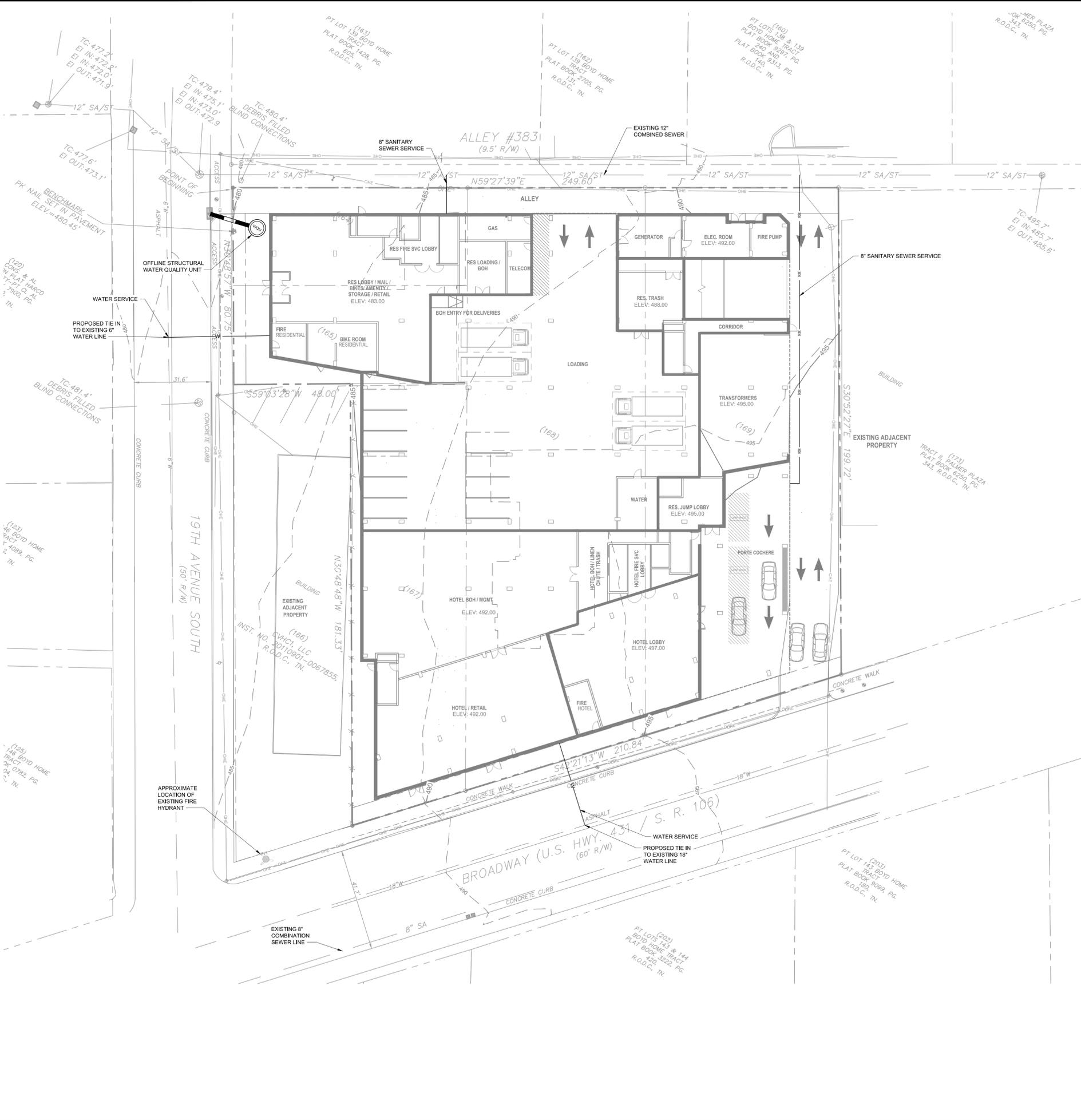
**DRAFT
PRELIMINARY
PLANS**

FOR REVIEW ONLY

NO.	DATE	REVISIONS	BY
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DESIGNED BY: TLL
DRAWN BY: TLL
CHECKED BY: MMc
DATE: 11/28/2018
KIMLEY-HORN PROJECT NO. 012877011

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- UTILITY NOTES**
1. WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES
 2. WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL S.P.
- PUBLIC WORKS NOTES**
1. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 2. ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.
- STORMWATER NOTES**
1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL UNIT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
 2. THE SOIL TYPES FOR THIS SITE ARE MAURY-URBANLAND COMPLEX (MCB). 2-8% SLOPES.
 3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 4. ANY REQUIRED DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMF).
 5. WATER QUALITY AND QUANTITY REQUIREMENTS FOR THE SITE SHALL BE BASED ON THE CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. SITE WILL EITHER MEET LID REQUIREMENTS OR OBTAIN A LID WAIVER.
 6. IF REQUIRED, DETENTION SHALL TAKE PLACE IN AN UNDERGROUND DETENTION SYSTEM OR AN ABOVE GROUND VAULT. FINAL DESIGN AND DETAILS WOULD BE INCLUDED WITH FINAL APPLICATION.
 7. IF REQUIRED, WATER QUALITY SHALL BE ACCOMPLISHED WITH A STRUCTURAL BMP SINCE THE SITE IS WITHIN THE COMBINED SEWER OVERLAY. A 50% TSS REMOVAL UNIT SHALL BE REQUIRED. FINAL DESIGN AND DETAILS WOULD BE INCLUDED WITH FINAL APPLICATION.
 8. STORMWATER CONNECTIONS TO THE EXISTING SYSTEM SHALL BE TO EITHER STORM ONLY LINES OR TO COMBINED SEWER LINES WITH A MINIMUM DIAMETER OF 15".
 9. STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL S.P. PROCESS.
 10. IF REQUIRED, SUBSTANTIAL OFFSITE IMPROVEMENTS MAY BE NECESSARY TO CONNECT TO EXISTING COMBINED SEWER. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL S.P. PROCESS.

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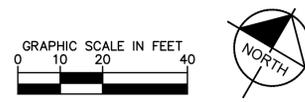
**19TH & BROADWAY
MIXED-USED DEVELOPMENT
GV-R NASHVILLE OWNER, LLC.**
NASHVILLE, TENNESSEE

**DRAFT
PRELIMINARY
PLANS
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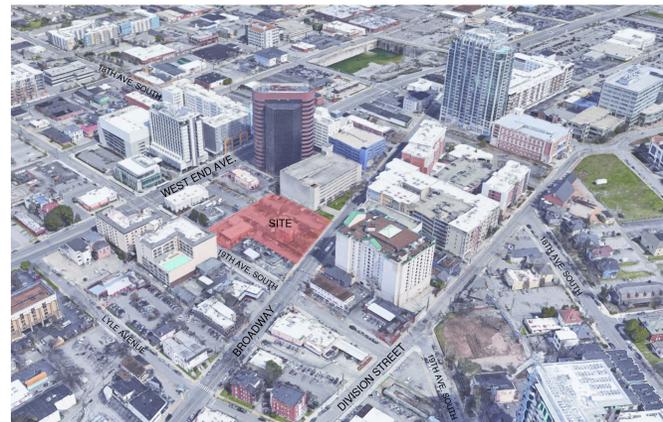
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DRAWN BY: TLL
CHECKED BY: MMc
DATE: 11/28/2018
KIMLEY-HORN PROJECT NO. 012877011

