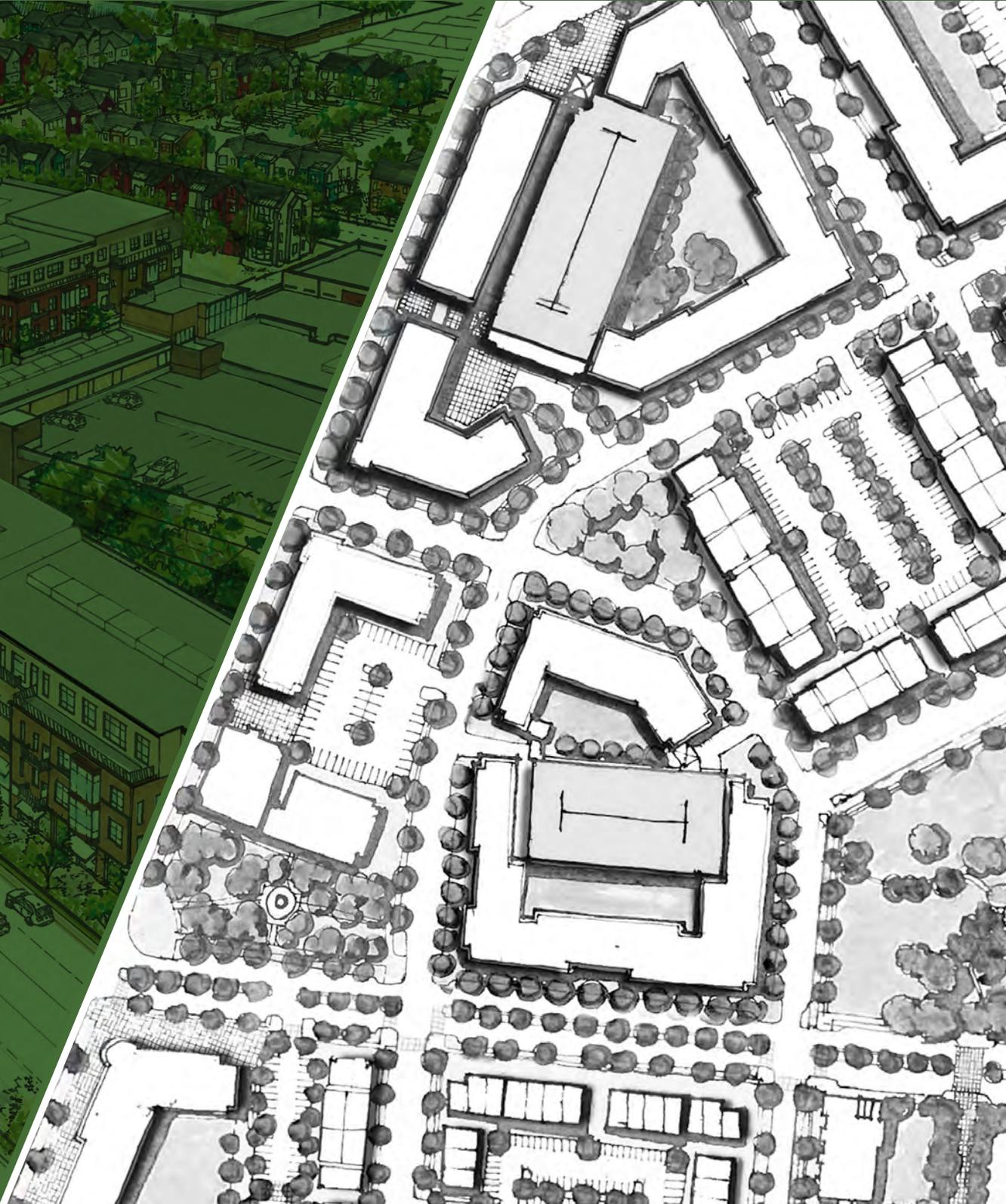
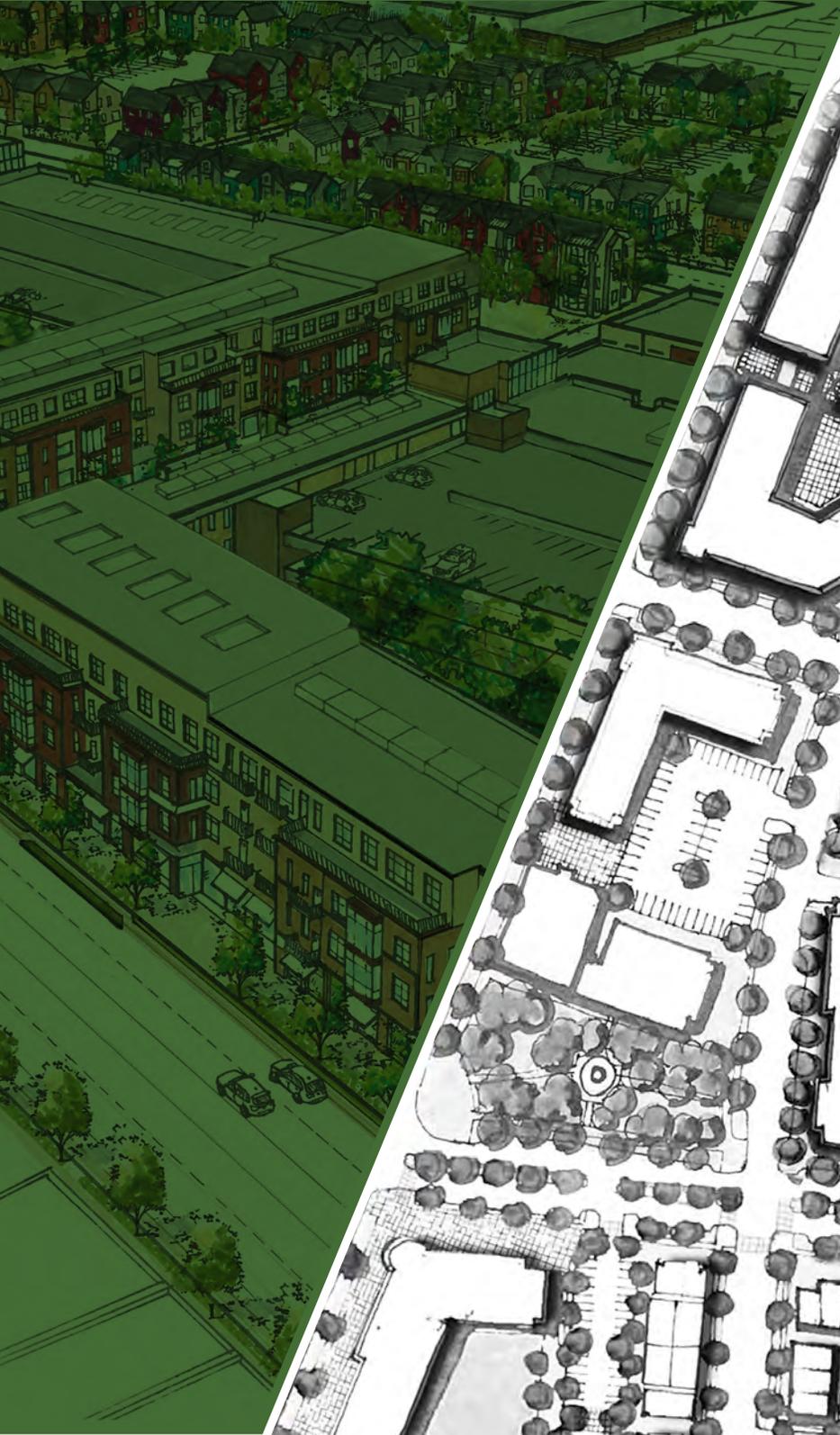


2019SP-036-001



NAPIER AND SUDEKUM
PRELIMINARY SPECIFIC PLAN DOCUMENT

CREDITS

THANKS TO

The planning team explicitly acknowledges the following groups and individuals for their contribution to the planning process

MDHA Board of Commissioners:

MDHA Staff,

Councilman Freddie O'Connell, District 19 Councilman

The Survey Team

The Work Group Leadership

Community Advisory Group

PREPARED BY:

Kimley-Horn - Master Planning, Engineering, and Landscape Architecture,

Moody Nolan - Design Guidelines and Architecture

Lord Aeck Sargent - Master Planning Services

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**LORD
AECK
SARGENT**

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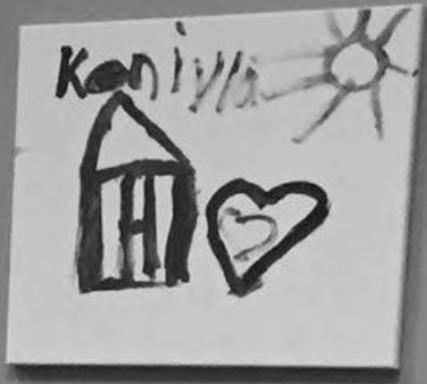
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01



BACK



GROUND

PROJECT BACKGROUND

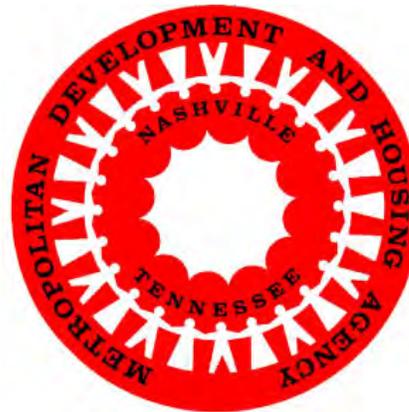
On behalf of the Metropolitan Development Housing Authority (MDHA), we are pleased to submit this request for a Specific Plan (SP) approval for the Napier Sudekum development. This SP marks a significant progress in the development of both affordable housing and the urban fabric of Nashville, Tennessee. This plan will allow the efficiency of the grid network to extend through to Lafayette Street and incorporate a neighborhood that has been isolated from the existing public infrastructure. Infrastructure connectivity such as central open space and effective public transportation create healthy and vibrant communities. Thanks to MDHA, the public involvement process has been unparalleled from the beginning of the planning process for this development. Over the past two years, residents of Napier and Sudekum, South Nashville, and a large variety of stakeholders throughout Middle Tennessee have kept the vision for revitalizing this neighborhood alive. Not only will this plan utilize the knowledge of what has and hasn't worked in the past, but most importantly, it will work hard to retain and accommodate the current residents. This is an exciting time for Nashville, and this Specific Plan will guide redevelopment of Napier Sudekum for years to come.

