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CONTRACTOR RESPONSIBILITIES:

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
A. THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
B. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
C. THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
D. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
2. DURING CONSTRUCTION:
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
B. THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
E. CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
H. TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR TENNESSEE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
I. ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND METRO NASHVILLE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
K. CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.
N. IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
P. AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
Q. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
R. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
S. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER, THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
T. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
U. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
V. THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
W. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.
X. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.

CONTRACTOR RESPONSIBILITIES (CONT.):

- Y. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
Z. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

DEMOLITION INFORMATION:

- 1. NOTIFICATIONS:
THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
2. DISPOSAL GUIDELINES:
A. ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
B. REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
D. ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. TREE PROTECTION GUIDELINES:
PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.
4. UTILITIES:
A. PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
B. ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.

SITE INFORMATION:

- 1. THE FOLLOWING ARE APPLICABLE TO ALL CIVIL DOCUMENTS:
A. WHERE A DETAIL SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
B. EXISTING AND PROPOSED CONTOURS ARE AT ONE (1) FOOT INTERVALS.
C. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
D. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE.
E. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

EROSION AND SEDIMENT CONTROL INFORMATION:

- 1. COMPREHENSIVE:
A. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
B. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
C. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS, CURRENT EDITION.
D. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
E. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
F. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
G. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

CONCRETE INFORMATION (SITE WORK ONLY):

- 1. PRODUCT CRITERIA:
A. UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33.
B. CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I.
C. SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER.
D. THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (LB. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520, 3/4" - 540, 1/2" - 590, 3/8" - 610.
2. CURING CRITERIA:
A. CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND.
B. CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR CONTENT IN ACCORDANCE WITH ACI 302.IR-89 TABLE 5.2.7A.
C. HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY UNTIL CURING COMPOUND IS USED.
D. COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE BELOW 40 DEGREES FAHRENHEIT.
E. CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED.

REINFORCING STEEL INFORMATION (SITE WORK ONLY):

- 1. PRODUCT CRITERIA:
A. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 AND SMALLER BARS. MINIMUM LAP 48" DIAMETER.
B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8".
C. REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM A-706.

PAVEMENT INFORMATION:

- 1. PAVEMENT:
A. ALL MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL CONFORM TO THE TENNESSEE DEPARTMENT OF TRANSPORTATION, TDOT, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
B. SEE PAVEMENT DETAILS ON CONSTRUCTION DOCUMENTS FOR SPECIFIC DESIGN INFORMATION AND REQUIREMENTS.
C. ALL CURB AND GUTTER TO BE 24" AND CONSTRUCTED OF 3000 P.S.I. CONCRETE UNLESS OTHERWISE NOTED.
2. SIGNING AND STRIPING:
A. SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.
B. ALL PAVEMENT MARKINGS SHALL CONFORM TO PRIVATE PROPERTY SHALL BE PAINT, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS ON PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC, UNLESS NOTED OTHERWISE.

STORM SEWER NOTES:

- 1. REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
2. FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE.
3. STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH METRO NASHVILLE PUBLIC WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478.
4. ALL MANHOLE FRAMES AND COVERS ARE TO BE PER METRO NASHVILLE PUBLIC WORKS STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED. FERROUS: 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH- (102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO "STORM SEWER."
5. MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED.
6. ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL CONFORM TO ASTM D3530 WITH SOIL TIGHT JOINTS.
7. ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO SECTION 30.
8. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES.
9. REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.
10. FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTION AS INCLUDED WITHIN THE PLANS AND PROVIDED BY MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS.
11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.

CLEARING AND GRUBBING:

- A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
F. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK.
G. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
F. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUIRE TREE WELLS WITHIN THE GRADING LIMITS.
G. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

GRADING NOTES:

- A. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL.
B. UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
C. FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTON OF THESE SOILS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
D. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RE-COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
E. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
F. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
G. GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR DAYS PF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
H. SOILS TESTING LABORATORY/ SOILS ENGINEER. CONTRACTOR WILL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE TESTS AS REQUIRED.
I. HAVE EARTH BORROW FILL, AGGREGATE, AND TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB SITE.
J. CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND IN-PLACE SOILS. OTHER AREAS WILL BE INSPECTED BY SOILS ENGINEER TO DETERMINE ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN.
K. TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED, TESTING LABORATORY WILL ADVISE THE OWNER'S REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE MEASURES THAT ARE NECESSARY.
L. SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS.
M. THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE CONTRACTOR.
N. APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE PART OF THIS SPECIFICATION:
• D421-58, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND DETERMINATION OF SOIL CONSTANTS.
• D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.
• D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200 SIEVE.
• D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT
• D1557-78, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457 MM) DROP.
O. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
P. CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
Q. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING WITH LOAD TICKETS, PHOTOGRAPHS, LOG BOOK, VIDEO RECORDING AND OTHER MEANS AS NECESSARY TO VERIFY THE INSTALLATION OF STORMWATER BEST MANAGEMENT PRACTICES REQUIRED BY THE LOCAL MUNICIPALITY AND JURISDICTION. AS-BUILT TOPOGRAPHY AND UTILITY PLANS HAVING BEEN PREPARED BY A QUALIFIED LAND SURVEYOR ARE REQUIRED TO BE SUBMITTED TO KIMLEY-HORN AT THE CONCLUSION OF THE PROJECT FOR VERIFICATION OF DESIGN INTENT. ANY MODIFICATIONS TO THE GRADING AND UTILITY SYSTEMS REQUIRED, NOT PREVIOUSLY APPROVED BY THE OWNER AND ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR.