CASE NUMBER: 2014SP-072-003



UTILITY PLAN - OVERALL
SHEET NUMBER
C6-00

Zoning Information



SUBDISTRICT | MIDTOWN

SP NAME | 19TH AND BROADWAY MIXED-USE

SP NUMBER | 2014SP-072-003

SITE INFORMATION

ADDRESS | 19th AVENUE NORTH AND BROADWAY - NASHVILLE, TN
 106 19TH AVE S
 108 19TH AVE S
 1814 BROADWAY
 1812 BROADWAY
 1810 BROADWAY

PARCELS | 164, 165, 167, 168, 169

SITE AREA | 50,379 SF - 1.16 ACRES

PERMITTED USES

MULTI-FAMILY, RESTAURANT, RETAIL, BAR AND ALL USES PERMITTED IN THE MUI-A ZONING DISTRICT

MINIMUM SETBACKS

FRONT | 0'
 SIDE | 0'
 REAR | 0'

FLOOR AREA RATIO (FAR)

498,780 GSF / 50,379 GSF = 9.90 FAR

Building Information

1812 BROADWAY, NASHVILLE TN
RESIDENTIAL BUILDING & HOTEL
 BUILDING DEVELOPMENT DATA - GREYSTAR
 11/28/2018

STORY	LEVEL NAME	FLOOR HEIGHT	BLDG GSF	RESIDENTIAL TOWER GSF	RESIDENTIAL NRSF	EFF	RESIDENTIAL AMENITY/MGMT AREA (NET)	# OF DWELLINGS	HOTEL TOWER GSF	HOTEL NRSF	# OF HOTEL KEYS	HOTEL BOH/MGMT AREA (NET)	HOTEL AMENITY/LOBBY AREA (NET)	RETAIL GSF	CENTRAL UTILITY / LOADING (NET)	PARKING GSF	PARKING SPACES	BIKE SPACES
N/A	RES ROOF/MECH PENTHOUSE	10'-0"	2,207															
26	26TH FLOOR	12'-0"	17,710	17,710	11,514	65.0%	3,791	14										
25	25TH FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
25	24TH FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
23	23RD FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
22	22ND FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
21	21ST FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
20	20TH FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
19	19TH FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
18	18TH FLOOR	10'-0"	17,710	17,710	15,305	86.4%		18										
17	17TH FLOOR/HOTEL MECH PH	10'-0"	20,483	17,710	15,305	86.4%		18	2,753									
16	16TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
15	15TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
14	14TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
13	13TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
12	12TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
11	11TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
10	10TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
9	9TH FLOOR	10'-0"	29,512	17,710	15,305	86.4%		18	11,802	9,088	21							
8	8TH FLOOR	10'-0"	29,512	17,710	15,312	85.9%		18	11,802	9,088	21							
7	7TH FLOOR (PODIUM)	14'-0"	30,476	17,775	10,568	59.5%	4,644	12	12,701	3,462	8		6,492					
6	P04	16'-0"	50,973													50,973	140	
5	P03	10'-0"	39,798													39,798	118	
4	P02	10'-0"	39,798													39,798	118	
3	P01	10'-0"	36,720													36,720	107	
2	GROUND FLOOR - HOTEL/BROAD	14'-0"	37,103				880					4,814	2,727	3,500	12,165			
1	GROUND FLOOR - RES/19TH ST	11'-0"																
Totals :			295'-0"	682,536	356,472	297,479	13,095	350	121,672	85,254	197	4,814	9,219	3,500	12,165	167,289	483	TBD

1812 BROADWAY, NASHVILLE TN
RESIDENTIAL BUILDING & HOTEL
 UNIT MIX SF & DATA - GREYSTAR
 11/28/2018

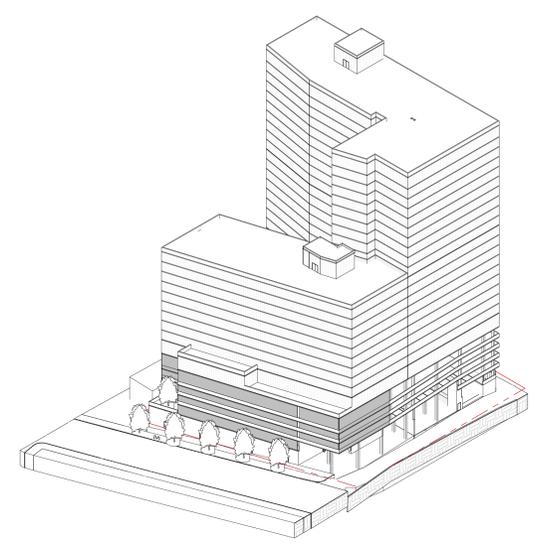
STORY	LEVEL NAME	T-01	T-02	T-03	T-04	T-05	T-06	T-07	T-08	T-09	T-10	T-11	T-12	T-13	T-14	T-15	T-16	T-17	T-18	LEVEL TOTAL
26	26TH FLOOR				804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU		11,514
25	25TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
24	24TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
23	23RD FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
22	22ND FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
21	21ST FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
20	20TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
19	19TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
18	18TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
17	17TH FLOOR/HOTEL MECH	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
16	16TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
15	15TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
14	14TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
13	13TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
12	12TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
11	11TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
10	10TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
9	9TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1169 2BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,305
8	8TH FLOOR	1341 2BR	1174 2BR	779 1BR	804 1BR	582 STU	804 1BR	837 1BR	541 STU	1076 1BR	1249 2BR	869 1BR	553 STU	1212 2BR	866 1BR	866 1BR	535 STU	627 STU	497 STU	15,212
7	7TH FLOOR (PODIUM)	1341 2BR	1174 2BR	779 1BR																10,568
TOTAL																				297,479

Summary	TYPE	QUANTITY	% OF TOTAL	TOTAL AREA (SF)	AVG UNIT SIZE (SF)
	STUDIO	117	33%	65,080	556
	1BR	137	39%	114,450	835
	2BR	96	27%	119,123	1,241
	TOTAL	350		298,653	853

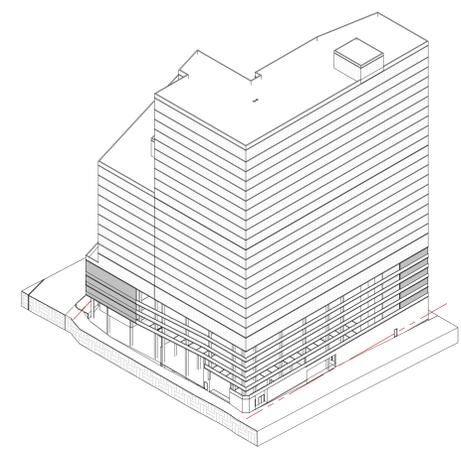
PARKING	URBAN ZONE OVERLAY MINIMUM REQUIRED	PROVIDED	TOTAL	RESIDENTIAL	HOTEL/REST
RESIDENTIAL	1BR & STUDIO 2BR & ABOVE	254 96	254 144	143 87	32 32
SUBTOTAL			398		
ADJUSTMENT FOR TRANSIT RESIDENT OR NON RESIDENT USE IS LOCATED WITHIN 660 FEET OF PUBLIC TRANSIT ROUTE					
				18	0
TOTAL			489	359	126
TOTAL REDUCTION ALLOWED (10% MAXIMUM)					
					39
RESIDENTIAL TOTAL					359
HOTEL					
	GUEST ROOMS	.5 PER KEY*	197		99
	EMPLOYEES	1 PER 4 EMPLOYEES	30		8
	RESTAURANT (3500 sf)	1 PER 150 SF >1000 SF	3500		17
SUBTOTAL					124
HOTEL TOTAL					124
PROJECT TOTAL REQ'D					483