- SP Name: Napier Sudekum
- Council District: 19
- Council Representative: Freddie O'Connell
- FEMA Firm Panel: 47037C0244H
- Existing Zoning: Planned Unit Development (PUD), Residential Multi-family 20 Units/Acre (RM20)
- Developer: MDHA
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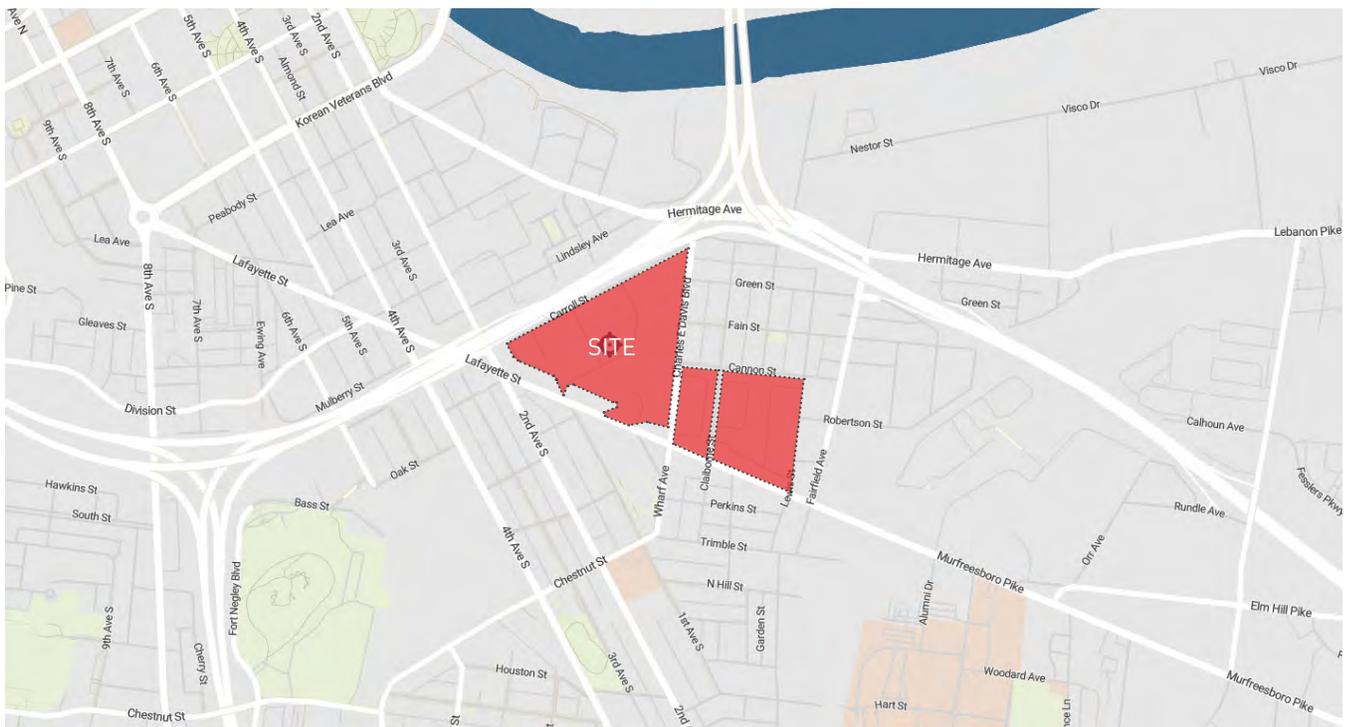
Development Standard Hierarchy

There have been several documents created that guide and specify regulations for the development of Napier and Sudekum. Below in legally binding order:

1. Napier Sudekum Transformation Plan
2. Napier Sudekum Specific Plan
3. Napier Sudekum Design Guidelines
4. Fallback Zoning Districts - as outlined in this Specific Plan Document



VICINITY MAPS



HISTORY AND PLANNING PROCESS

CHOICE NEIGHBORHOOD

In July 2016, Nashville was one of ten cities awarded a Choice Neighborhoods Planning Grant by the U.S. Department of Housing and Urban Development (HUD). As outlined by HUD, the Choice Neighborhoods Initiative supports robust community planning to address struggling neighborhoods with distressed public housing. The grant funded a comprehensive neighborhood Transformation Plan to revitalize JC Napier Place (Napier) and Tony Sudekum Apartments (Sudekum) as well as the surrounding neighborhoods. By leveraging support from public, private, and non-profit partners throughout the community, the vision of the Choice Neighborhoods Planning Grant for Napier and Sudekum was to provide a framework to accomplish the following:

- Ensure there is a 1 for 1 replacement of the 821 existing federally subsidized units
- Prioritize a resident and community-driven planning process
- Establish a mixed-income, mixed-use community that will welcome, support and improve opportunities for new and existing residents
- Enhance and improve the economic and cultural diversity of South Nashville
- Ensure green, sustainable, and financially feasible development
- Connect with and leverage other local initiatives

COMMUNITY PLANNING

Launched in November 2016, the Choice Neighborhoods Envision Napier and Sudekum planning process consisted of 20 months of intense, community driven efforts to revitalize and redevelop South Nashville. The main objective was to build upon the existing plans to develop a community-driven vision, addressing the challenges and needs

of the residents and community, and to create a plan to implement the vision.

Multiple committees and Work Groups were formed to ensure maximum participation and engagement of the community leaders, stakeholders, and residents. MDHA and the Design Team offered various opportunities for community involvement during the process and utilized multiple interactive charrettes and events to encourage residents to become part of the planning. The process included 9 Community Advisory Groups (CAG) meetings, 7 Resident-only meetings, 7 Town Hall meetings, 34 Work Group Sessions, and 3 Community Charrettes.

Starting with representatives from 26 local, non-profit and civic organizations that supported the initial Choice Neighborhoods application, the CAG was formed and charged with guiding the flow and implementation of the planning process. As meetings occurred, additional civic, community organizations, churches, and resident leaders were recruited and added to the CAG, with its total membership rising to 62 active members. CAG meetings were held regularly to ensure all partners were well-informed on the progress of the planning grant and could assist in shaping the direction and vision of Envision Sudekum Napier (ENS).

To guarantee a collaborative effort between community partners and resident leaders throughout the planning process, Work Group leaders were elected and charged with assisting planning staff with the facilitation of each meeting.

While resident recruitment was an ongoing effort from the beginning, specific Resident-Only meetings were held so residents unable to participate in the ongoing Work Group efforts could still remain informed, and for those who may have felt intimidated in the larger Town Hall meetings, have a voice in the direction and vision of the planning process. Resident-Only meetings were also used as mini charrettes, providing feedback on conditions and design options prior to the community-wide charrette workshops.



To ensure overall community input throughout the process, public Town Hall meetings were held at key junctures throughout the planning process. During these meetings, community partners and citizens from the Nashville area were welcome to attend for updates.

Capacity building throughout the planning process was rounded out by three primary events with the intent for these events to continue annually even after the planning project was completed.

- Bridging the Gap Resource Fair: this event targeted specific resources and service providers outlined as strategic needs within the Plan. Providers span areas that include employment, social services, healthcare, and education. The event grew from 600 attendees in 2016 to over 900 in 2017.
- South Nashville Street Fest Coming Together Day: this event addressed the history of this community with the historic and physical divide, occurring along Charles E. Davis Boulevard with a street festival to celebrate and engage residents with games and activities for all ages. The 2017 Street Fest served as a public kickoff for the planning process, and the 2018 Street Fest was designed to celebrate the completion of the planning process and transition towards implementation.
- South Nashville Night Out Against Crime: this event brought residents together in order to strengthen neighborhood spirit and build strong ties with local law enforcement. The 2017 event had over 1,000 individuals in attendance, recognizing that crime is one of the biggest barriers to self-sufficiency in this community.

ALTERNATIVES

Coordination with the Work Groups and the community members, feedback at the charrettes, and input from the Needs Assessment resident survey and Housing Market Study ensured that

the Design Team developed a site plan which addressed the needs of the residents and larger community. The site plan alternatives were based on these critical elements identified in the planning process: walkable blocks, street connectivity, mix of uses, mix of housing choices, density capable to surround neighborhoods, community amenities and open spaces, and complete streets encouraging multimodal transportation.

Based on a housing and retail market analysis completed by the Design Team, three options were provided for the community to review.



ENVISION NAPIER SUDEKUM

OVERALL TRANSFORMATION PLAN





PREFERRED SITE PLAN

The residents and community were asked to compare and rank the different alternatives and their elements to help develop the hybrid Preferred Plan. This plan illustrates the Preferred Plan for Napier and Sudekum. The Plan proposes 1,900-2,100 units and would be a mix of affordable, market rate, and workforce housing. The overall target is 40% affordable, 20% workforce, and 40% market-rate housing.

The Plan proposes the integration of a street grid throughout the Napier and Sudekum communities to provide pedestrian and vehicular travel to and through the community. Incorporation of sidewalks and crosswalks are also critical to provide a safe pedestrian environment. Charles E. Davis Boulevard will serve as the main spine, running north and south through the neighborhood, increasing aesthetics, slowing traffic, and creating a sense of place achieved with streetscape details. Cannon street becomes the east and west connector through the new development, connecting the new green open space and Napier Elementary School. Lafayette Street is designated as a future major transit corridor for Nashville, and will rely on the development of Complete Streets amenities to provide a more inviting walkable environment to improve multi-modal access within the community.

The Plan strives to expand the community's green space opportunities with a large community park that provides easy access for residents throughout the neighborhood. Central Park will also provide pedestrian connections to the community's new HUB, which will feature an indoor community center, outdoor plaza, health clinic, and public library.

As safety is one of the prime concerns of the Napier and Sudekum residents, Crime Prevention Through Environmental Design (CPED) principles were also incorporated in the Plan.