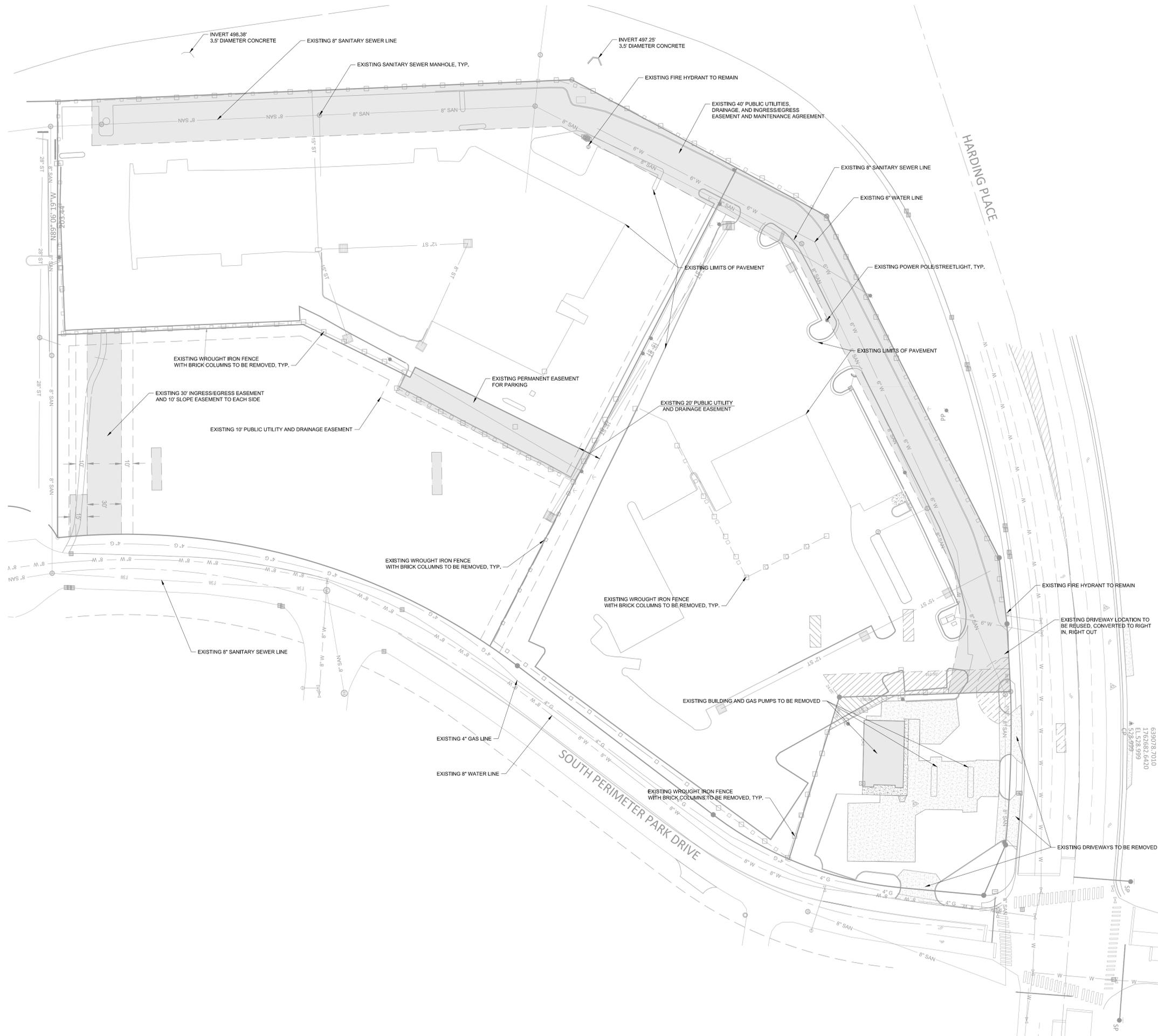
PRELIMINARY PUD AMENDMENT
CASE NO.: 206-69P-001
HARDING PLACE CENTER
TOWERY DELEOT HOLDINGS, GP
NASHVILLE, TENNESSEE



Table with columns for REVISIONS, DATE, and DESIGNED BY (CVC), DRAWN BY (CVC), CHECKED BY (PHN), DATE (04/04/2019), and SHEET NUMBER (C0-01).

GENERAL NOTES
SHEET NUMBER
C0-01

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ONSITE SOILS
 1. ALL SOILS ONSITE ARE TUC (TALBOTT-URBAN LAND COMPLEX) IDENTIFIED AS 3 TO 12 PERCENT SLOPES.

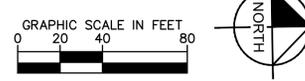
PRELIMINARY PUD AMENDMENT
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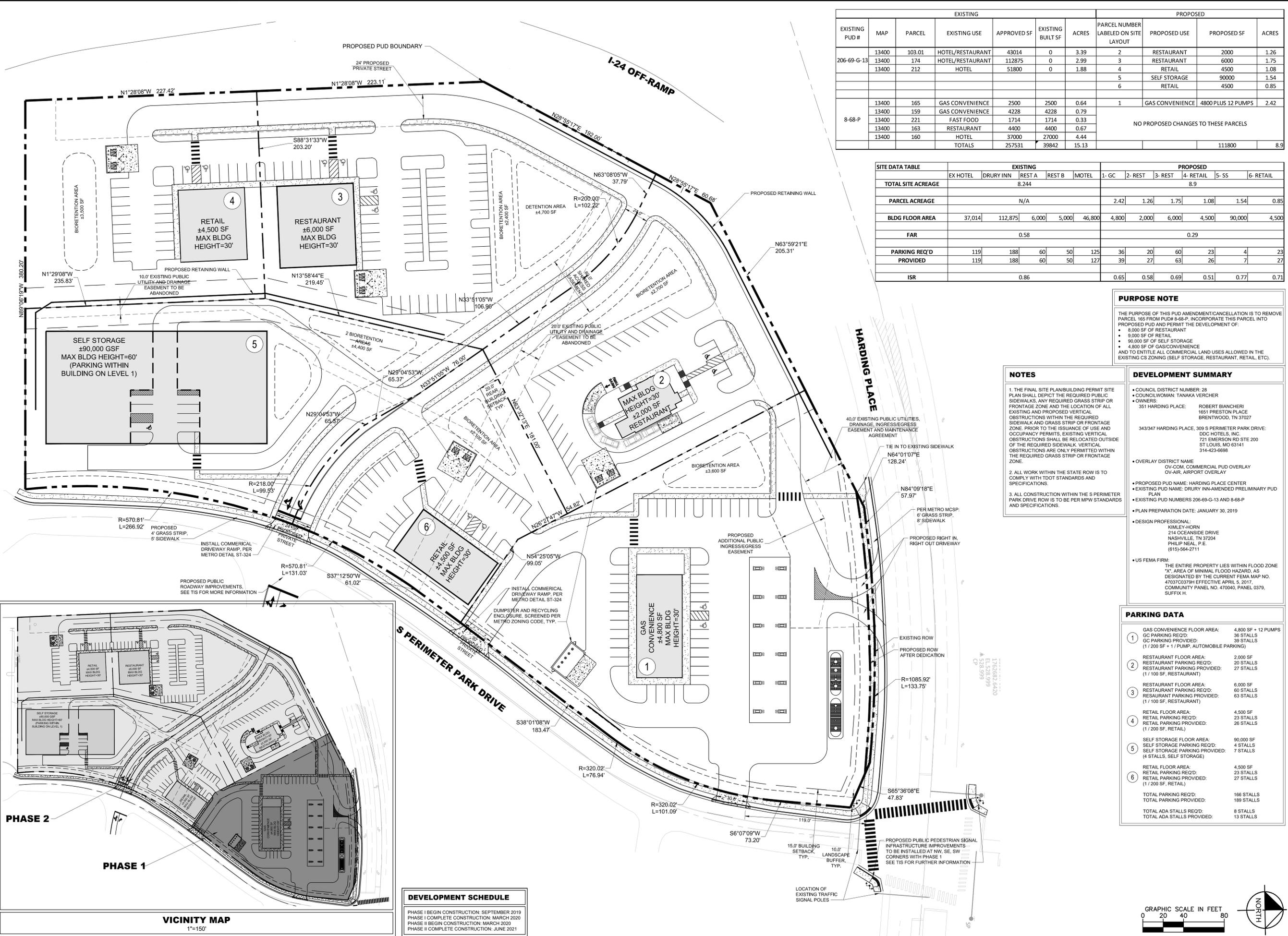
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DESIGNED BY: CVC
 DRAWN BY: CVC
 CHECKED BY: PHN
 DATE: 04/04/2019
 KIMLEY-HORN PROJECT NO. 118290000