FINAL PARKING COUNTS SHALL MEET REQUIREMENTS BASED ON THE RATES PROVIDED IN THE PREVIOUSLY APPROVED PARKING STUDY. THESE RATES ARE REFLECTED IN THE TABLE ABOVE. FINAL PARKING COUNTS WILL BE DETERMINED WITH THE FINAL SITE PLAN

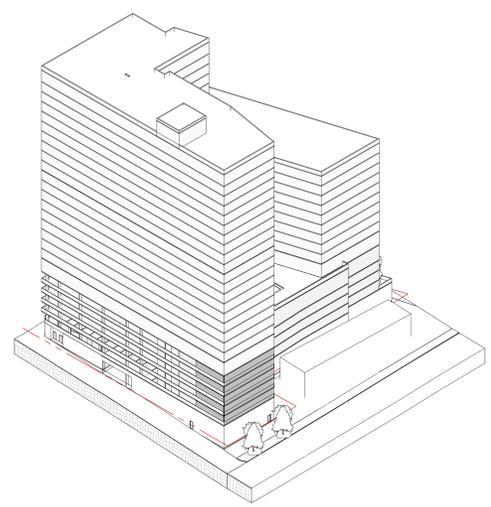
Massing Diagrams



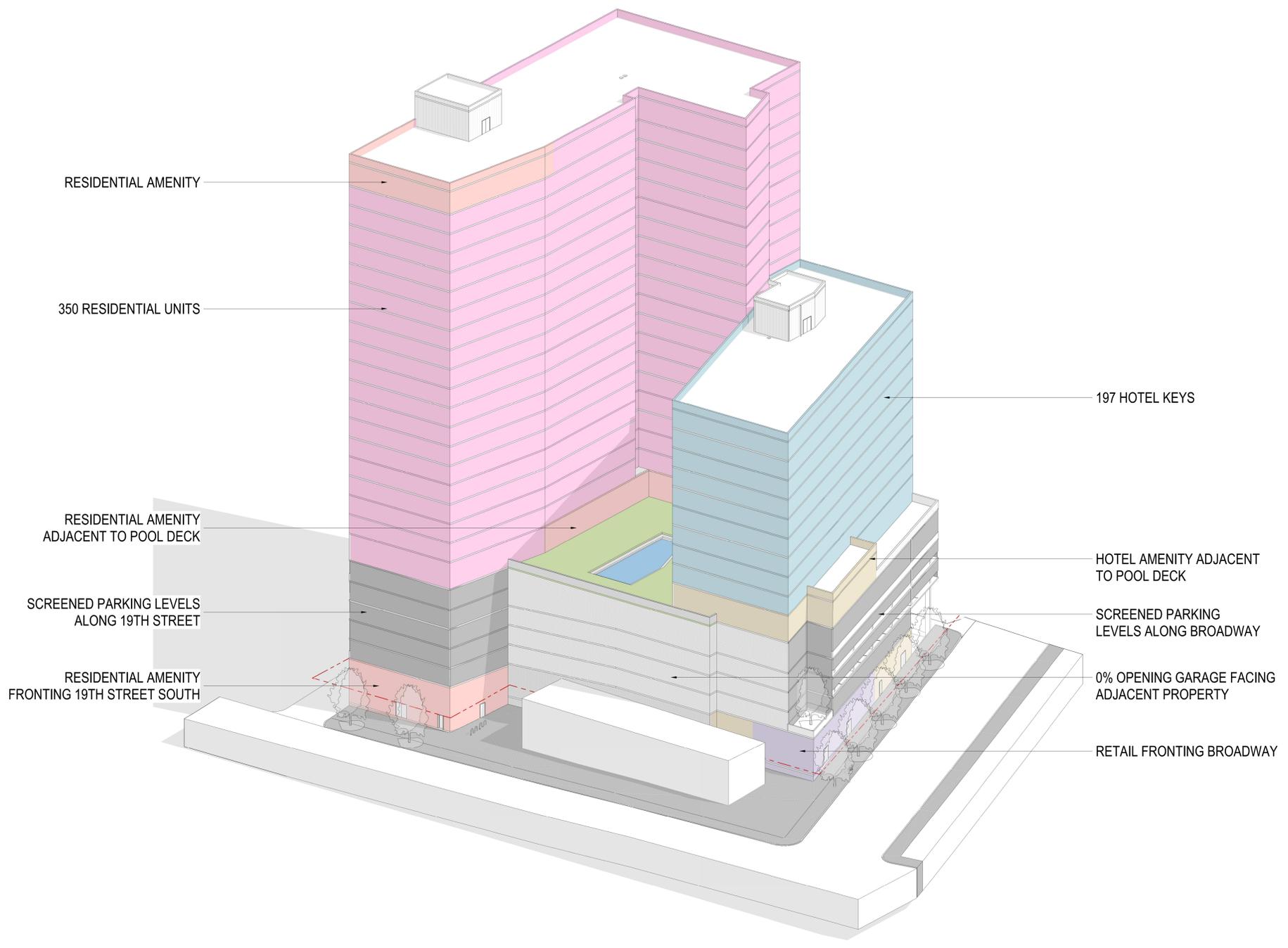
2 VIEW NORTHWEST
SCALE:



3 VIEW SOUTHWEST
SCALE:



4 VIEW SOUTHEAST
SCALE:



RESIDENTIAL AMENITY

350 RESIDENTIAL UNITS

197 HOTEL KEYS

RESIDENTIAL AMENITY
ADJACENT TO POOL DECK

HOTEL AMENITY ADJACENT
TO POOL DECK

SCREENED PARKING LEVELS
ALONG 19TH STREET

SCREENED PARKING
LEVELS ALONG BROADWAY

RESIDENTIAL AMENITY
FRONTING 19TH STREET SOUTH

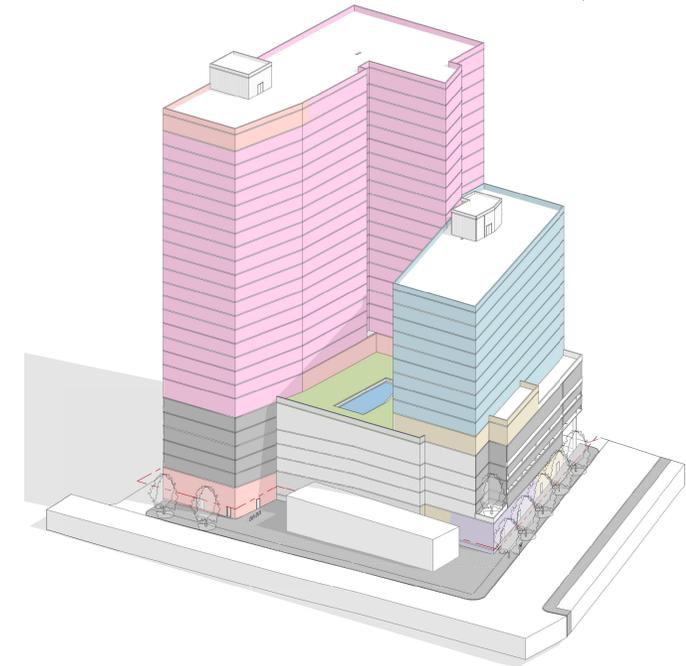
0% OPENING GARAGE FACING
ADJACENT PROPERTY