SPECIFIC PLAN BOUNDARIES

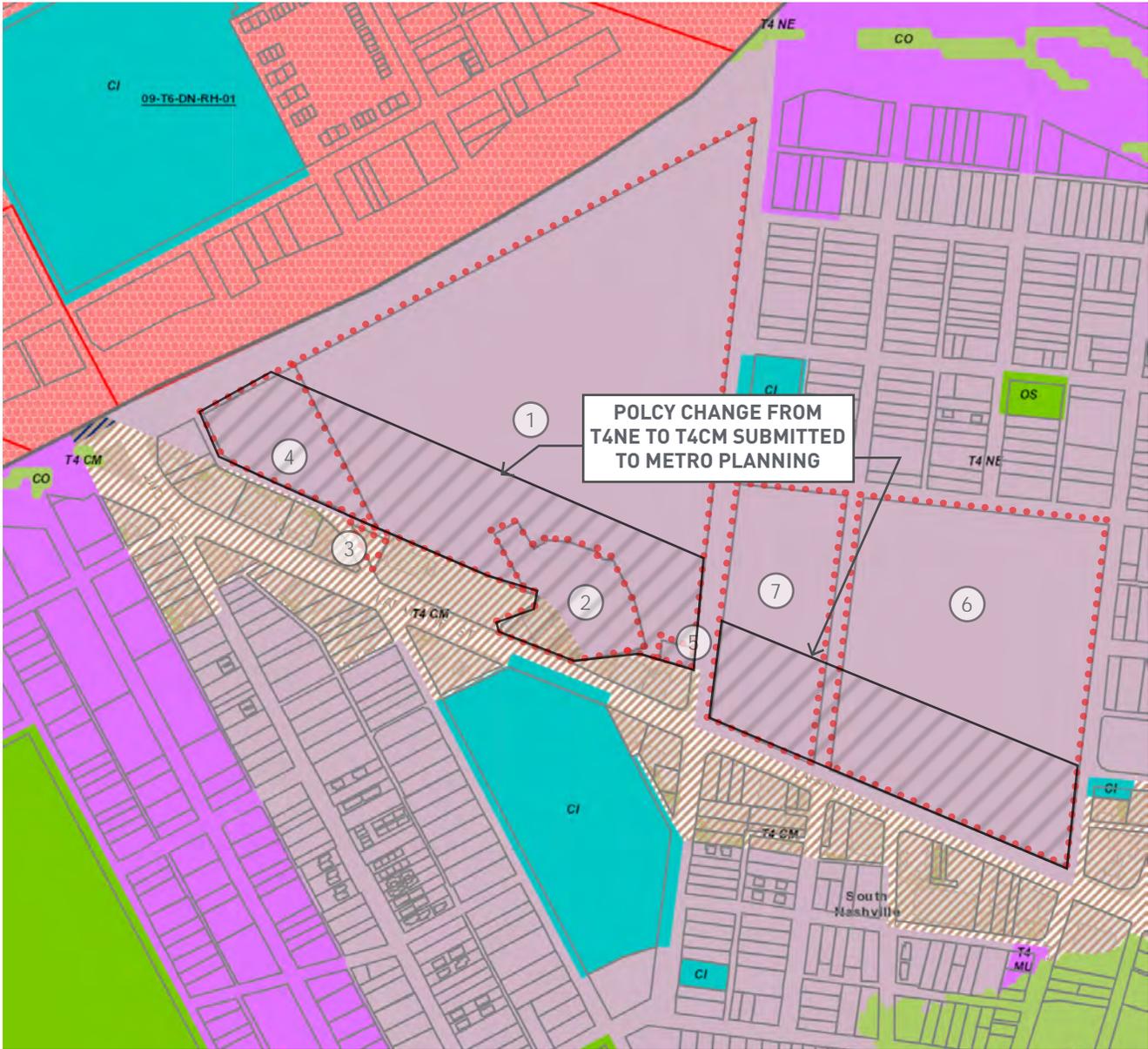


Number	Parcel ID	Site Area (Acres)	Owner	Existing Zoning
1	9315010800	28.73	MDHA TONY SUDEKUM HOMES	PUD/OV-RES
2	9315039200	2.71	MDHA TONY SUDEKUM HOMES	CS
3	9315037800	0.16	MDHA	CS
4	9315010600	2.87	MDHA TONY SUDEKUM HOMES	PUD/OV-RES
5	9315011100	0.13	MDHA TONY SUDEKUM HOMES	PUD/OV-RES
6	9316015000	16	MDHA	PUD/OV-RES
7	9316004100	5.87	J.C. NAPIER HOMES	PUD/OV-RES

56.47



EXISTING LAND USE POLICY



- T4 NE, URBAN NEIGHBORHOOD EVOLVING
- T4 CM, CORRIDOR MIXED-USE
- SPECIFIC PLAN BOUNDARY
- LAND USE POLICY AMENDMENT BOUNDARY

GENERAL PLAN CONSISTENCY

The proposed Napier and Sudekum SP is consistent with the T4NE and T4 CM policies. The plan strives to create a mixed-use development that encourages increased walkability and connectivity between the site and the surrounding communities. The site plan places more density and massing on a high priority transit corridor heading into downtown while creating an effective transition to the surrounding single family neighborhoods.

EXISTING CONDITIONS





SITE CONDITIONS

Today MDHA operates two properties on the north side of Lafayette Street at the intersection with Charles E. Davis Boulevard. East of Charles E. Davis is J C Napier Homes- which covers 21.87 acres and contains 378 units. Across Charles E. Davis to the west is the larger Tony Sudekum Apartments which sprawls 443 residential units across 31.6 Acres. Together these two complexes cover over 56 square acres and have over 820 residential units today,

The creation of J C Napier and Tony Sudekum Homes with the development of the Interstate led to a fragmentation of the historic street grid. The Napier side of the Specific Plan has an increased importance of transitioning into the existing neighborhood both with points of access and scale of development.

The site has some topographical challenges that affect both the Napier and Sudekum sides of the study area. On the Sudekum side the slope runs upward from a low point at Charles E. Davis to the western boundary at Carroll Street adjacent to I-40. The Napier side of the development has a slight high point in the middle of the green space and slopes down from there. The most challenging grade difference occurs along the Lafayette Street frontage where the sidewalk is 6'-10' above the front porch or stoops of the units fronting the street.

02

DEVELOPMENTAL STAIR





DEVELOPMENT STANDARDS

SPECIFIC PLAN MASTER PLAN





MASTER PLAN

The Specific Plan is designed to build on the momentum developed throughout the Transformation plan process.

The design approach for Napier Sudekum is to consolidate the site's density and non-residential uses at the priority corridor of Lafayette Street leading into Downtown Nashville. These structures are seen as 5 to 6 story mid-rise buildings that are accessed from wrapped parking structures.

Moving away from Lafayette Street into the site the height and density begins to step down as the development begins to transition to the neighboring community. Density tapers down to low-rise flats to surface parked townhomes as the development approaches the boundaries of the site.

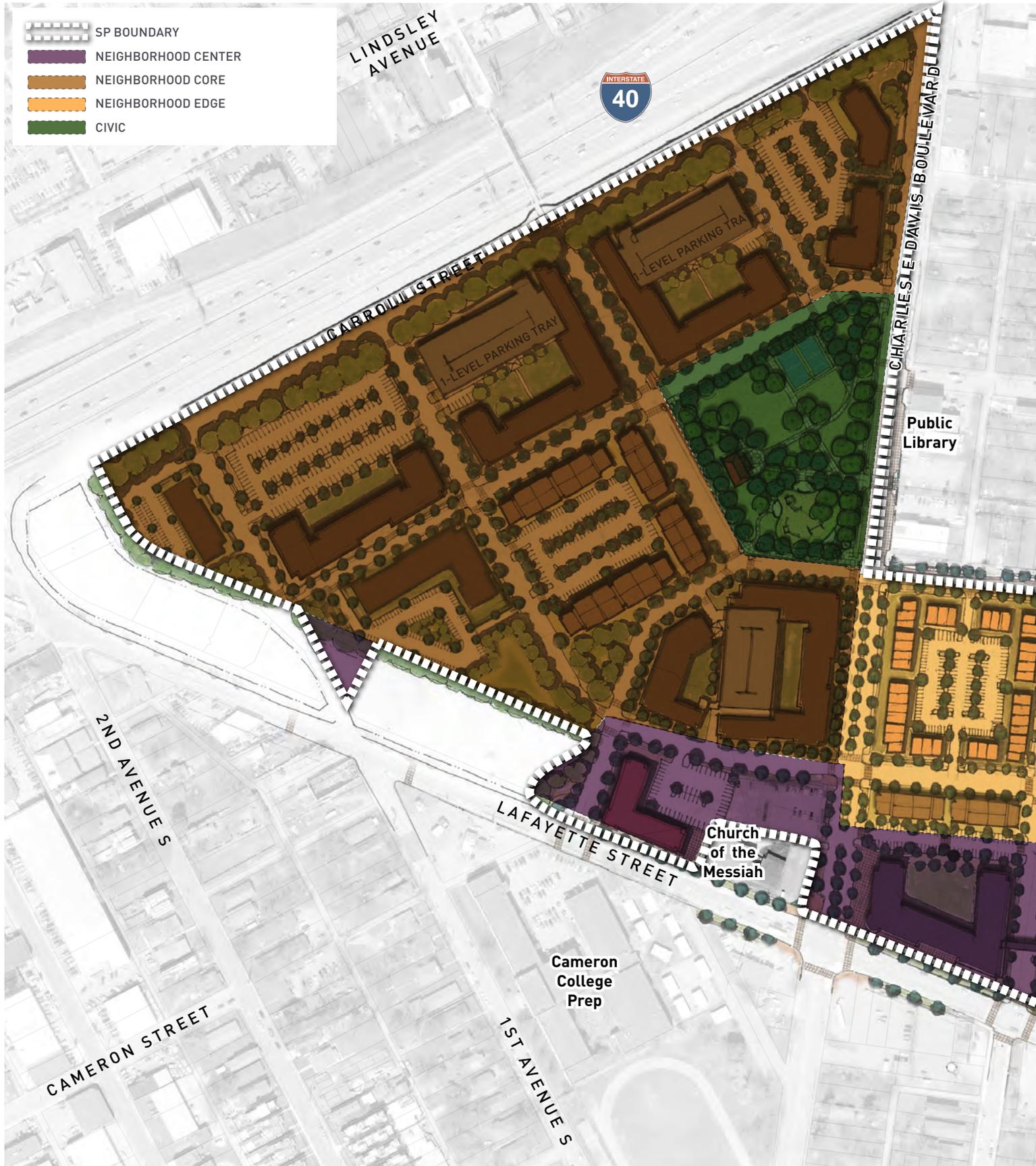
The site also utilizes new secondary connector streets to help establish the former street grid that crossed through the neighborhood.

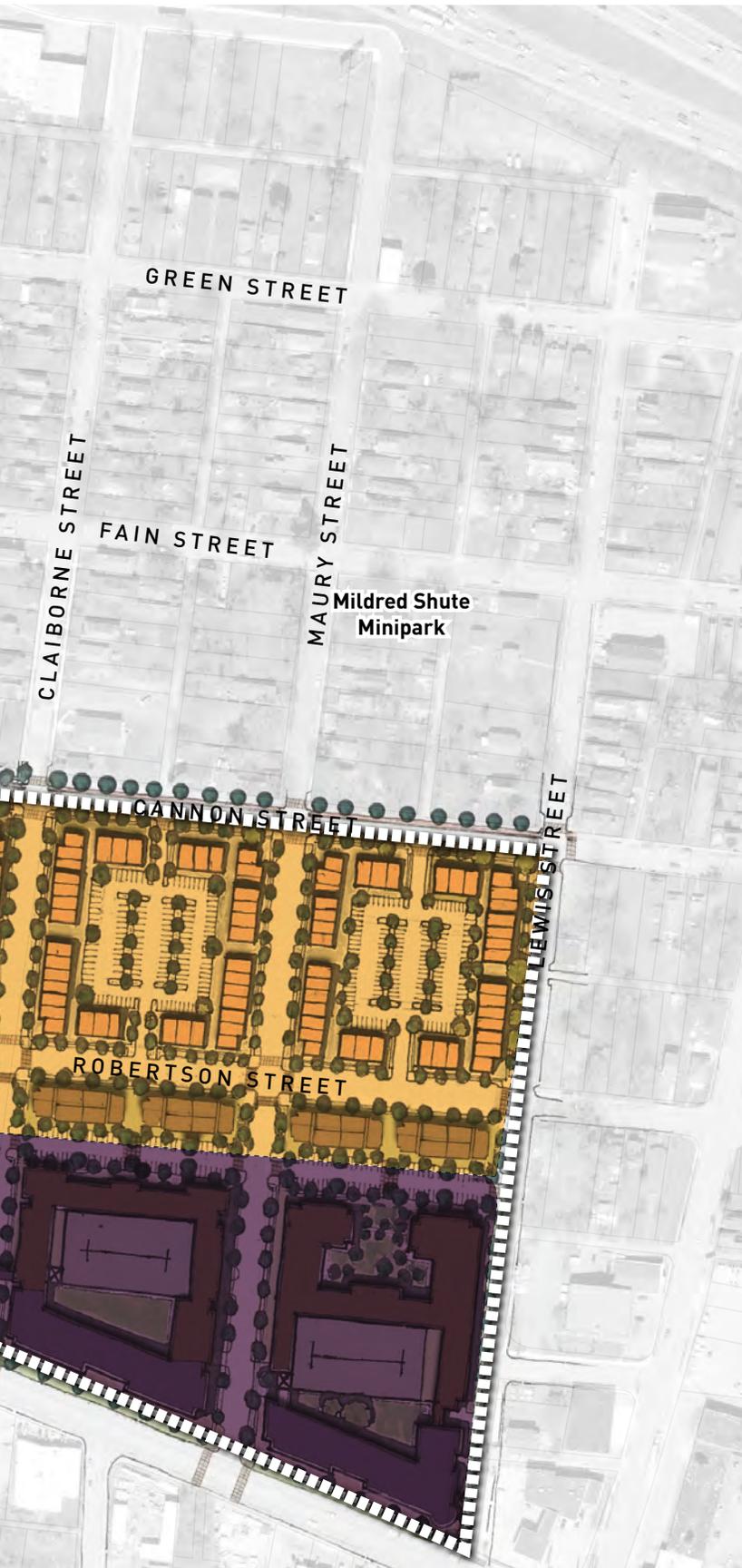
Through the Specific Plan, South Nashville will be afforded a level of quality and a sense of community. The intent of the Napier and Sudekum SP is to provide a high quality, mixed-income mixed-use community, that creates an attractive destination for live, work, and play.