EXISTING CONDITIONS
 SHEET NUMBER
C1-00



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EXISTING PUD #	MAP	PARCEL	EXISTING				PROPOSED				
			EXISTING USE	APPROVED SF	EXISTING BUILT SF	ACRES	PARCEL NUMBER LABELED ON SITE LAYOUT	PROPOSED USE	PROPOSED SF	ACRES	
206-69-G-13	13400	103.01	HOTEL/RESTAURANT	43014	0	3.39	2	RESTAURANT	2000	1.26	
	13400	174	HOTEL/RESTAURANT	112875	0	2.99	3	RESTAURANT	6000	1.75	
	13400	212	HOTEL	51800	0	1.88	4	RETAIL	4500	1.08	
8-68-P	13400	165	GAS CONVENIENCE	2500	2500	0.64	1	GAS CONVENIENCE	4800 PLUS 12 PUMPS	2.42	
	13400	159	GAS CONVENIENCE	4228	4228	0.79					
	13400	221	FAST FOOD	1714	1714	0.33					
	13400	163	RESTAURANT	4400	4400	0.67					
	13400	160	HOTEL	37000	27000	4.44					
TOTALS				257531	39842	15.13	NO PROPOSED CHANGES TO THESE PARCELS			111800	8.9

SITE DATA TABLE	EXISTING						PROPOSED					
	EX HOTEL	DRURY INN	REST A	REST B	MOTEL		1-GC	2-REST	3-REST	4-RETAIL	5-SS	6-RETAIL
TOTAL SITE ACREAGE	8.244						8.9					
PARCEL ACREAGE	N/A						2.42	1.26	1.75	1.08	1.54	0.85
BLDG FLOOR AREA	37,014	112,875	6,000	5,000	46,800		4,800	2,000	6,000	4,500	90,000	4,500
FAR	0.58						0.29					
PARKING REQ'D	119	188	60	50	125		36	20	60	23	4	23
PROVIDED	119	188	60	50	127		39	27	63	26	7	27
ISR	0.86						0.65	0.58	0.69	0.51	0.77	0.71

PURPOSE NOTE

THE PURPOSE OF THIS PUD AMENDMENT/CANCELLATION IS TO REMOVE PARCEL 165 FROM PUD# 8-68-P, INCORPORATE THIS PARCEL INTO PROPOSED PUD AND PERMIT THE DEVELOPMENT OF:

- 8,000 SF OF RESTAURANT
- 9,000 SF OF RETAIL
- 90,000 SF OF SELF STORAGE
- 4,800 SF OF GAS/CONVENIENCE

AND TO ENTITLE ALL COMMERCIAL LAND USES ALLOWED IN THE EXISTING CS ZONING (SELF STORAGE, RESTAURANT, RETAIL, ETC).

NOTES

- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- ALL WORK WITHIN THE STATE ROW IS TO COMPLY WITH TDOT STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN THE S PERIMETER PARK DRIVE ROW IS TO BE PER MPW STANDARDS AND SPECIFICATIONS.

DEVELOPMENT SUMMARY

- COUNCIL DISTRICT NUMBER: 28
- COUNCILWOMAN: TANAKA VERCHER
- OWNERS: ROBERT BIANCHERI, 351 HARDING PLACE, BRENTWOOD, TN 37027
- 343/347 HARDING PLACE, 309 S PERIMETER PARK DRIVE: DDC HOTELS, INC., 721 EMERSON RD STE 200, ST LOUIS, MO 63141, 314-423-6698
- OVERLAY DISTRICT NAME: OV-COM, COMMERCIAL PUD OVERLAY; OV-AIR, AIRPORT OVERLAY
- PROPOSED PUD NAME: HARDING PLACE CENTER
- EXISTING PUD NAME: DRURY INN-AMENDED PRELIMINARY PUD PLAN
- EXISTING PUD NUMBERS: 206-69-G-13 AND 8-68-P
- PLAN PREPARATION DATE: JANUARY 30, 2019
- DESIGN PROFESSIONAL: KIMLEY-HORN, 214 OCEANSIDE DRIVE, NASHVILLE, TN 37204, PHILIP NEAL, P.E., (615)-564-2711
- US FEMA FIRM: THE ENTIRE PROPERTY LIES WITHIN FLOOD ZONE "X". AREA OF MINIMAL FLOOD HAZARD, AS DESIGNATED BY THE CURRENT FEMA MAP NO. 47037C0379H EFFECTIVE APRIL 5, 2017, COMMUNITY PANEL NO. 470040, PANEL 0379, SUFFIX H.