RETAIL FRONTING BROADWAY

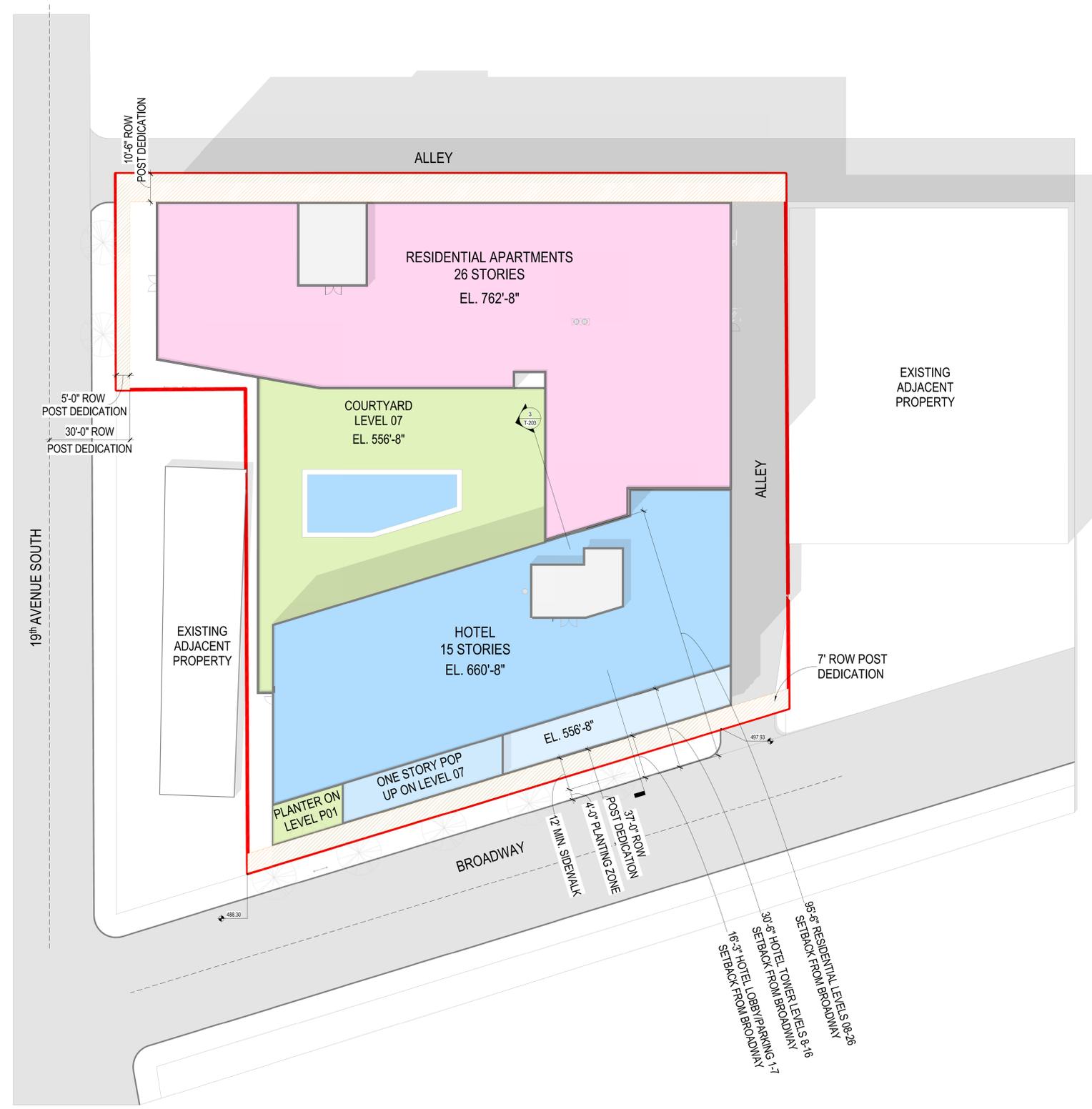
1 VIEW NORTHEAST
SCALE:

Building Height and Setbacks

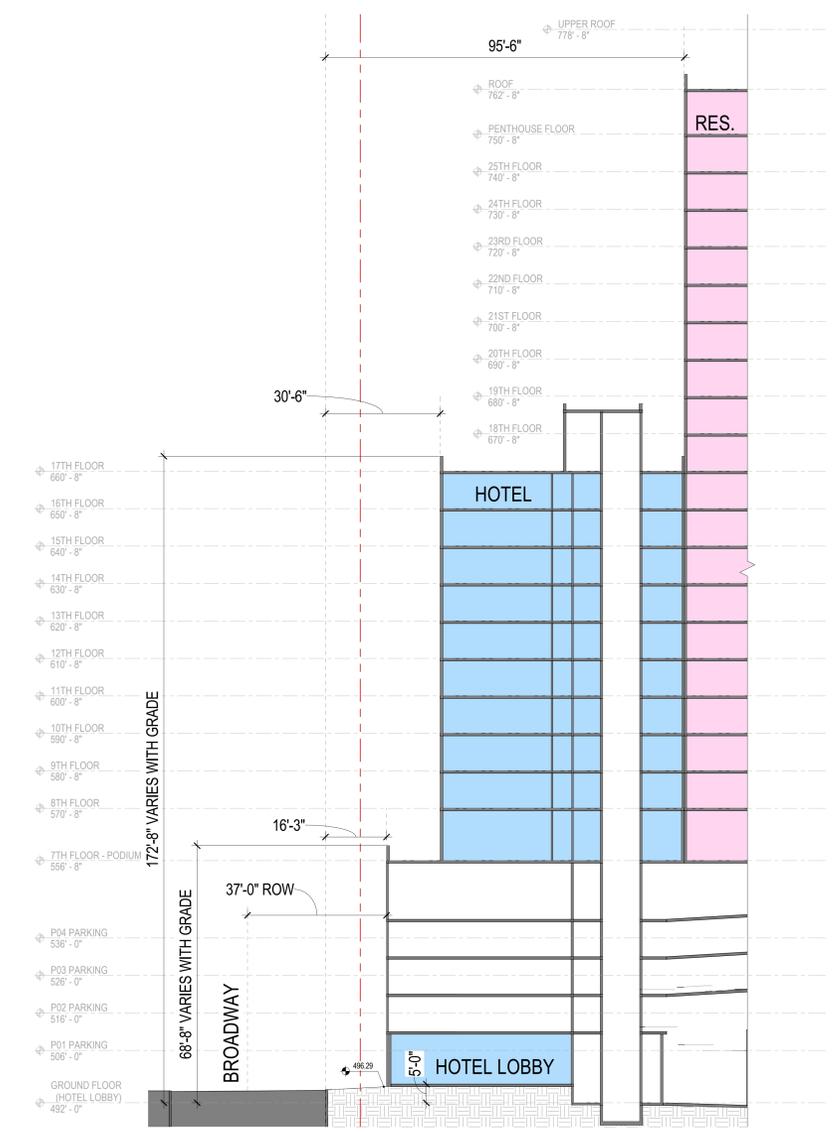
ADDRESS | 19TH AND BROADWAY
 NASHVILLE, TN