This plan is intended to:

- Provide a variety of housing price points and types from single-family to townhomes and various scales of multifamily, in order to accommodate the housing needs of a diverse population;
- Emphasize the importance of the pedestrian environment through appropriate scale and form, while incorporating public open space that provides a public benefit in key locations within the development;
- Contextually blend the edge portions of the development with the surrounding neighborhoods.

SUBDISTRICT





NEIGHBORHOOD CENTER

Location: Primarily fronting Lafayette Street

Scale: 6 Stories Maximum

Intent: Provide a mixture of uses along Lafayette Street capitalizing on the site's proximity to Downtown Nashville and Wedgewood Houston.

NEIGHBORHOOD CORE

Location: Between Charles E. Davis Boulevard and Carroll Street, all found west of Charles E. Davis Boulevard.

Scale: 4 Stories Maximum, Predominately 3-4 Stories

Intent: Provide a mixture of housing choice west of Charles E. Davis Boulevard with slightly higher density away from the adjacent single-family neighborhood.

NEIGHBORHOOD EDGE

Location: Bound by Cannon Street to the north, Lewis Street to the east, and Charles E. Davis Street to the West. The southern portion includes all frontages to the extended Robertson Street.

Scale: 3 Story Maximum, Garden style apartments are envisioned at 3 stories with townhomes being a mixture of 2-3 stories depending on the grade.

Intent: Provide a mixture of housing types for the community while transitioning density and scale into the neighborhood.

CIVIC

Location: Fronting Charles E. Davis Boulevard and bound to the south by Cannon Street.

Scale: 2 Stories Maximum, Structures intended to be community serving or open-air park structures

Intent: Provide a well-designed community open space

STANDARDS AND REGULATIONS

BULK STANDARDS

Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The Planning Department may allow necessary adjustments to the build-to zone when existing utilities or utility easements are within the build-to zone and unusual circumstances require that the utilities cannot be relocated or easements reduced. The Planning Department may allow necessary adjustments to the build-to zone based on the nature of the existing and future land uses and site conditions in the general vicinity. Refer to the Napier Sudekum Design Guidelines for full regulation standards including building architecture, massing, facades, roofs, materials, access and parking, awnings and canopies, walls and fences, and build-to lines.

BULK STANDARD	Neighborhood Center	Neighborhood Core	Neighborhood Edge	Civic
Zoning and Uses				
Fall Back Zoning	MUG-A	RM40-A	RM20-A	R6-A
Developable Area				
Floor Area Ratio (FAR)	4.5	3.5	2.5	0.5
Impervious Surface Ratio (ISR)	0.9	0.75	0.75	0.25
Height				
Primary District Height ⁽³⁾	6 Stories in 90'	4 Stories in 60'	4 Stories in 60' (South of Robertson) 3 Stories in 50' (North of Robertson)	2 Stories in 35'
Residential Raised Foundation ⁽⁵⁾	18"-4'	18" - 3'	18"-4'	N/A
Non-Residential Raised Foundation	3' Maximum	3' Maximum	3' Maximum	3' Maximum
Minimum First Floor Height	13' (26' single story)	N/A	N/A	N/A
Setbacks				
Front Setback	0'	5'	5'	0'
Street/Open Space Build-to-zone ⁽²⁾	10'	5-15' Primary and Secondary	5-20' Primary and Secondary	N/A
		5-25' all other	5-30' all other	
Façade Width/Street Wall	80% Primary and Secondary	80% Primary and Secondary	70% Primary and Secondary	N/A
Rear Setback	0'	10'	0'	10'
Side Setback	0'	5'	5'	5'
Minimum Building Separation	0'	10'	10'	30'

1. Architectural Standards to be governed through MDHA Napier Sudekum Design Guidelines
2. Build-to shall be measured from Open Space, plazas, and other publicly accessible spaces
3. Height measured from top of raised foundation to top of roof deck. Towers, roof forms, stairwells, and other rooftop unconditioned space shall be excluded from height calculations
4. Required parking shall be excluded from FAR calculations
5. 4' permitted with additional landscape and screening standards where topography challenges exist



ACCEPTABLE USES

The following uses are acceptable in each of the listed subareas.

PERMITTED USES	Neighborhood Center	Neighborhood Core	Neighborhood Edge	Civic
Single Family		●	●	
Two Family		●	●	
Multi-Family	●	●	●	
Cultural Center	●	●	●	○
Day Care Center (up to 75)	●			○
Day Care Center (over 75)	●			○
Day Care Home				
Day Care- Parent's Day Out	●			○
School Day Care				○
Religious Institution	●			○
Business School	●			○
Community Education	●			○
Personal Instruction	●			○
Financial Institution	●			
General Office	●			
Leasing/Sales Office	●	●	●	○
Animal Hospital	●			
Assisted-Care Living	●			
Medical Office	●			
Medical or Scientific Lab	●			
Outpatient Clinic	●			
ATM	●			
Business Service	●			
Community Gardening (commercial)	●			○
Community Gardening (non-commercial)	●	●	●	○
Grocery Store	●			
Home Improvement Sales	●			
Hotel/Motel	●			
Personal Care Services	●			
Restaurant, Fast-Food	●			
Restaurant, Full-Service	●			
Restaurant, Take-Out	●			
Retail	●			
Multi-Media Production	●			
Greenway	●	●	●	○
Park	●	●	●	○
Recreation Center	●	●		○
Small Outdoor Music Event				○
Temporary Festival				○
Theater	●			○
Theatre	●			○
Pond/Lake		●		○

NEIGHBORHOOD CENTER

Intent: Provide a mixture of uses along Lafayette Street capitalizing on the site’s proximity to Downtown Nashville and Wedgewood Houston, serve the surrounding area, by providing ground floor retail paired with office and other commercial uses along the street.

Parking and Access:

Parking shall be provided predominately through parking structures with some on-street and surface lots permitted for commercial uses.

Parking Garage Screening/Lining: Parking structures fronting a primary, secondary, or shared street R.O.W. or public open space shall be screened and lined with an active use along the ground floor.

With the exception of public streets, private shared access alleyways shall be the only permitted access points onto primary streets.

Frontage Standards:

Build-to: Where buildings directly front public streets or common areas (e.g. sidewalks, open space), 80% of the front facade must be built within 10’ from the back of the proposed sidewalk.

Projections and recesses up to 4 feet along the street wall for architectural articulation are permitted.

Ground Floor Access: Non-residential ground floor uses shall provide a public entrance from the public sidewalk.

Building Frontage/Orientation: All structures shall provide a primary frontage on to streets and/or open space as well as provide a minimum of one principal entrance on to public right of way and/or open space.

BULK STANDARD	Neighborhood Center
Zoning and Uses	
Fall Back Zoning	MUG-A
The Neighborhood Center district is intended to include a mixture of uses along Lafayette Street that transitions to high density residential off of the corridor.	
Developable Area	
Floor Area Ratio (FAR)	4.5
Impervious Surface Ratio (ISR)	0.9
Height	
Primary District Height	6 Stories in 90'
Residential Raised Foundation	18"-4'
Non-Residential Raised Foundation	3' Maximum
Minimum First Floor Height	13' (26' single story)
Setbacks	
Street/Open Space Build-to-zone	10'
Façade Width/Street Wall	80% Primary and Secondary
Rear Setback	0'
Side Setback	0'
Minimum Building Separation	0'

Height and Foundation:

Maximum height shall be measured from top of raised foundation along principal frontage to bottom of parapet/roof deck and shall not exceed 90’ and/or 6 stories.

Raised foundations are required on all residential properties and must be greater than 18” and less than 48”. Raised foundations on non-residential properties are not required, but if provided must be less than 36”.

Raised foundations greater than 36” shall be screened by utilizing additional landscaping, low walls, and/or fencing.





Figure 1. Neighborhood Center East of Charles E. Davis

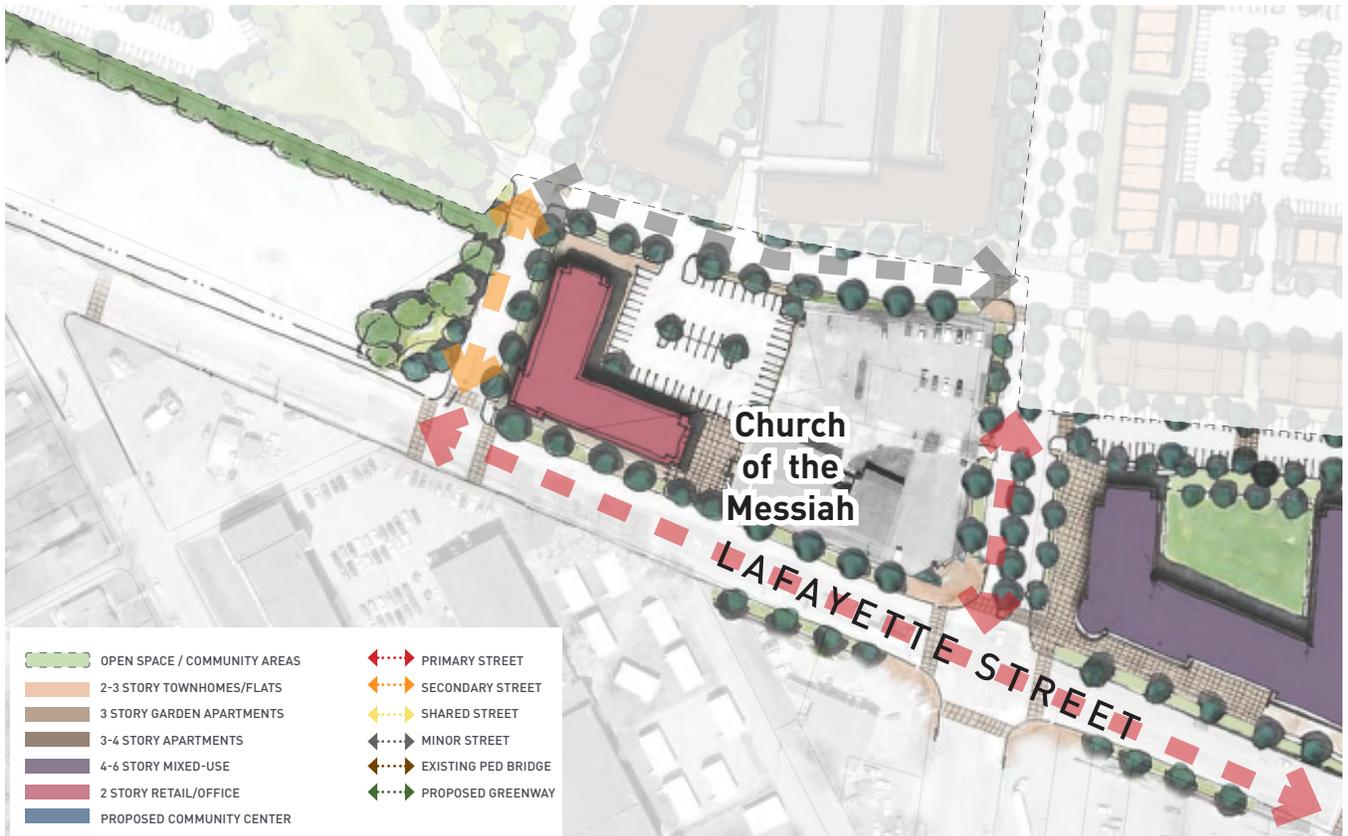


Figure 2. Neighborhood Center West of Charles E. Davis

- | | | | |
|--|------------------------------|--|---------------------|
| | OPEN SPACE / COMMUNITY AREAS | | PRIMARY STREET |
| | 2-3 STORY TOWNHOMES/FLATS | | SECONDARY STREET |
| | 3 STORY GARDEN APARTMENTS | | SHARED STREET |
| | 3-4 STORY APARTMENTS | | MINOR STREET |
| | 4-6 STORY MIXED-USE | | EXISTING PED BRIDGE |
| | 2 STORY RETAIL/OFFICE | | PROPOSED GREENWAY |
| | PROPOSED COMMUNITY CENTER | | |

NEIGHBORHOOD CORE

Intent: Provide a mixture of housing choices west of Charles E. Davis Boulevard with slightly higher density away from the adjacent single-family neighborhood. Residential units will be predominately provided in stacked flats configuration and provide an active frontage to the planned community park and greenway path/pedestrian bridge.