PARKING DATA

NO.	DESCRIPTION	STALLS
1	GAS CONVENIENCE FLOOR AREA: 4,800 SF + 12 PUMPS	36 STALLS
	GC PARKING REQ'D: 36 STALLS	
	GC PARKING PROVIDED: 39 STALLS	
	(1 / 200 SF + 1 / PUMP, AUTOMOBILE PARKING)	
2	RESTAURANT FLOOR AREA: 2,000 SF	20 STALLS
	RESTAURANT PARKING REQ'D: 20 STALLS	
	RESTAURANT PARKING PROVIDED: 27 STALLS	
	(1 / 100 SF, RESTAURANT)	
3	RESTAURANT FLOOR AREA: 6,000 SF	60 STALLS
	RESTAURANT PARKING REQ'D: 60 STALLS	
	RESTAURANT PARKING PROVIDED: 63 STALLS	
	(1 / 100 SF, RESTAURANT)	
4	RETAIL FLOOR AREA: 4,500 SF	23 STALLS
	RETAIL PARKING REQ'D: 23 STALLS	
	RETAIL PARKING PROVIDED: 26 STALLS	
	(1 / 200 SF, RETAIL)	
5	SELF STORAGE FLOOR AREA: 90,000 SF	4 STALLS
	SELF STORAGE PARKING REQ'D: 4 STALLS	
	SELF STORAGE PARKING PROVIDED: 7 STALLS	
	(4 STALLS, SELF STORAGE)	
6	RETAIL FLOOR AREA: 4,500 SF	23 STALLS
	RETAIL PARKING REQ'D: 23 STALLS	
	RETAIL PARKING PROVIDED: 27 STALLS	
	(1 / 200 SF, RETAIL)	
	TOTAL PARKING REQ'D: 166 STALLS	
	TOTAL PARKING PROVIDED: 199 STALLS	
	TOTAL ADA STALLS REQ'D: 8 STALLS	
	TOTAL ADA STALLS PROVIDED: 13 STALLS	



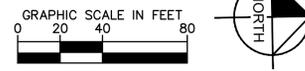
PRELIMINARY PUD AMENDMENT
CASE NO.: 206-69P-001
HARDING PLACE CENTER
TOWERY DELEOT HOLDINGS, GP
NASHVILLE, TENNESSEE



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DESIGNED BY: CVC
DRAWN BY: CVC
CHECKED BY: PHN
DATE: 04/04/2019
KIMLEY-HORN PROJECT NO. 118290000