2 VIEW NORTHEAST - MASSING
 SCALE:



1 PROXIMITY PLAN
 SCALE: 1/8" = 1'-0"



3 BUILDING SETBACK ALONG BROADWAY
 SCALE: 1/16" = 1'-0"



1 SITE PLAN
SCALE: 3/32" = 1'-0"

LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
- FLOOR / ROOF DRAINS, SEE PLUMBING
- SANITARY DRAINS, SEE PLUMBING
- TRENCH DRAIN
- PARKING SPACE NUMBER: R-RESIDENTIAL, TYPE: F-FULL SIZE, C-COMPACT, HC-HANDICAP
- TYPE A UNIT PER ANSI 117.1-2009

GreyStar
 18 Broad Street, Suite 300
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 2014SP-072-003
 19th and Broadway Mixed
 Use Development
A-000

R2L ARCHITECTS
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 F 202.600.7280
 info@r2larchitects.com
 CIVIL ENGINEERING
 Kimley-Horn
 214 Oceanside Drive
 Nashville, TN 37204
 T 615.564.2701
 www.kimley-horn.com

DATE	DESCRIPTION	BY	CHKD

KEYNOTES

SHEET NOTES

LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
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- BRACKET-MOUNTED FIRE EXTINGUISHER
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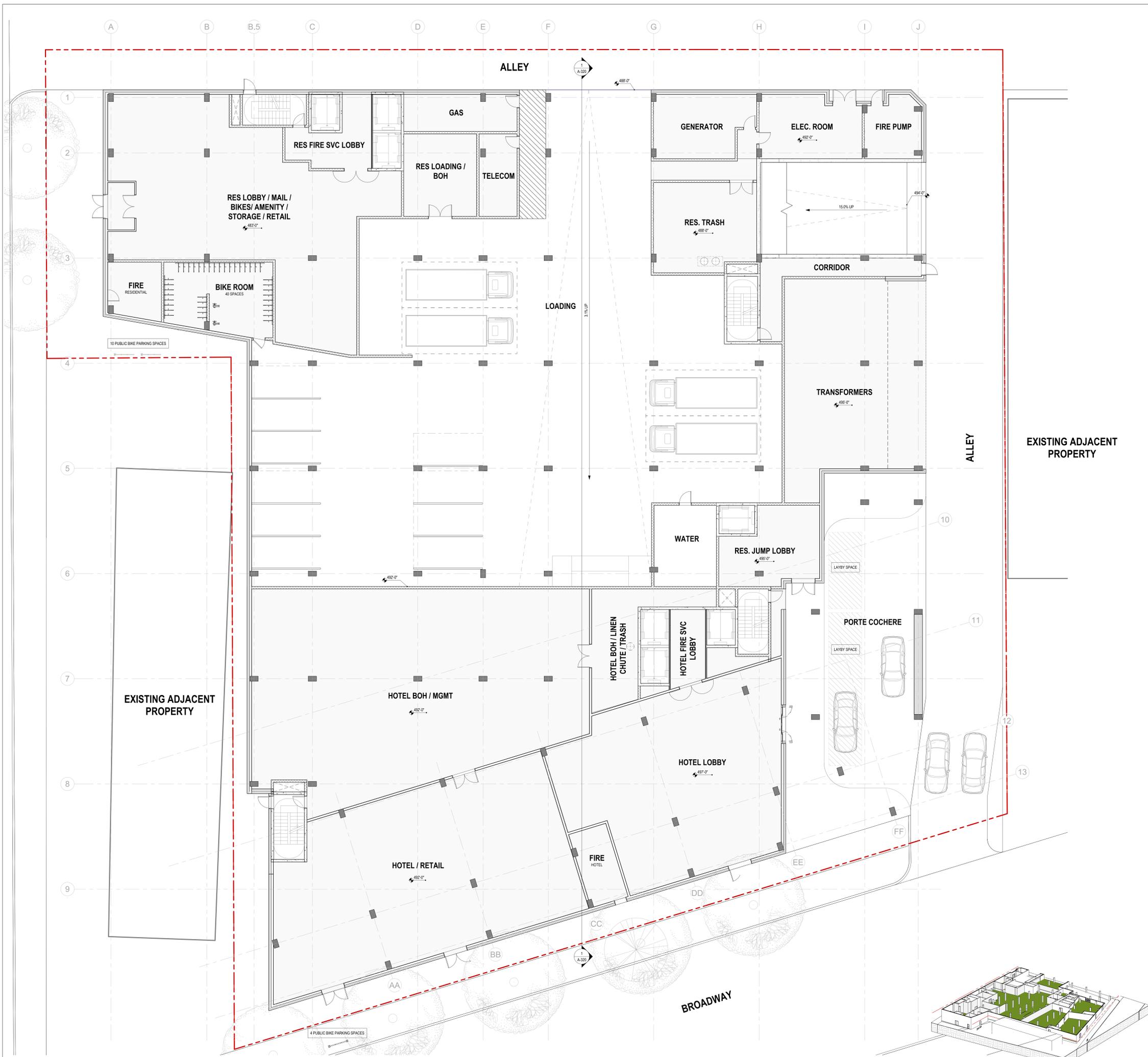
2014SP-072-003
 19th and Broadway Mixed
 Use Development

PROJECT
 DRAWING

1" = 4'-0"
 1/8" = 1'-0"
 0' 1" 2' 4' 8' 12'

GROUND FLOOR
 TITLE

A-200
 DRAWING NUMBER



1 GROUND FLOOR
 SCALE: 1/8" = 1'-0"

KEYNOTES

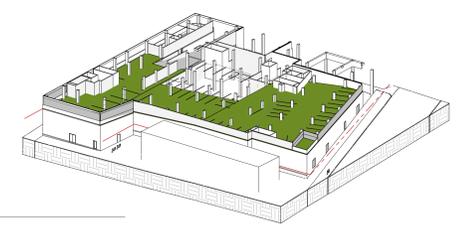
R2L:ARCHITECTS
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SHEET NOTES



LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
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- ROOF PAVERS
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 Use Development
 PROJECT
 PLAN NO. 19
 1" = 4'-0"
 0 4 8 12
 GRAPHIC SCALE
 P01 PARKING
 TITLE
A-201
 DRAWING NUMBER