Parking and Access:

Parking shall be provided through a mixture of parking structures, surface lots, and on-street spaces.

Parking Garage Screening/Lining: Parking structures fronting a primary, secondary, or shared street R.O.W. or public open space shall be screened and lined with an active use along the ground floor.

With the exception of public streets, private shared access alleyways shall be the only permitted access points onto primary streets.

Frontage Standards:

Build-to/Setback: Buildings must be setback 5' from the right-of-way.

Where buildings directly front public streets or common areas (e.g. sidewalks, open space), 80% of the front facade must be built within 5-15' (primary or secondary streets) or 5-25' (all others) from the back of the proposed sidewalk.

Projections and recesses up to 4 feet along the street wall for architectural articulation are permitted.

Ground Floor Access: Non-residential ground floor uses shall provide a public entrance from the public sidewalk.

Building Frontage/Orientation: All structures shall provide a primary frontage on to streets and/or open space as well as provide a minimum of one principal entrance on to public right-of-way and/or open space.

BULK STANDARD	Neighborhood Core
Zoning and Uses	
Fall Back Zoning	RM40-A
The Neighborhood Core district is intended to include high density residential off of the corridor. This district creates an active front along the civic district/neighborhood park space.	
Developable Area	
Floor Area Ratio (FAR)	3.5
Impervious Surface Ratio (ISR)	0.75
Height	
Primary District Height	4 Stories in 60'
Residential Raised Foundation	
Residential Raised Foundation	18" - 3'
Non-Residential Raised Foundation	
Non-Residential Raised Foundation	3' Maximum
Minimum First Floor Height	N/A
Setbacks	
Street Setback (Frontage Zone)	5'
Street/Open Space Build-to-zone	5-15' Primary and Secondary 5-25' all other
Façade Width/Street Wall	80% Primary and Secondary
Rear Setback	10'
Side Setback	5'
Minimum Building Separation	10'

Height and Foundation:

Maximum height shall be measured from top of raised foundation along principal frontage to bottom of parapet/roof deck and shall not exceed 60' and/or 4 stories.

Raised foundations are required on all residential properties and must be greater than 18" and less than 36". Raised foundations on non-residential properties are not required, but if provided must be less than 36".





Figure 1. Neighborhood Core

- | | | | |
|---|------------------------------|---|---------------------|
|  | OPEN SPACE / COMMUNITY AREAS |  | PRIMARY STREET |
|  | 2-3 STORY TOWNHOMES/FLATS |  | SECONDARY STREET |
|  | 3 STORY GARDEN APARTMENTS |  | SHARED STREET |
|  | 3-4 STORY APARTMENTS |  | MINOR STREET |
|  | 4-6 STORY MIXED-USE |  | EXISTING PED BRIDGE |
|  | 2 STORY RETAIL/OFFICE |  | PROPOSED GREENWAY |
|  | PROPOSED COMMUNITY CENTER | | |

NEIGHBORHOOD EDGE

Intent: Provide a mixture of housing types for the community while transitioning density and scale into the neighborhood. This section is intended to provide a variety of lower intensity residential types to provide greater choice within the development.

Parking and Access:

Parking shall be provided through a mixture of surface lots, private garages, and on-street spaces.

With the exception of public streets, private shared access alleyways shall be the only permitted access points onto primary streets.

Frontage Standards:

Build-to: Buildings must be setback 5' from the right-of-way.

Where buildings directly front primary or secondary streets or common areas (e.g. sidewalks, open space), 70% of the front facade must be built within 5-20' (primary or secondary streets) or 5-30' (all others) from the back of the proposed sidewalk.

Projections and recesses up to 4 feet for architectural articulation are permitted. Projections and recesses up to 4 feet along the street wall for architectural articulation are permitted.

Ground Floor Access: Non-residential ground floor uses shall provide a public entrance from the public sidewalk.

Building Frontage/Orientation: All structures shall provide a primary frontage on to streets and/or open space as well as provide a minimum of one principal entrance on to public right of way and/or open space.

Height and Foundation:

Maximum height shall be measured from top of raised foundation along principal frontage to

BULK STANDARD	Neighborhood Edge
Zoning and Uses	
Fall Back Zoning	RM20-A
The Neighborhood Edge district is intended to transition the higher density Neighborhood Center district to the existing neighborhood North of Cannon Street.	
Developable Area	
Floor Area Ratio (FAR)	2.5
Impervious Surface Ratio (ISR)	0.75
Height	
Primary District Height	4 Stories in 60' (South of Robertson)
	3 Stories in 50' (North of Robertson)
Residential Raised Foundation	18"-4'
Non-Residential Raised Foundation	3' Maximum
Minimum First Floor Height	N/A
Setbacks	
Street Setback (Frontage Zone)	5'
Street/Open Space Build-to-zone	20' Primary and Secondary 30' all other
Facade Width/Street Wall	70% Primary and Secondary
Rear Setback	0'
Side Setback	5'
Minimum Building Separation	10'

bottom of parapet/roof deck and shall not exceed 60' and/or 4 stories (south of Robertson) and 50' and/or 3 stories (north of Robertson).

Raised foundations are required on all residential properties and must be greater than 18" and less than 48". Raised foundations on non-residential properties are not required, but if provided must be less than 36".

Raised foundations greater than 36" shall be screened by utilizing additional landscaping, low walls, and/or fencing.



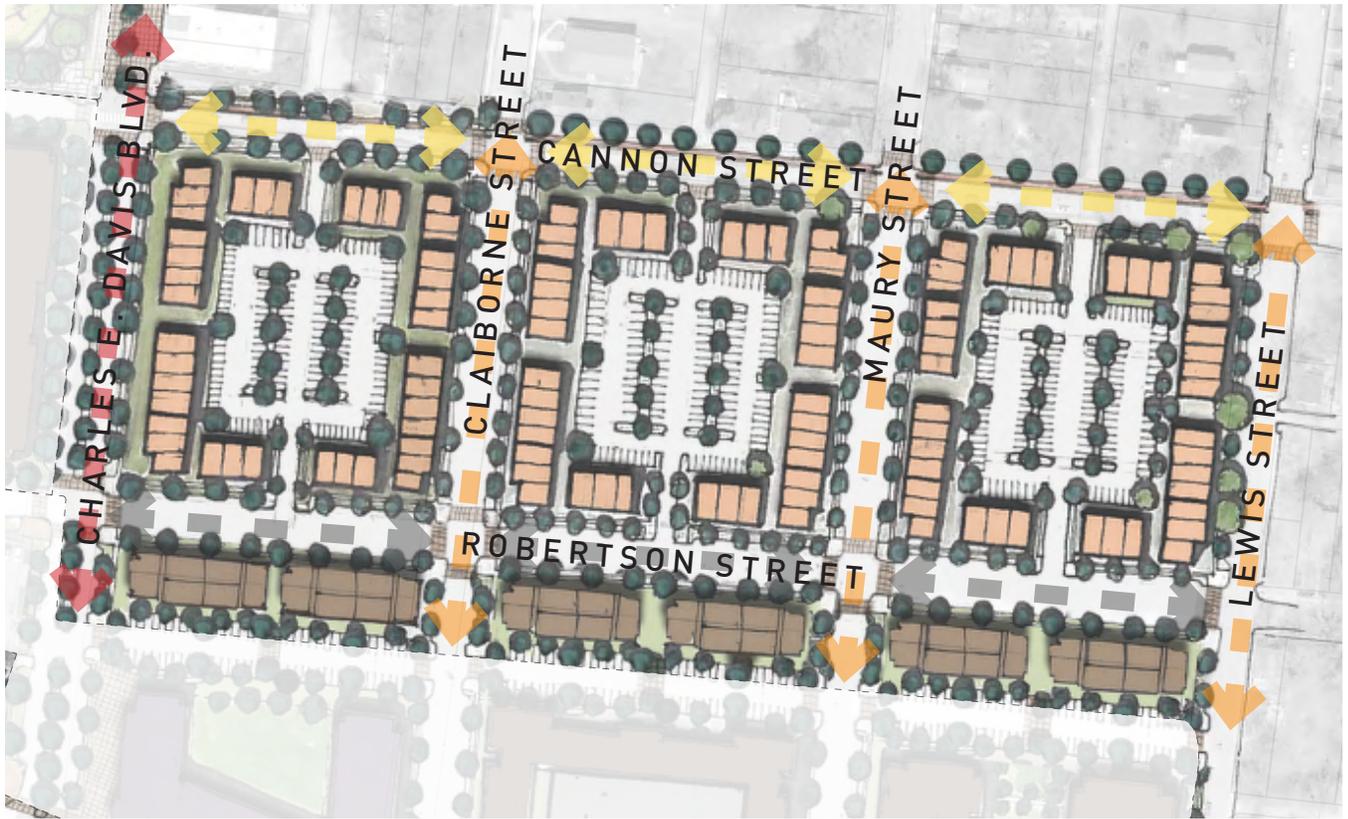


Figure 1. Neighborhood Edge



- | | | | |
|---|------------------------------|---|---------------------|
|  | OPEN SPACE / COMMUNITY AREAS |  | PRIMARY STREET |
|  | 2-3 STORY TOWNHOMES/FLATS |  | SECONDARY STREET |
|  | 3 STORY GARDEN APARTMENTS |  | SHARED STREET |
|  | 3-4 STORY APARTMENTS |  | MINOR STREET |
|  | 4-6 STORY MIXED-USE |  | EXISTING PED BRIDGE |
|  | 2 STORY RETAIL/OFFICE |  | PROPOSED GREENWAY |
|  | PROPOSED COMMUNITY CENTER | | |

Figure 2. Typical Block Structure in Neighborhood Edge

CIVIC

Intent: Provide a well designed community open space that benefits the Specific Plan area as well as the larger South Nashville Community.