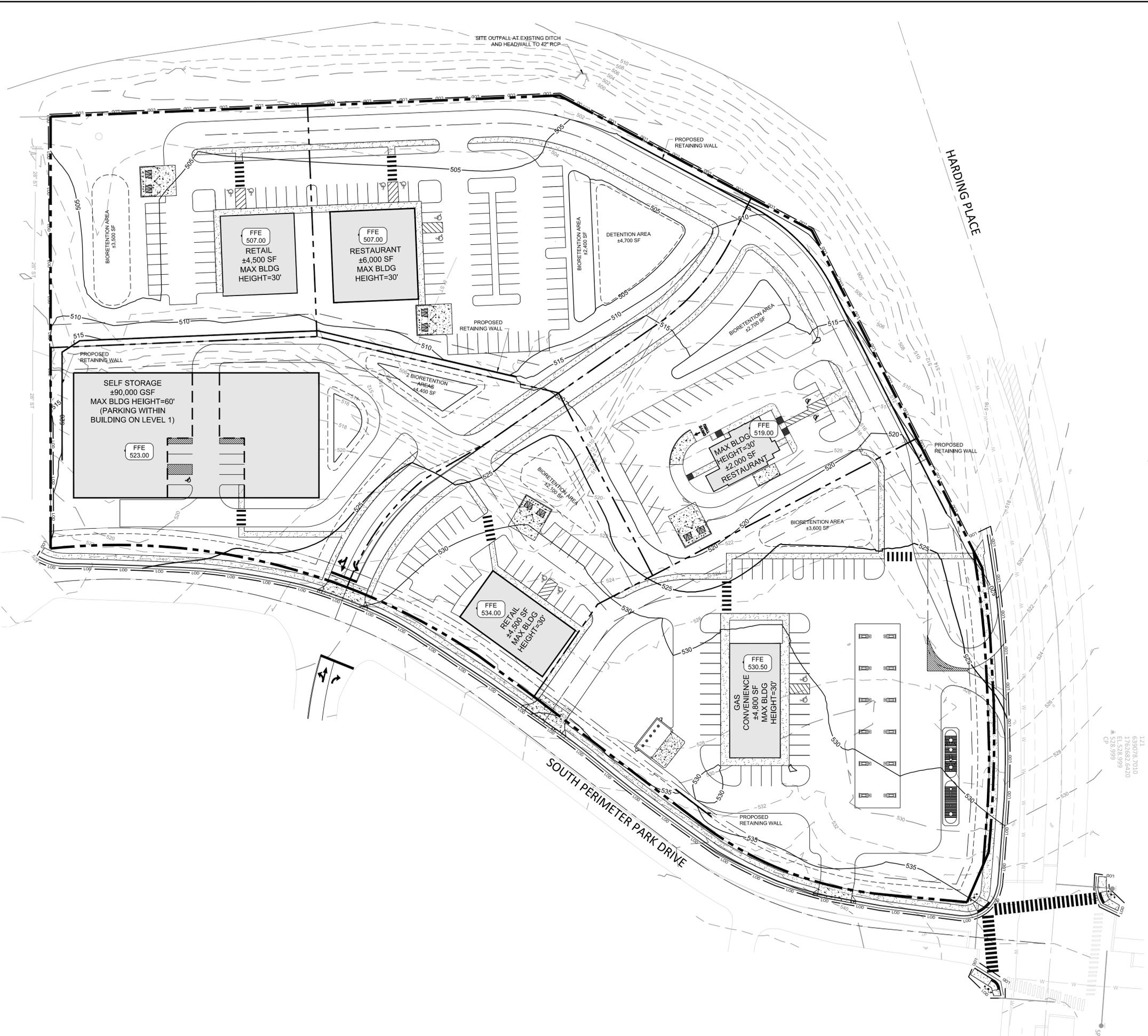
SITE LAYOUT
SHEET NUMBER
C2-00



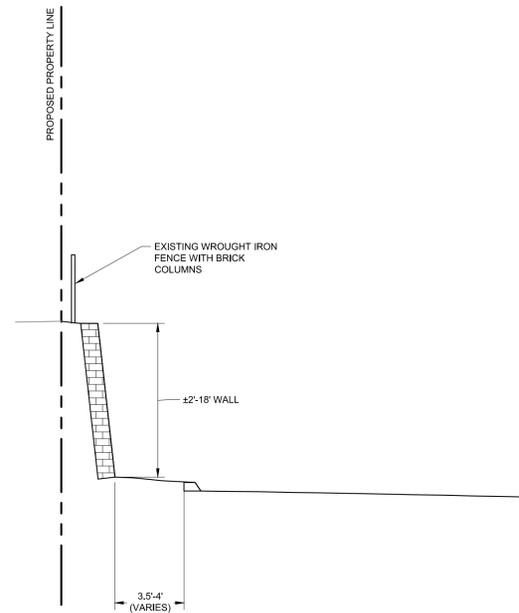
DEVELOPMENT SCHEDULE

PHASE I BEGIN CONSTRUCTION: SEPTEMBER 2019
PHASE I COMPLETE CONSTRUCTION: MARCH 2020
PHASE II BEGIN CONSTRUCTION: MARCH 2020
PHASE II COMPLETE CONSTRUCTION: JUNE 2021

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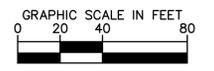


GRADING NOTES	
1. GRADING SHOWN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE PRIOR TO FINAL PUD SUBMITTAL BASED ON TENANT NEED.	
GRADING PLAN LEGEND	
FFE	FINISH FLOOR ELEVATION
593	EXISTING CONTOUR
594	PROPOSED CONTOUR
EARTHWORK QUANTITIES	
DISTURBED AREA:	9.43
RAW CUT VOLUME:	±986 C.Y.
RAW FILL VOLUME:	±54,624 C.Y.
NET VOLUME:	±53,638 C.Y. FILL
NOTE: THE ESTIMATED EARTHWORK CALCULATIONS PROVIDED ABOVE ARE APPROXIMATE AND ARE BASED ON DIGITAL LAYOUT AND GRADING DRAWINGS. THE CALCULATIONS PROVIDED ABOVE ARE SIMPLY A COMPARISON BETWEEN THE DIGITAL REPRESENTATIONS OF EXISTING GRADE AND FINISHED GRADE. THESE CALCULATIONS DO NOT INCLUDE VOLUMES ASSOCIATED WITH IMPORTED MATERIALS, FOUNDATION SPOILS, UTILITY SPOILS OR UNSUITABLE SOILS. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING THEIR OWN EARTHWORK QUANTITIES AND SHALL NOT RELY ON THE RAW QUANTITIES PROVIDED ON THIS SHEET.	



1 RETAINING WALL ELEVATION
NOT TO SCALE

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121078 7010
19292682 6420
EL 528.999
± 528.999
CP



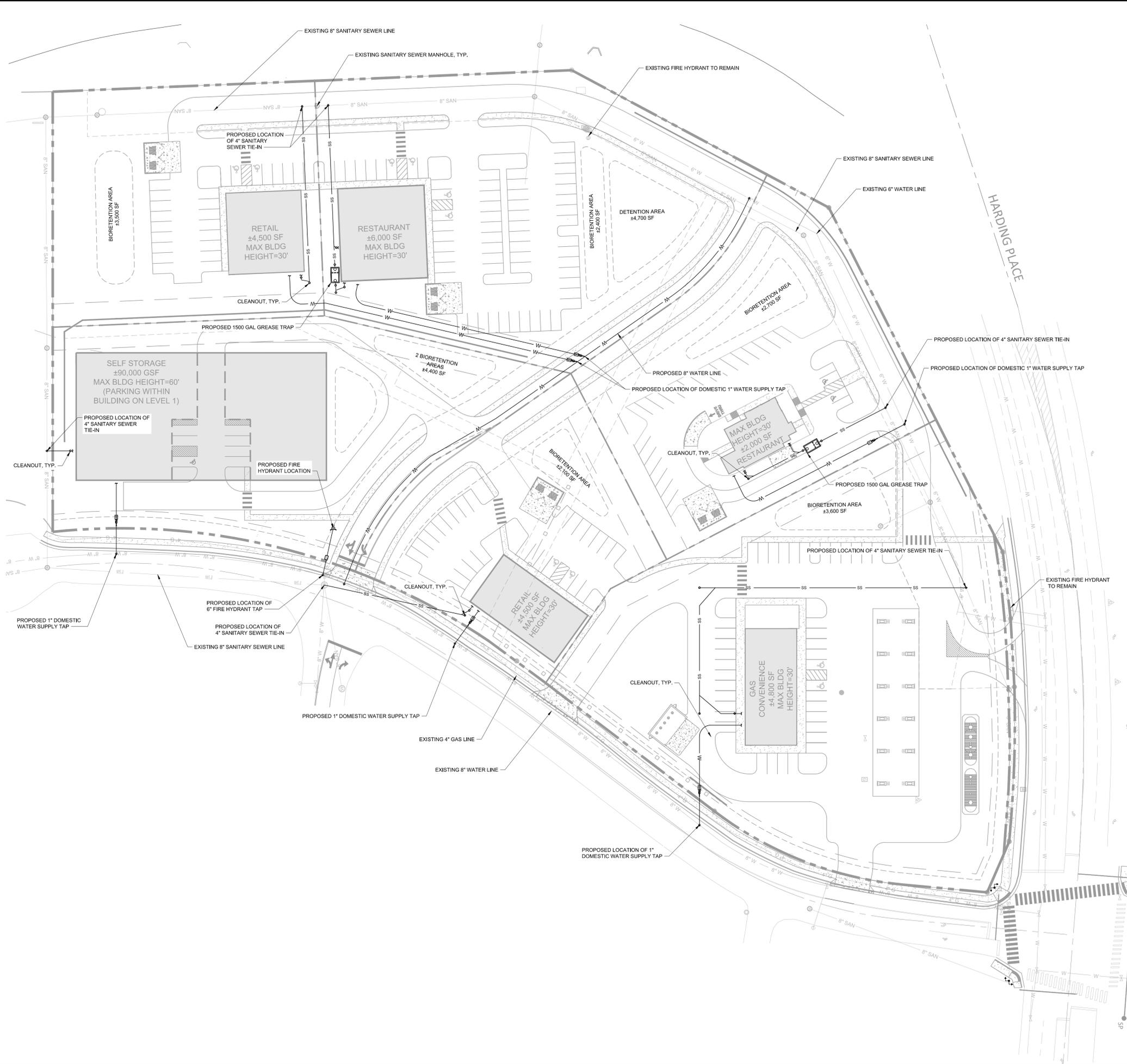
PRELIMINARY PUD AMENDMENT
CASE NO.: 206-69P-001
HARDING PLACE CENTER
TOWERY DELEOT HOLDINGS, GP
NASHVILLE, TENNESSEE