1 P01 PARKING
 SCALE: 1/8" = 1'-0"

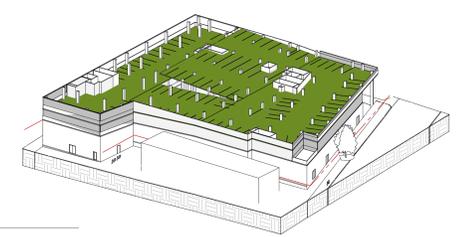
KEYNOTES

SHEET NOTES



LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
- FLOOR / ROOF DRAINS. SEE PLUMBING
- SANITARY DRAINS. SEE PLUMBING
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- PARKING SPACE NUMBER: R-RESIDENTIAL
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PROJECT
 PLAN NUMBER
 1" = 4'-0"
 0' 1" 2' 4' 8' 16'

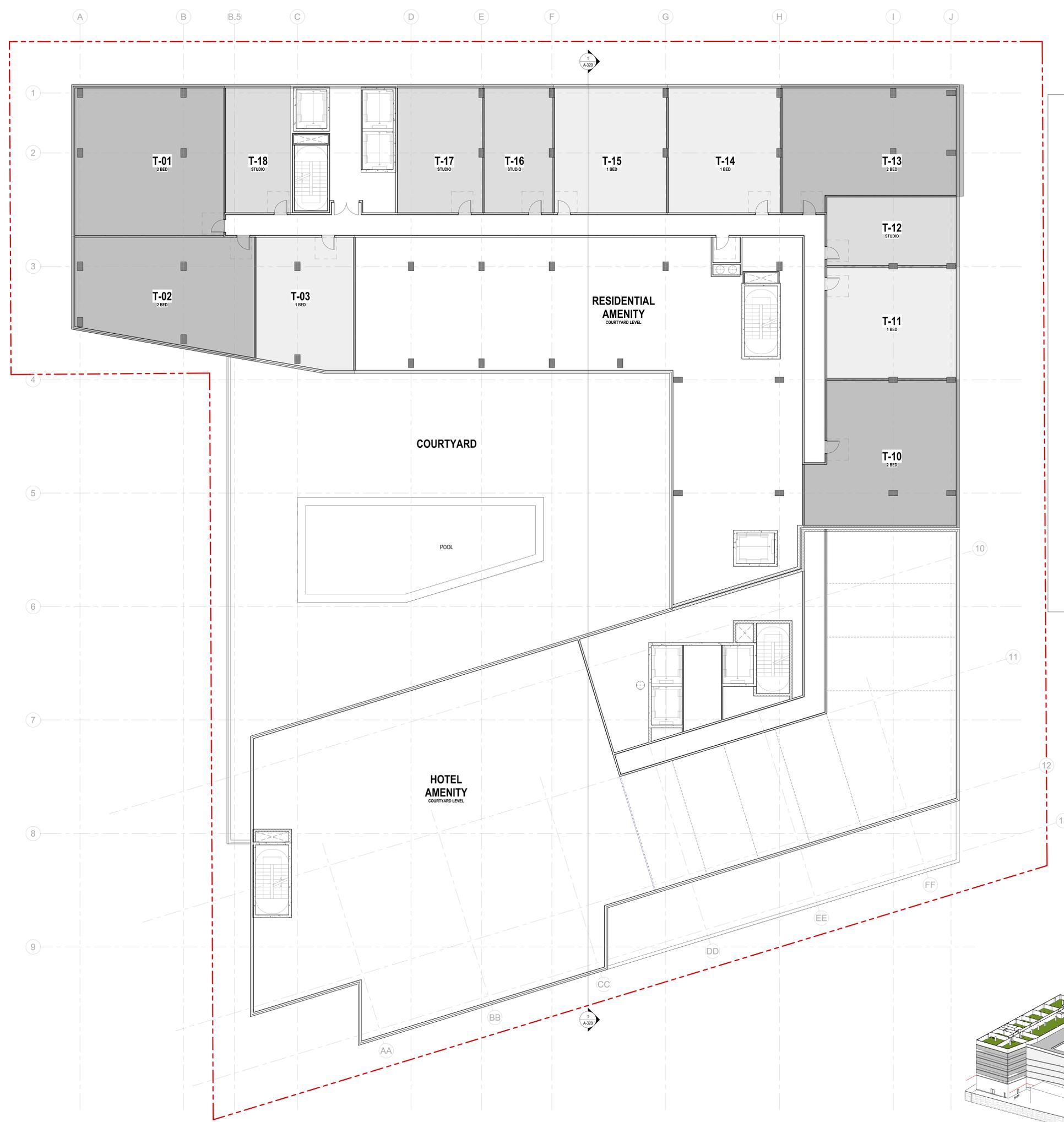
P02-04 PARKING (TYPICAL)

A-202
 DRAWING NUMBER

1 P02 PARKING - TYPICAL PARKING
 SCALE: 1/8" = 1'-0"

KEYNOTES

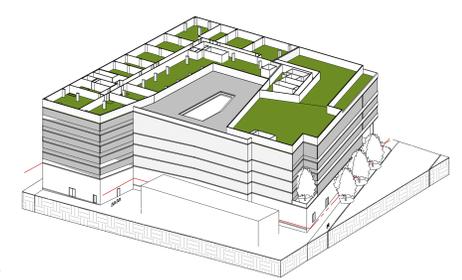
SHEET NOTES



7TH FLOOR - PODIUM
 SCALE: 1/8" = 1'-0"

LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
- FLOOR / ROOF DRAINS, SEE PLUMBING
- SANITARY DRAINS, SEE PLUMBING
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- PARKING SPACE NUMBER: R=RESIDENTIAL
TYPE: F=FULL SIZE, C=COMPACT, HC=HANDICAP
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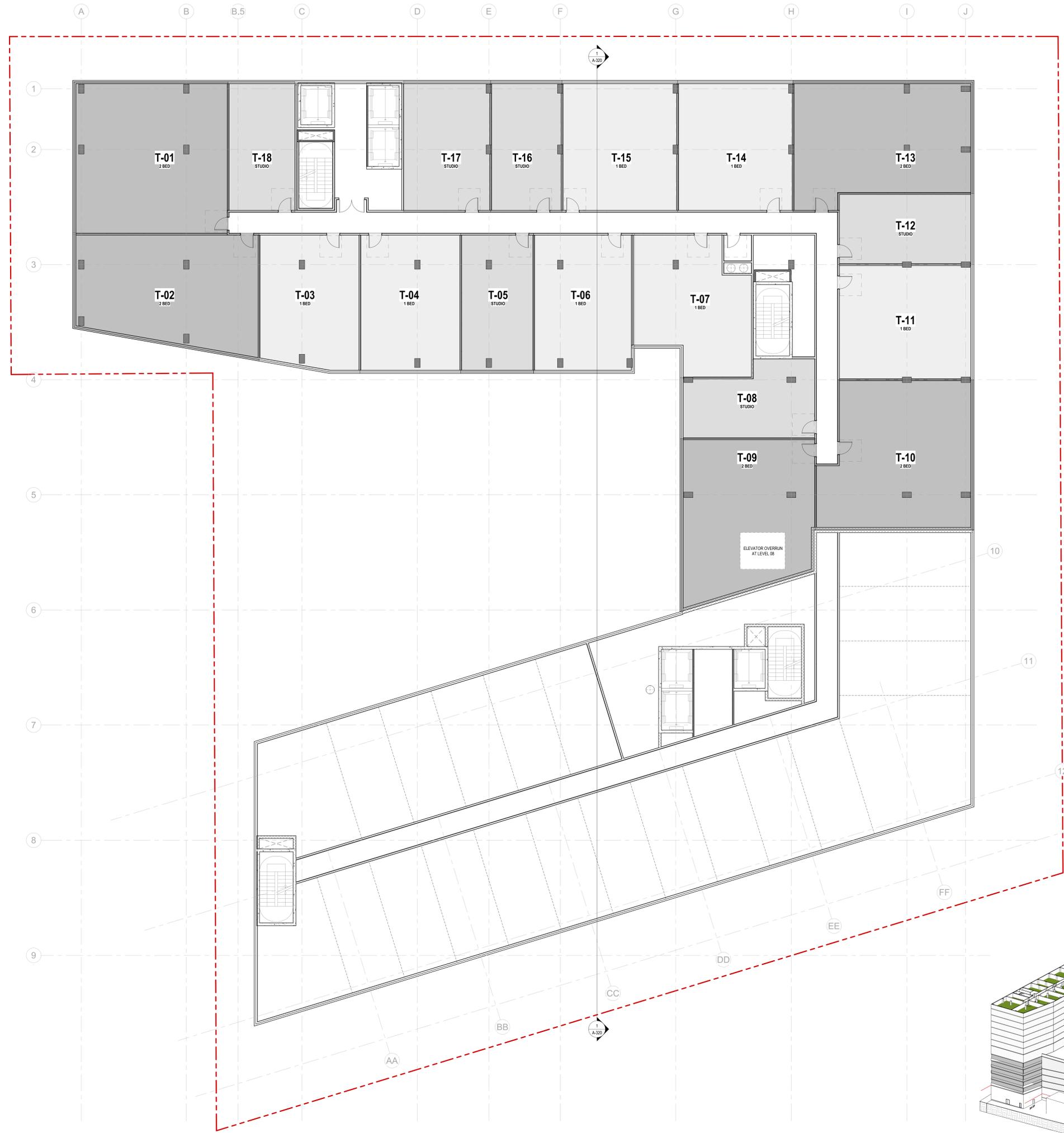
PROJECT
 7TH FLOOR - PODIUM

1" = 8'-0"
 1/8" = 1'-0"
 GRAPHIC SCALE

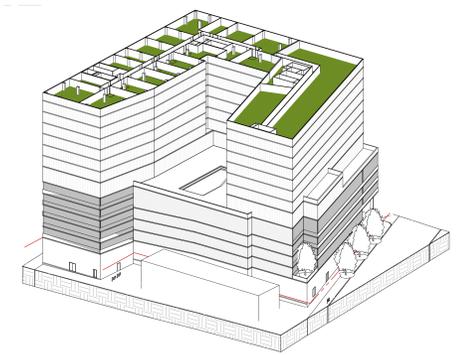
A-210
 DRAWING NUMBER

KEYNOTES

SHEET NOTES



1 14TH FLOOR - TYPICAL
 SCALE: 1/8" = 1'-0"



LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
- FLOOR / ROOF DRAINS. SEE PLUMBING
- SANITARY DRAINS. SEE PLUMBING
- TRENCH DRAIN
- PARKING SPACE NUMBER: R=RESIDENTIAL
TYPE: F=FULL SIZE, C=COMPACT, HC=HANDICAP
- TYPE A UNIT PER ANSI 117.1-2009

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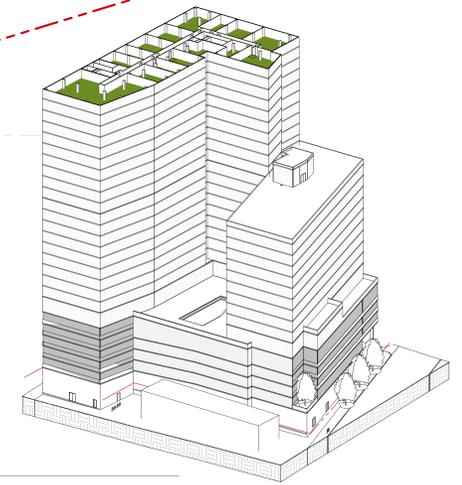
PROJECT
 PLAN NUMBER
 1" = 1'-0"
 1/8" = 1'-0"
 0' 1" 2' 3' 4' 5' 6' 7' 8' 9' 10'

8TH-16TH FLOOR (TYPICAL)

A-212
 DRAWING NUMBER

KEYNOTES

SHEET NOTES



LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
- FLOOR / ROOF DRAINS. SEE PLUMBING
- SANITARY DRAINS. SEE PLUMBING
- TRENCH DRAIN
- PARKING SPACE NUMBER: R-RESIDENTIAL
TYPE: F-FULL SIZE, C-COMPACT, HC-HANDICAP
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PROJECT
 PLAN NUMBER
 1" = 1/8" = 1/4" = 1/2" = 1"