Parking and Access:

Parking shall be provided predominately through on-street spaces with some small surface lots permissible.

With the exception of public streets, private shared access alleyways shall be the only permitted access points onto primary streets.

Frontage Standards:

Ground Floor Access: Non-residential ground floor uses shall provide a public entrance from the public sidewalk.

Building Frontage/Orientation: All structures shall provide a primary frontage on to streets and/or open space as well as provide a minimum of one principal entrance on to public right of way and/or open space.

Height and Foundation:

Maximum height shall be measured from top of raised foundation along principal frontage to bottom of parapet/roof deck and shall not exceed 35’ and/or 2 stories (south of Robertson) and 50’ and/or 3 stories (north of Robertson).

Raised foundations on non-residential properties are not required, but if provided must be less than 36”.

BULK STANDARD	Civic
Zoning and Uses	
Fall Back Zoning	R6-A
The Civic District is intended to create an open space and community hub for the larger community.	
Developable Area	
Floor Area Ratio (FAR)	0.5
Impervious Surface Ratio (ISR)	0.25
Height	
Primary District Height(3)	2 Stories in 35'
Residential Raised Foundation(5)	N/A
Non-Residential Raised Foundation	3' Maximum
Minimum First Floor Height	N/A
Setbacks	
Street/Open Space Build-to-zone	0'
Facade Width/Street Wall	N/A
Rear Setback	10'
Side Setback	5'
Minimum Building Separation	30'



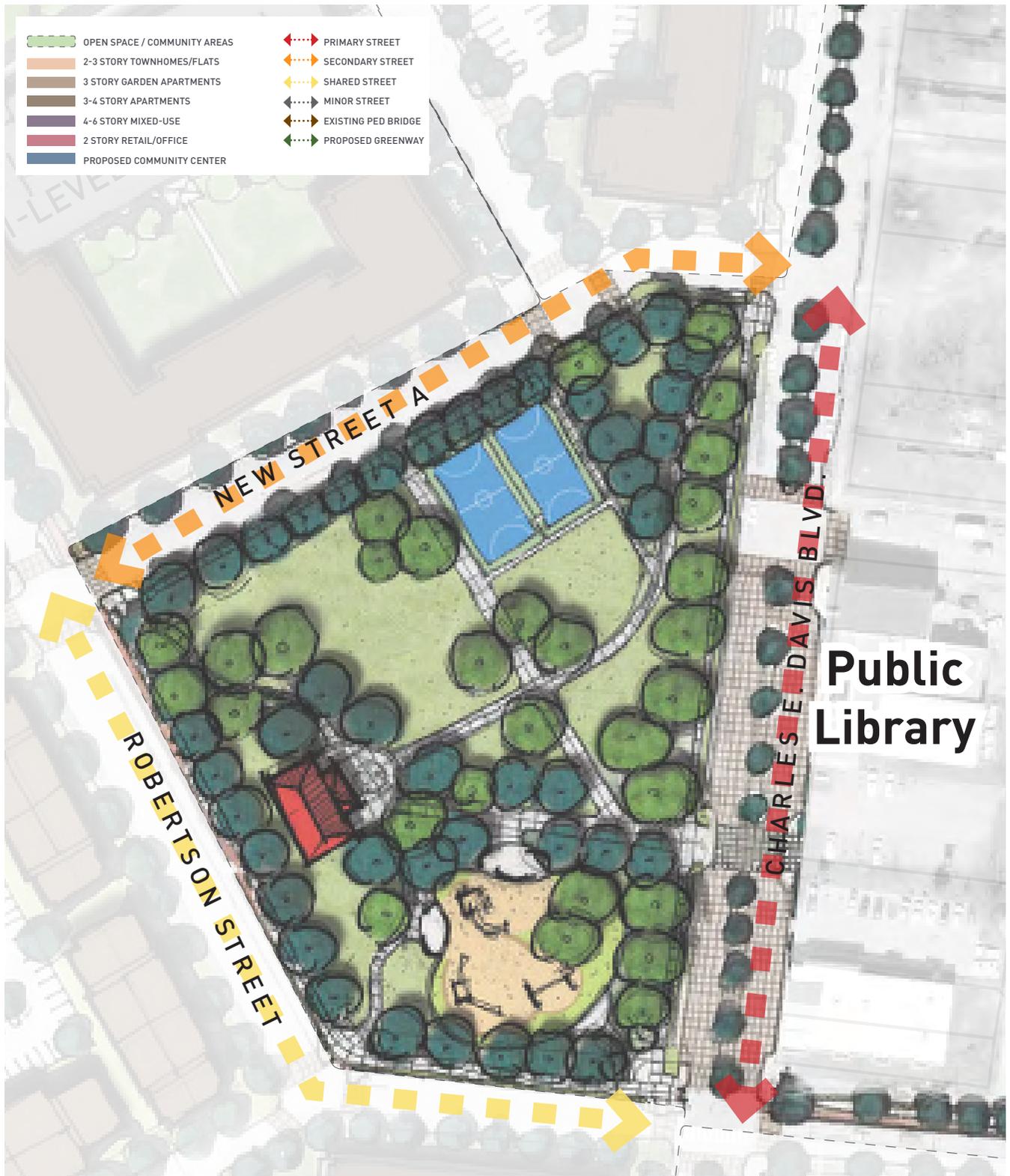


Figure 1. Neighborhood Civic

STREET NETWORK

PUBLIC STREETS

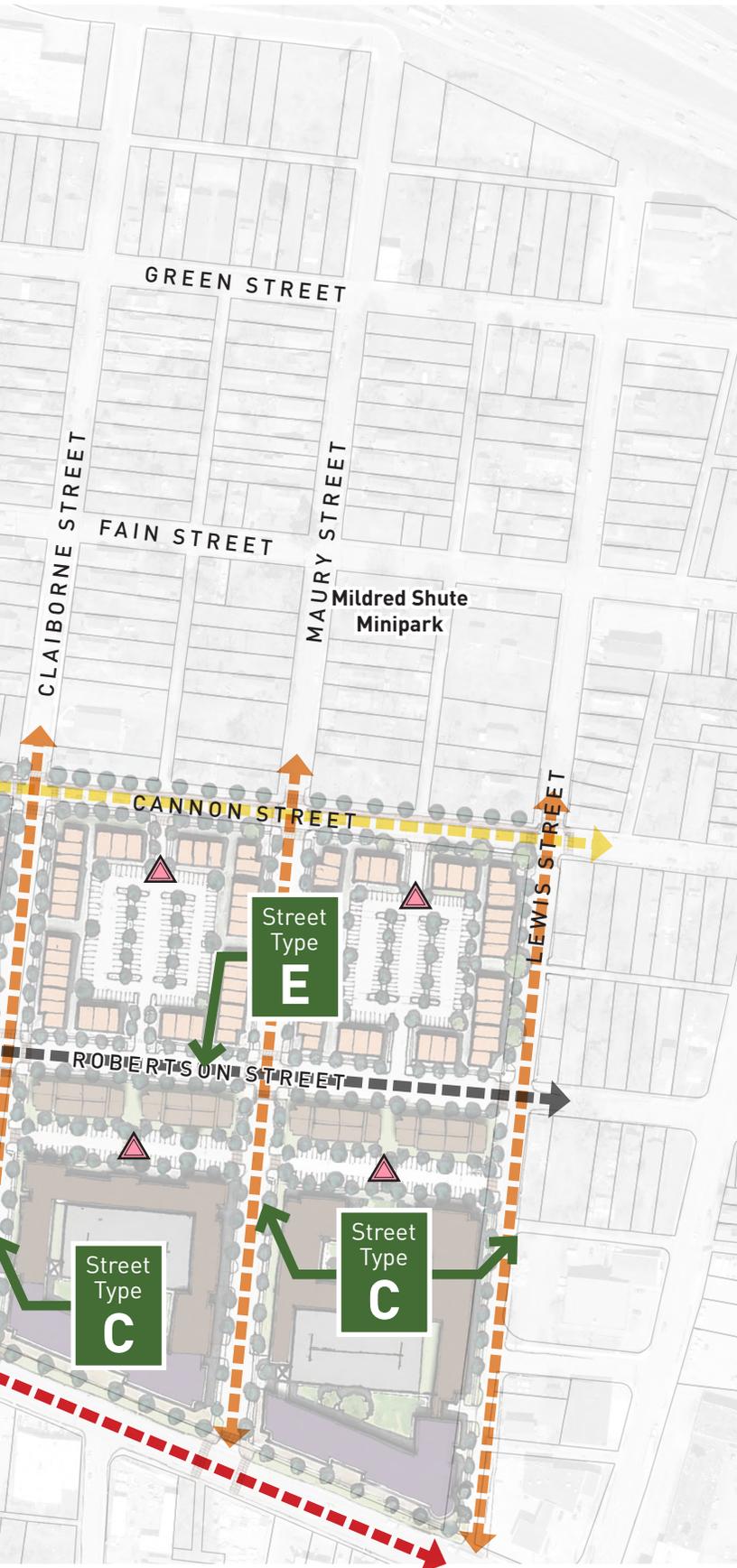
-  PRIMARY STREET
-  SECONDARY STREET
-  SHARED STREET
-  MINOR STREET

BACK OF HOUSE

-  BACK OF HOUSE AREAS ARE PROHIBITED ALONG PRIMARY AND SECONDARY STREETS. WHERE FEASIBLE BACK OF HOUSE AREAS SHOULD BE INTERIOR TO THE PROPOSED BLOCKS.

ALL STREET TYPES LISTED ABOVE AND NOTED ON THE MAP SHALL BE METRO PUBLIC STREETS ALL FOLLOW METRO PUBLIC WORKS STANDARDS. ALLEYWAYS AND CONNECTIONS NOT LISTED OR NOTATED WITHIN THE MAP ARE INTENDED TO REMAIN WITHIN PRIVATE CONTROL.





The street network utilized and modified for the Napier Sudekum Specific Plan is designed to disperse traffic throughout the site and create a usable infrastructure hierarchy for drivers and pedestrians.

The proposed street network will help alleviate the traffic accessing Lafayette Street and Charles E Davis Boulevard by reconnecting the grid. This is seen in the extension of Maury Street southward to Lafayette as well as Cannon, Robertson and 1st Streets northwestward to Carroll Street.

In addition to street extensions, two new streets are proposed west of Charles E Davis Boulevard. New Street A connects 1st Avenue S to Charles E Davis—running on the northern boundary of the proposed park space while New Street B connects Lafayette to Cannon Street at the southern boundary of the park. These streets are intended to provide greater access to the site without utilizing Charles E Davis as the sole point of entry for the western portion of the site.

The remainder of the new streets and alleys created through the development process would predominately be privately owned and maintained through a bonded agreement.