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DESIGNED BY: R/JG
DRAWN BY: R/JG
CHECKED BY: PHN
DATE: 04/04/2019
KIMLEY-HORN PROJECT NO. 118290000

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- UTILITY NOTES**
- UTILITIES SHOWN ARE PRELIMINARY SIZES AND LOCATIONS. SUBJECT TO CHANGE PRIOR TO FINAL PUD SUBMITTAL BASED ON TENANT NEED.
 - LOCATIONS OF GAS, TELEPHONE, AND ELECTRICAL CONNECTIONS TO BE DETERMINED AS DEEMED NECESSARY FOR EACH BUILDING.
- FRANCHISE UTILITY NOTES**
- TELEPHONE UTILITY CONSTRUCTION SHALL COMPLY WITH AT&T STANDARD SPECIFICATIONS.
 - UNDERGROUND ELECTRICAL INSTALLATION SHALL COMPLY WITH NASHVILLE ELECTRIC SERVICE (NES) STANDARD SPECIFICATIONS.
 - NATURAL GAS CONSTRUCTION & INSTALLATION SHALL COMPLY WITH PIEDMONT NATURAL GAS STANDARD SPECIFICATIONS.
- EXISTING UTILITIES NOTE**
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

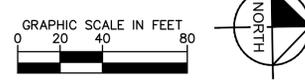
PRELIMINARY PUD AMENDMENT
 CASE NO.: 206-69P-001
HARDING PLACE CENTER
 TOWERY DELEOT HOLDINGS, GP
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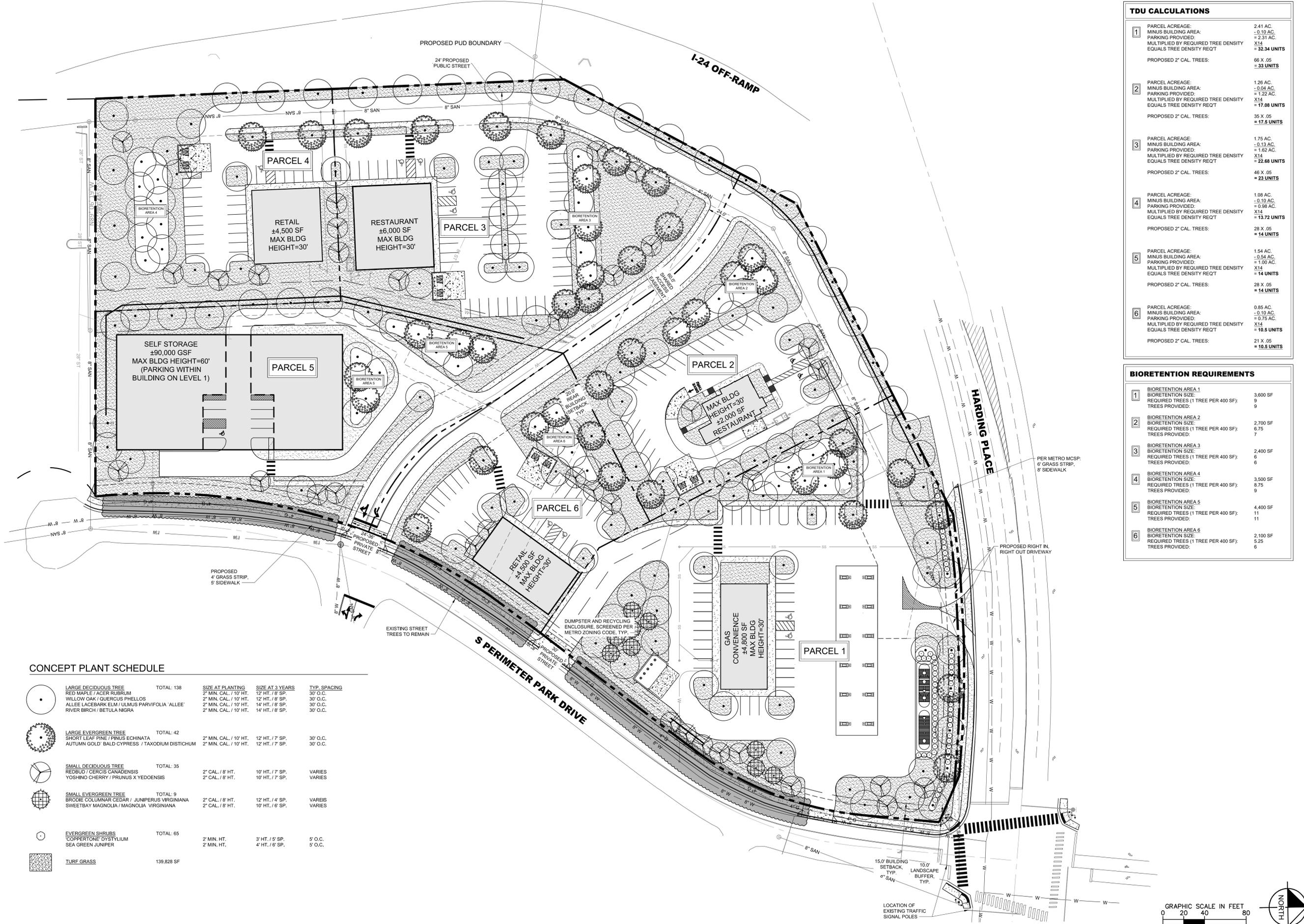
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DESIGNED BY: CVC
 DRAWN BY: CVC
 CHECKED BY: PHN
 DATE: 04/04/2019
 KIMLEY-HORN PROJECT NO. 118290000

UTILITY PLAN
 SHEET NUMBER
C6-00



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TDU CALCULATIONS

1	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	2.41 AC. -0.10 AC. = 2.31 AC. X14 = 32.34 UNITS
2	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	1.26 AC. -0.04 AC. = 1.22 AC. X14 = 17.08 UNITS
3	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	1.75 AC. -0.13 AC. = 1.62 AC. X14 = 22.68 UNITS
4	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	1.08 AC. -0.10 AC. = 0.98 AC. X14 = 13.72 UNITS
5	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	1.54 AC. -0.54 AC. = 1.00 AC. X14 = 14 UNITS
6	PARCEL ACREAGE: MINUS BUILDING AREA: PARKING PROVIDED: MULTIPLIED BY REQUIRED TREE DENSITY EQUALS TREE DENSITY REQ'T	0.85 AC. -0.10 AC. = 0.75 AC. X14 = 10.5 UNITS
	PROPOSED 2" CAL. TREES:	66 X .05 = 33 UNITS