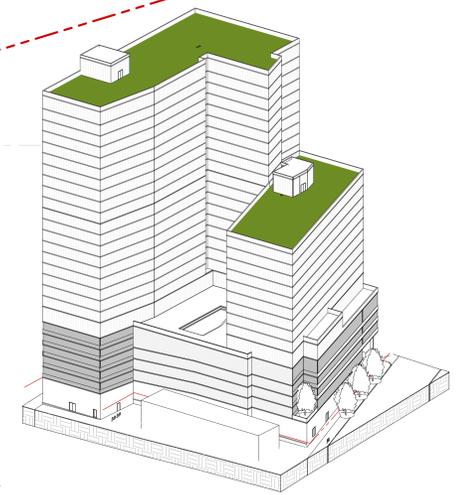
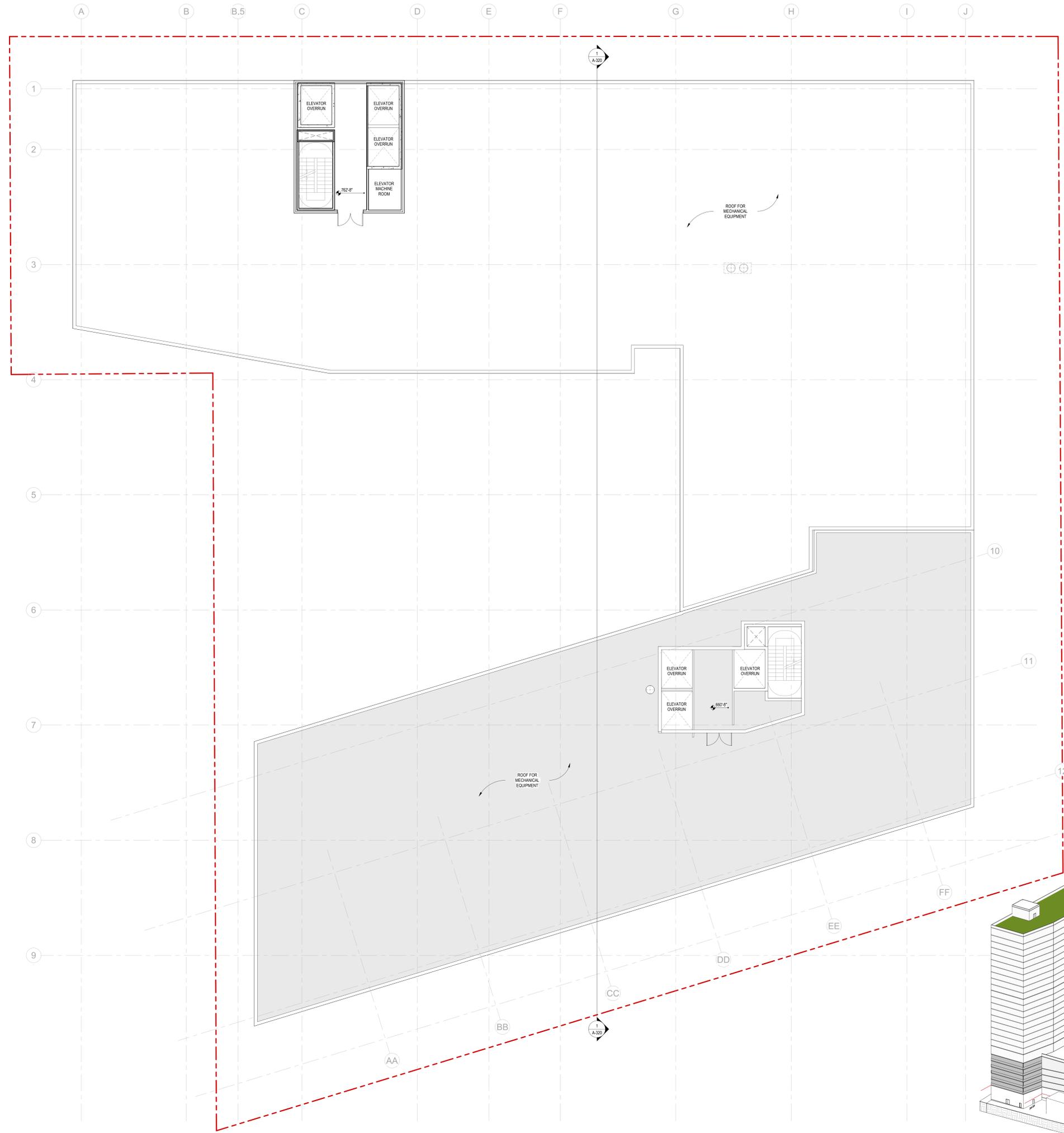
PENTHOUSE FLOOR

A-220
 DRAWING NUMBER

1 PENTHOUSE FLOOR
 SCALE: 1/8" = 1'-0"

KEYNOTES

SHEET NOTES



LEGEND

- CMU WALL
- CONCRETE COLUMNS / SHEAR WALLS
- SLOPED COLUMNS
- GREEN ROOF / PLANTER
- ROOF PAVERS
- WOOD DECK
- PROPERTY LINE
- RECESSED FIRE EXTINGUISHER & CABINET
- BRACKET-MOUNTED FIRE EXTINGUISHER
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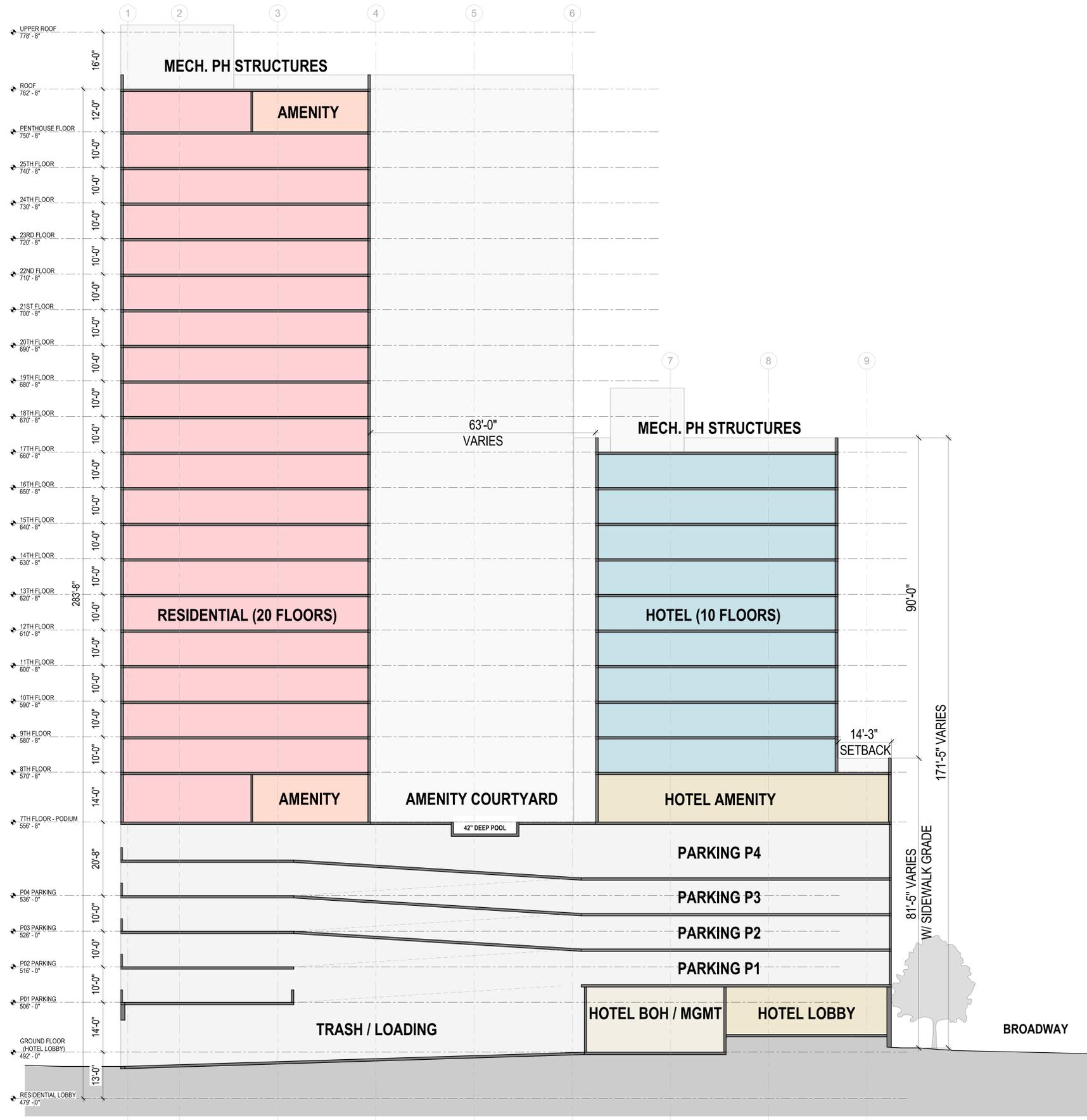
PROJECT: 19th and Broadway
 PLAN NO: 19th and Broadway
 DATE: 10/1/14

1" = 4'-0"
 0 4 8 12

ROOF

A-221
 DRAWING NUMBER

1 ROOF
 SCALE: 1/8" = 1'-0"



1 BUILDING SECTION
 SCALE: 3/32" = 1'-0"

KEYNOTES

KEY PLAN