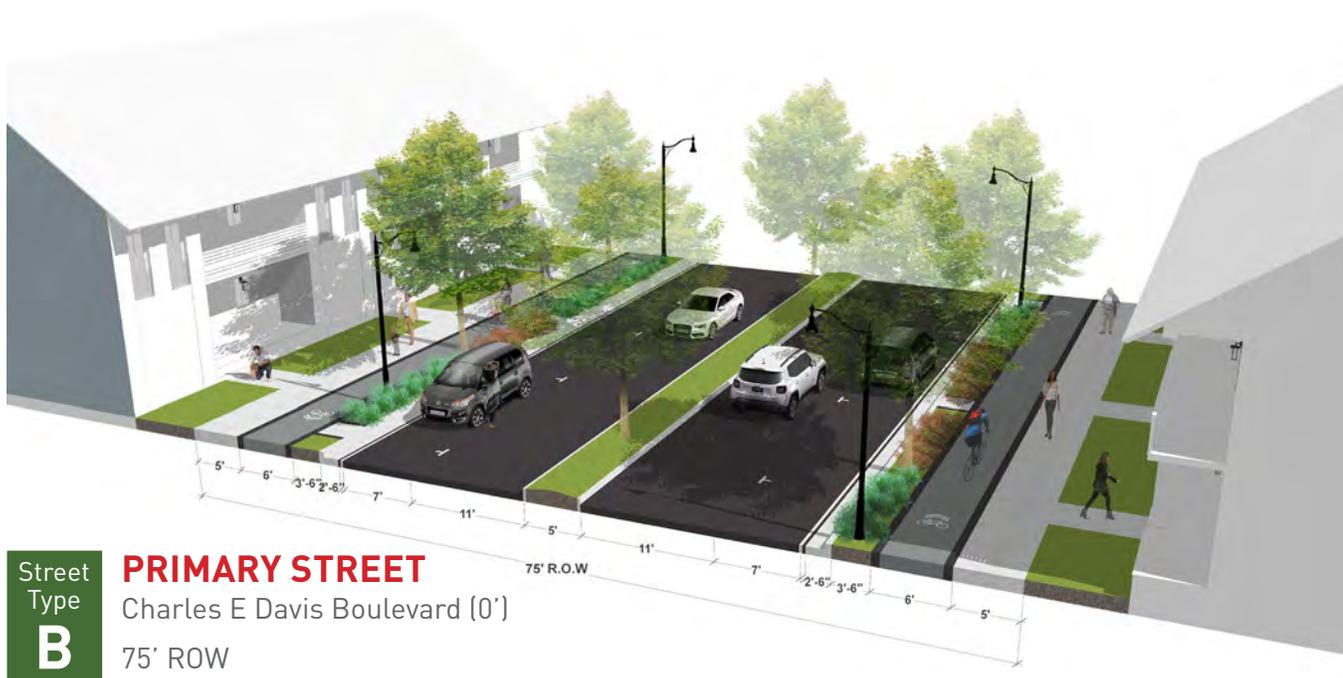
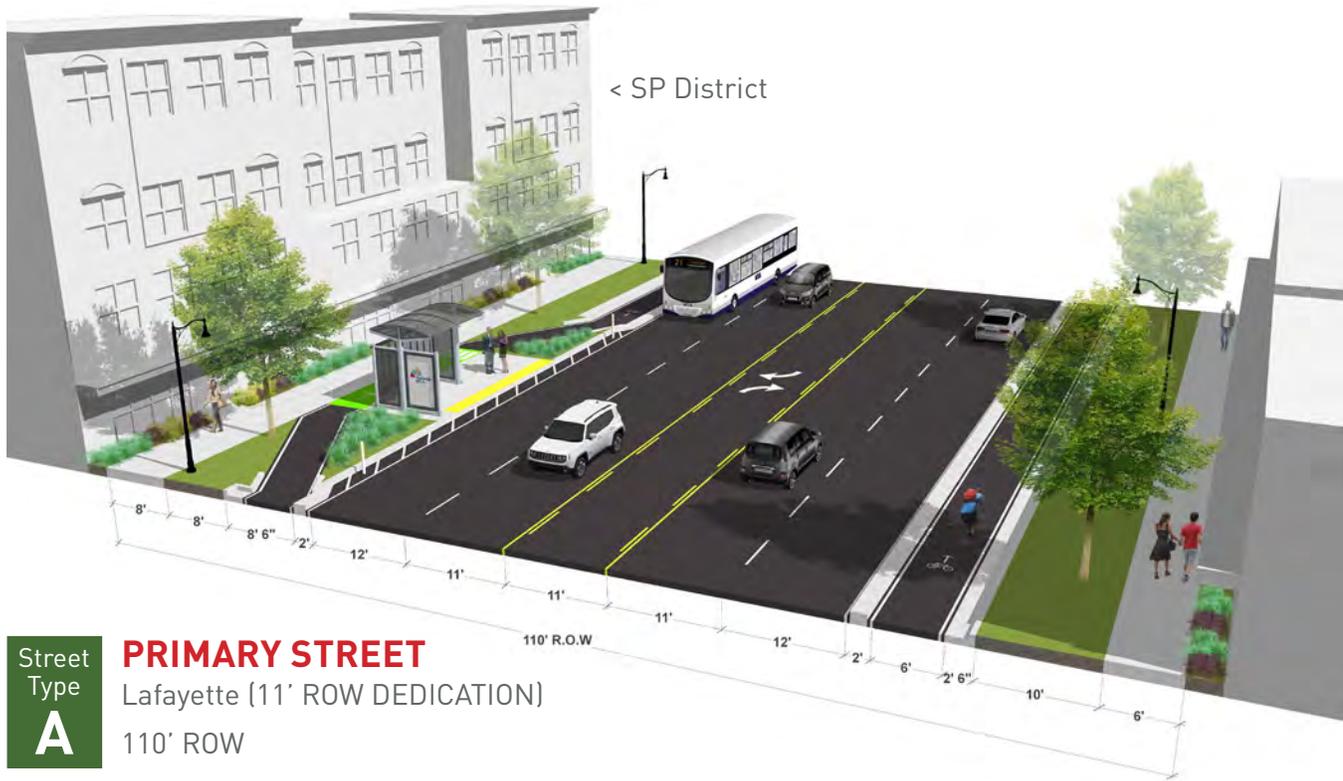
All roadways shall be built with Metro Public Works standard ST-200 curb and gutters and Metro Public Works standard ST-210 sidewalks and shall be designed and engineered specifically to allow for a 40' long public vehicle to make all possible turns.

All public streets/drives within the SP boundary will have a design speed and posted speed of no greater than 20 miles per hour.

Existing streets and private alleys not shown in the development master plan will be closed with the construction of structures and new streets within their subarea.

Curb cuts for alleys and access points will be a maximum of two per block on primary and shared streets.

STREET SECTIONS





Street
Type
C

SECONDARY STREET

New Street A (62'), New Street B (62'), Claiborne (11'), Maury (62'), Lewis(11')
62' ROW- Modified Metro Standard 260



Street
Type
D

SHARED STREET

Cannon (6')
56' ROW

Street
Type
E

LOCAL STREET

Robertson (56'), 1st Avenue S (56'), Carroll (0')
56' ROW- Metro Standard 252-B

LANDSCAPE STANDARDS

OVERALL STANDARDS

Areas reserved for stormwater greater than 0.5 acres will be designed to have either an active or passive park component that can be utilized outside of storm events. Detailed design to be provided at final SP stage of development.

All landscaping shall be properly irrigated and maintained; if drought resistant plant material is used, irrigation shall not be required.

Where irrigation systems are not utilized or specified, all planting masses or individual trees shall be within 100' from a functioning hose bid per Metro Urban Forestry requirements.

All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.

Groups of shrubs shall be in a continuous mulch bed with smooth continuous lines.

Trees located within four feet of shrub beds shall share same mulch bed.

Finished planting beds shall be graded so as to not impede drainage away from buildings.

Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. If significant relocations are required, contractor shall contact landscape architect for approval. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.

Trees must remain vertical and upright for the duration of the guarantee period with guys and strapping shall be removed after one growing season.

The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

The development of this project shall comply with the street tree, tree density, and tree replacement requirements of Metro Nashville. Landscape plan to be submitted in Final SP Submittal.

Street trees shall be provided along all street frontages at an average of forty-five (45) linear feet on center and be 3.5" caliper minimum.

All landscaping shall be properly irrigated and maintained.

Where trees are planted in rows, they shall be uniform in size and shape.

Reference Metro L.I.D. Manual for design and planting materials for LID measures.

Refer to Napier Sudekum Design Guidelines for additional landscape standards.

Ornamental trees may be used as street trees where existing conflicts with overhead utilities occur.

TREE DENSITY WORKSHEET

The tree density worksheet (Page 38) is very similar to the current tree worksheet required for each development in Metro Nashville by the Urban Forester, with three exceptions.

1. The reduction of planting credits by saving existing trees has been eliminated (tree save credits) and replaced by the Tree Replacement Worksheet requirements.

2. All street trees must be forty-five (45) linear feet on center and a minimum of 3.5" caliper.

3. 20 Tree Density Units per acre are required

Once calculations have been completed, the remainder of the units must be planted on the development site.

TDU ZONE

As development continues in the area, it may become unrealistic to put required units from the tree replacement worksheet on the developing site. If determined infeasible for the health of the tree or density of the site by the Metro Urban Forester, up to 160 total units may be placed in the designated TDU zone. Up to 20 TDU's per development may be logged for placement within the zone. The TDU zone may only be planted once development of that area is complete. The Metro Urban Forester and MDHA shall be responsible for logging TDU's to be placed in that zone and ensuring planting once complete.



ADDITIONAL TDU PLANTING

Once the designated TDU zone has reached capacity for each development, the Metro Urban Forester and MDHA shall decide locations for the remainder of the TDU's to be planted. In order of priority below, locations for plantings should be:

1. MDHA property that has been developed or has no plans for redevelopment.
2. South Nashville
3. Metropolitan Nashville

TREE REPLACEMENT WORKSHEET

The tree replacement worksheet (Page 39) is intended to be a tool used to ensure a certain number of plants are installed to replace a tree being removed. The worksheet encourages thoughtful planting by allowing credits for various plant types and sizes. The developer will need to calculate the caliper inches being removed and convert that into a number of units that will need to be replaced.

ANTICIPATED STREET TREES

The following trees shall be permitted as street trees within the R.O.W within this development. Variations to this list shall be approved by the Metro Nashville Forrester prior to approval.



Green Vase Zelkova



Frontier Elm



Greenspire Little Leaf Linden



London Planetree



Sunburst Thornless Honeylocust



Flame Amur Maple
NES Approved



Lacebark Elm



Ginkgo

TREE DENSITY WORKSHEET

NAPIER SUDEKUM

Date: _____

Map: _____ Parcel: _____

Application Number: _____ - _____

Project Name: _____

Address: _____

- 1. Acreage (area of building site) = _____
- 2. Minus Building Coverage Area = _____
- 3. Equals Adjusted Acreage = _____
- 4. Multiplied by required density units per acre x 20
- 5. Required TDU's = _____

Required Tree Density Unit Calculator

Based on caliper inches at planting

Caliper	Number of Trees	x	Value	=	Units
2"		x	.5	=	
3"		x	.6	=	
4"		x	.7	=	
5"		x	.9	=	
6"		x	1.0	=	
7"		x	1.2	=	

Density units provided on above schedule REQUIRED PROVIDED
 Total density units for new trees = _____ _____

NOTE: The total density units provided must equal or exceed the requirements of #7 above



TREE REPLACEMENT WORKSHEET

NAPIER SUDEKUM

Date: _____

Map: _____ Parcel: _____

Application Number: _____ - _____

Project Name: _____

Address: _____

1. Existing caliper inches to be removed = _____
 2. Multiplied by units per caliper inch = 0.05
 3. Equals required placement units for project = _____

Required Tree Replacement Unit Calculator

Based on caliper inches or size in gallons at planting

Size	Number of Plants	x	Value	=	Units
2" Caliper Tree		x	5	=	
3" Caliper Tree		x	10	=	
4" Caliper Tree		x	15	=	
6' Evergreen		x	5	=	

Protected tree units provided on above schedule REQUIRED PROVIDED
 Total replacement tree units = _____

NOTES:

1. All protected and replacement trees must be shown on site plan.
2. All street trees must be 3.5" caliper.
3. Only 20 replacement units may be located in the designated TDU zone.
4. All other units must be located on project site unless otherwise directed by the Urban Forester.
5. Urban Forester can determine where replacement TDU's may be located within Metro Nashville. If they are determined to be detrimental to the health of the tree.