BIORETENTION REQUIREMENTS

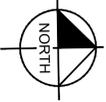
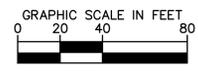
1	BIORETENTION AREA 1 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	3,600 SF 9 9
2	BIORETENTION AREA 2 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	2,700 SF 6.75 7
3	BIORETENTION AREA 3 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	2,400 SF 6 6
4	BIORETENTION AREA 4 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	3,500 SF 8.75 9
5	BIORETENTION AREA 5 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	4,400 SF 11 11
6	BIORETENTION AREA 6 BIORETENTION SIZE: REQUIRED TREES (1 TREE PER 400 SF): TREES PROVIDED:	2,100 SF 5.25 6

CONCEPT PLANT SCHEDULE

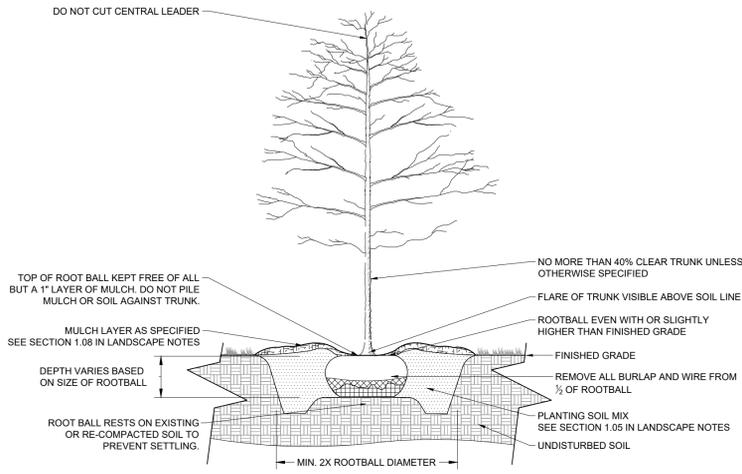
SYMBOL	DESCRIPTION	TOTAL	SIZE AT PLANTING	SIZE AT 3 YEARS	TYP. SPACING
●	LARGE DECIDUOUS TREE	138	2" MIN. CAL. / 10' HT.	12" HT. / 8" SP.	30' O.C.
●	RED MAPLE / ACER RUBRUM		2" MIN. CAL. / 10' HT.	12" HT. / 8" SP.	30' O.C.
●	WILLOW OAK / QUERCUS PHellos		2" MIN. CAL. / 10' HT.	12" HT. / 8" SP.	30' O.C.
●	ALLEE LACEBARK ELM / ULMUS PARVIFOLIA 'ALLEE'		2" MIN. CAL. / 10' HT.	14" HT. / 8" SP.	30' O.C.
●	RIVER BIRCH / BETULA NIGRA		2" MIN. CAL. / 10' HT.	14" HT. / 8" SP.	30' O.C.
●	LARGE EVERGREEN TREE	42	2" MIN. CAL. / 10' HT.	12" HT. / 7" SP.	30' O.C.
●	SHORT LEAF PINE / PINUS ECHINATA		2" MIN. CAL. / 10' HT.	12" HT. / 7" SP.	30' O.C.
●	AUTUMN GOLD' BALD CYPRESS / TAXODIUM DISTICHUM		2" MIN. CAL. / 10' HT.	12" HT. / 7" SP.	30' O.C.
●	SMALL DECIDUOUS TREE	35	2" CAL. / 8' HT.	10' HT. / 7" SP.	VARIES
●	REDBUD / CERCIIS CANADENSIS		2" CAL. / 8' HT.	10' HT. / 7" SP.	VARIES
●	YOSHINO CHERRY / PRUNUS X YEDOENSIS		2" CAL. / 8' HT.	10' HT. / 7" SP.	VARIES
●	SMALL EVERGREEN TREE	9	2" CAL. / 8' HT.	12" HT. / 4' SP.	VARIES
●	BRODIE COLUMNAR CEDAR / JUNIPERUS VIRGINIANA		2" CAL. / 8' HT.	10' HT. / 6' SP.	VARIES
●	SWEETBAY MAGNOLIA / MAGNOLIA VIRGINIANA		2" CAL. / 8' HT.	10' HT. / 6' SP.	VARIES
●	EVERGREEN SHRUBS	65	2" MIN. HT.	3" HT. / 5" SP.	5' O.C.
●	'COPPERTONE' DYSTYLUM		2" MIN. HT.	4" HT. / 6" SP.	5' O.C.
●	SEA GREEN JUNIPER		2" MIN. HT.	4" HT. / 6" SP.	5' O.C.
■	TURF GRASS	139,828 SF			



DESIGNED BY:	KHA
DRAWN BY:	NAS
CHECKED BY:	ARE
DATE:	04/04/2019
KIMLEY-HORN PROJECT NO.:	118290000

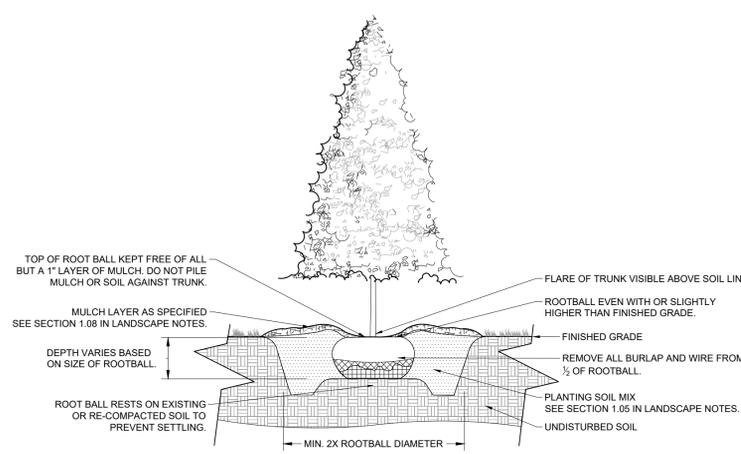


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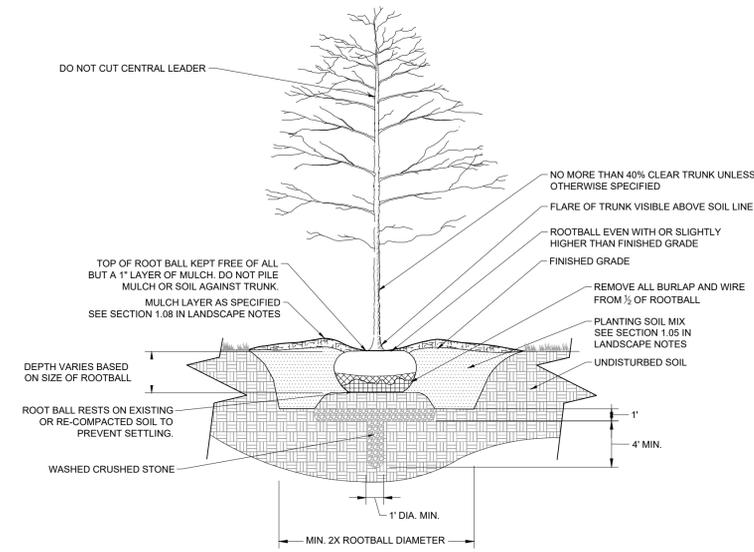
1 B&B TREE PLANTING

NOT TO SCALE



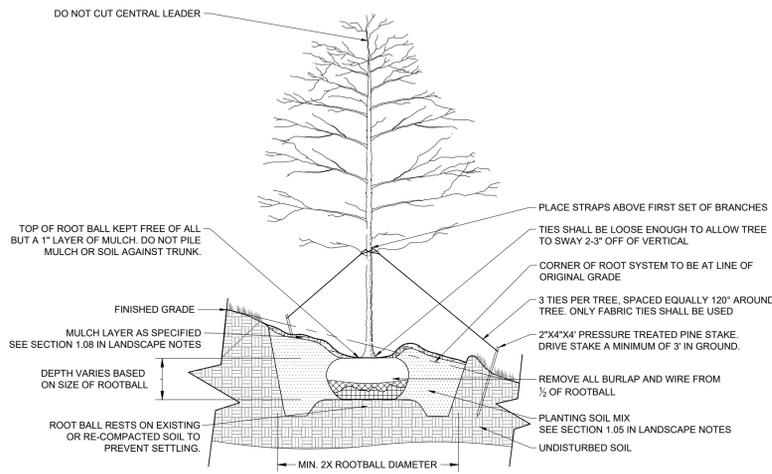
2 EVERGREEN TREE PLANTING

NOT TO SCALE



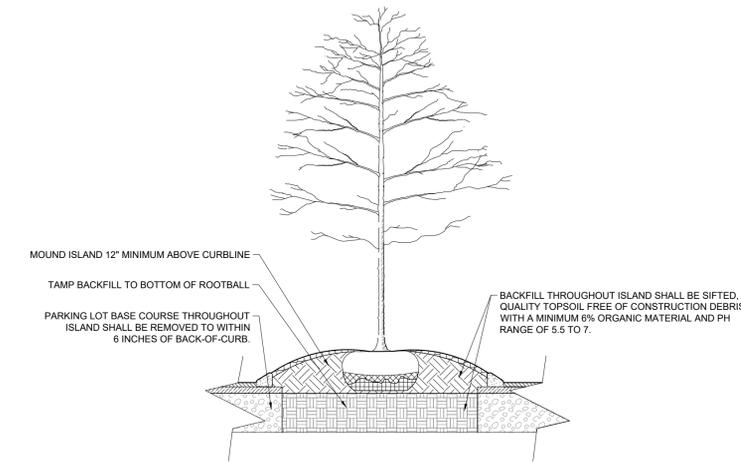
3 B&B TREE PLANTING IN POOR DRAINAGE

NOT TO SCALE



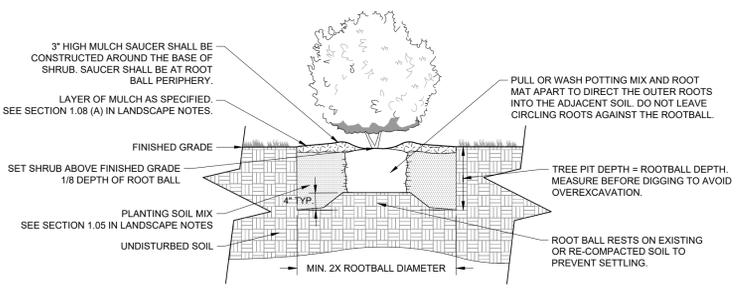
4 B&B TREE PLANTING ON SLOPE

NOT TO SCALE



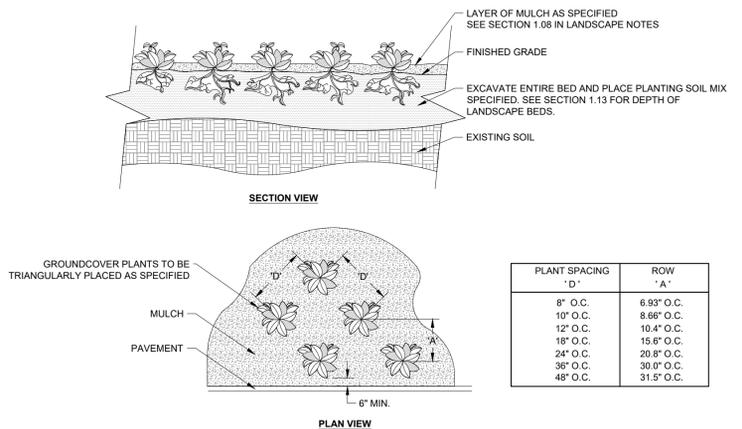
5 TREE PLANTING FOR MEDIAN

NOT TO SCALE



6 CONTAINER SHRUB PLANTING

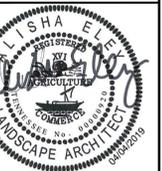
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7 GROUNDCOVER PLANTING

NOT TO SCALE

NOTES:
 1 SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 2 SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.



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DESIGNED BY: KHA
 DRAWN BY: KHA
 CHECKED BY: ARE
 DATE: 03/05/2019
 KIMLEY-HORN PROJECT NO. 11829000