STANDARD NOTES AND PROVISIONS

STANDARD SP NOTES

The purpose of this SP is to receive preliminary approval to permit the development of a 56.47 acre mixed-use development as shown.

For any development standards, regulations and requirements not specifically shown on the SP plan and /or included as a condition of Council approval, the property shall be subject to the standards, regulations and requirements of the zoning listed in the chart on Page 22 as of the date of the application request or application.

Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance.

Properties contain no FEMA designated floodplain per map 47037C0244H dated 04/05/2017.

The final site plan/ building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

Required parking consistent with the parking requirements of the Metro Zoning Code shall not be counted as floor area.

Permitted Uses : Permitted uses shall be the uses listed in the applicable zone of the specific plan. Uses shall be limited to 1,700 residential units (multi-family, two-family, and single-family) and 800,000 SF of nonresidential space within the proposed boundaries of this SP.

ARCHITECTURAL STANDARDS:

Structures shall not cross subdistrict lines and shall adhere to the larger building separation standard when adjacent to a differing district.

Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping.

Building facades fronting a public street shall provide a minimum of one principal entrance (doorway) and 15% glazing.

HVAC units shall be located at the rear half of the side of unit, behind the unit, or on the roof of each building. HVAC units on roof must be screened from view along Primary and Secondary Frontages

Rooftop mechanical equipment, elevator and stairwell bulkheads and conditioned rooftop terraces are permitted on roof structures. They should be properly screened through the use of setbacks and/or screening and shall be limited to 12 feet maximum above roof deck.

Where feasible due to site elevations and conditions, ground floor residential units fronting a public street or green space may provide an active entrance point from the public sidewalk in the form of a stoop or porch condition. All ground level porches accessed directly from a public sidewalk shall provide a minimum of six (6) feet of depth.

EIFS, vinyl siding and untreated wood shall be prohibited on facades facing public R.O.W and public open space (vinyl soffits shall be permitted).

Parking garages shall be screened on primary, secondary, and shared streets with the use of building façade, additional landscape material, and other decorative screening elements.



Fences utilized in residential applications shall not extend past the front face of buildings along a public right-of-way.

NES NOTES

Where feasible, this development will be served with underground power, pad-mounted transformers.

NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bioswales and the like. This includes primary duct between padmounted equipment, as well as service duct to a meter.

PUBLIC WORKS NOTES

Parking ratios shall be provided at or above the Metro Zoning Code Parking Standards. A supplemental shared parking plan may be presented to Metro Public Works at a later date.

Roadway improvements that are a direct result of this specific project as determined by the approved Traffic Impact Analysis and the Department of Public Works shall be constructed.

Any required right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.

Loading and valet areas shall be limited to spaces interior to the structure or behind the structure off of public right-of-way.

Developer will ensure bike lanes are continuous through intersections.

All construction within public ROW shall comply w/ MPW standards and specs

All ROW dedication shall be provided prior to associated building permits.

Parking Standards:

Parking shall be provided within public garages, parking areas and private garages internal to the development. Guest parking spaces shall

be provided in the form of on-street parking throughout the SP.

Bicycle parking shall be provided per Metro Standards.

FEDERAL COMPLIANCE

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

STORMWATER NOTES

Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any storm water facilities within the property.

Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance no.78-840 and approved by The Metropolitan Department of Water Service.

Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15' CMP)

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

The site is within the combined sewer. Additional requirements will be required and that it is advised to contact MWS staff.

SCHEDULE AND PHASING

While full phasing details are not known at the time of Preliminary Specific Plan submittal, the project will be completed in multiple phases anticipated to start in summer of 2020.

03

ATTACI





CHALLENGEMENTS

DESIGN GUIDELINES EXTRACT

ABBREVIATED STANDARDS FROM NAPIER SUDEKUM DESIGN GUIDELINES

ALL SUBDISTRICTS

MASSING & FACADES

- For building facades facing an open space, the width of any unbroken façade shall not exceed 30' feet. Pilasters and projections less than 30" and variations in material shall not apply when trying to achieve this massing standard. It is highly encouraged to break the building's façade/mass plane when transitioning materials.
- When pedestrian access is provided between buildings, a minimum of 10' feet of building separation shall be provided. Building projections may not encroach within this area.

NEIGHBORHOOD CENTER SUBDISTRICT

MATERIALS

- Building facades are encouraged to be finished in brick, stone, or cementitious siding. Cementitious siding must be painted. Brick may be painted or left unpainted. If multi-colored brick is used, it shall be painted. Paint colors are encouraged to be neutral and compatible with adjacent buildings neighborhood. Vinyl siding and EIFS are not permitted.
- Building retaining walls, landscaping walls, and piers shall be split-faced block, brick, or stone. Split-faced block must have integral color and shall not be painted. Split faced block shall match the same block used on the primary structure.
- Construct fences out of durable materials such as wood, aluminum or wrought iron pickets. Fences without pickets shall use wood boards. Fences using piers shall use clad piers in poured concrete, split faced block, brick or stone. Fences shall specify galvanized or powder coated when utilizing metal framing.
- It is highly discouraged to change materials where a flush façade condition occurs. It is preferable that if materials need transition there is a change in geometry of the surface. If materials must change on a flat surface or façade, then a transition material shall be used. It is preferred that heavier materials be below the lighter weight materials if multiple materials are used on building facades.
- Windows shall be painted wood, clad wood, or metal. Shutters shall be either vinyl or wood; painted or stained.
- Awnings shall be reviewed for appropriateness.

ACCESSORY STRUCTURES, GARAGES AND STORAGE BUILDINGS

- Garages and storage buildings shall use compatible materials from the adjacent structures. Walls must follow the same material guidelines provided regarding paint, color, and stain. Pre-fabricated buildings, such as storage sheds, are not permitted.

MINIMUM GLAZING

Commercial - Floor to Floor	40%
Residential - Floor to Floor	20%
Max. Commercial Sill Height	3 Feet
Min. Commercial Head Height	6 Feet

- Commercial ground floor glazing should be as clear as possible and should not be reflective or tinted to a point where visibility is restricted into the building.
-

NEIGHBORHOOD CORE SUBDISTRICT

MATERIALS

- Building facades are encouraged to be finished in brick, stone, or cementitious siding. Cementitious siding must be painted. Brick may be painted or left unpainted. If multi-colored brick is used, it shall be painted. Paint colors are encouraged to be neutral and compatible with adjacent buildings neighborhood. Vinyl siding and EIFS are not permitted.
- Building retaining walls, landscaping walls, and piers shall be poured concrete, split-faced block, brick, or stone. Split-faced block must have integral color and shall be painted. Split faced block shall match the same block used on the primary structure. Foundation walls shall be exposed a maximum of 3'-6" above grade and a minimum of 18" above grade.
- Roof materials shall be finished in asphalt shingles, wood shingles or metal roofing. Gutters and downspouts shall use galvanized steel, anodized aluminum, or copper.
- Construct fences out of durable materials such as wood, aluminum or wrought iron pickets. Fences without pickets shall use wood boards. Fences using piers shall use clad piers in poured concrete, split faced block, brick or stone. Fences shall specify galvanized or powder coated when utilizing metal framing.
- It is highly discouraged to change materials where a flush façade condition occurs. It is preferable that if materials need transition there is a change in geometry of the surface. If materials must change on a flat surface or façade, then a transition material shall be used. It is preferred that heavier materials be below the lighter weight materials if multiple materials are used on building facades.
- Windows shall be painted wood, clad wood, or metal. Shutters shall be painted or stained wood or vinyl. Awnings shall be reviewed for appropriateness.

ACCESSORY STRUCTURES, GARAGES AND STORAGE BUILDINGS

- Garages and storage buildings shall use compatible materials from the adjacent structures. Walls must follow the same material guidelines provided regarding paint, color, and stain. Pre-fabricated buildings, such as storage sheds, are not permitted.

MINIMUM GLAZING

All - Ground	25%
All - Upper	15%

- Acceptable types of windows are single-hung, double-hung, awning, or operable casement windows. In the case that there is an opening on a gable end, a circular or rectangular opening that is vertically oriented is permissible.
 - Openings in gable ends shall be centered. Transoms may be oriented horizontally but must be rectangular in shape.
 - Window sills are to project a minimum of 2" from the building face and are to be a minimum of 2" tall.
-

DESIGN GUIDELINES EXTRACT

ABBREVIATED STANDARDS FROM NAPIER SUDEKUM DESIGN GUIDELINES

NEIGHBORHOOD EDGE SUBDISTRICT

MATERIALS

- Building facades shall be finished in brick, stone, wood clapboard, cementitious plank lapsiding and wood siding. Clapboard and cementitious siding must be painted. Wood siding shall be stained or painted. Wood clapboard should have 4"-5" of material exposure. Brick may be painted or left unpainted. Multi-colored brick is discouraged. Paint colors are encouraged to be neutral and compatible with adjacent buildings or neighborhood. Vinyl siding and EIFS are not permitted.
- Building retaining walls, landscaping walls, and piers shall be split-faced block, brick, or stone. Split-faced block must have integral color and shall not be painted. Split faced block shall match the same block used on the primary structure. Gates may be wood or wrought iron. Foundation walls shall be exposed a maximum of 3'-6" above grade and a minimum of 18" above grade.
- Outbuildings or accessory structures. Garages and storage buildings shall use compatible materials from the adjacent structures and neighborhood. Walls must follow the miscellaneous material guidelines provided regarding paint, color, and stain. Pre-fabricated buildings are not permitted.
- Roof materials shall be finished in asphalt shingles, wood shingles or metal roofing. Gutters and downspouts shall use galvanized steel, anodized aluminum, or copper.
- Construct fences out of durable materials such as wood, aluminum or wrought iron pickets. Fences without pickets shall use wood boards. Fences using piers shall use clad piers in poured concrete, split faced block, brick or stone. Fences shall specify galvanized or powder coated when utilizing metal framing.
- Material applications. Material transitions are only permitted along the horizontal line. In addition, it is highly discouraged to change materials where a flush façade condition occurs. It is preferable that if materials need transition there is a change in geometry of the surface. If materials must change on a flat surface or façade, then a transition material shall be used. It is preferred that heavier materials be below the lighter weight materials if multiple materials are used on building facades.
- Windows shall be painted wood, clad wood, or metal. Shutters shall be painted or stained wood or vinyl. Awnings shall be reviewed for appropriateness.

ACCESSORY STRUCTURES, GARAGES AND STORAGE BUILDINGS

- Garages and storage buildings shall use compatible materials from the adjacent structures. Walls must follow the same material guidelines provided regarding paint, color, and stain. Pre-fabricated buildings, such as storage sheds, are not permitted.

MINIMUM GLAZING

- | | |
|--------------|-----|
| All - Ground | 25% |
| All - Upper | 15% |
- Acceptable types of windows are single-hung, double-hung, awning, or operable casement windows. In the case that there is an opening on a gable end, a circular or rectangular opening that is vertically oriented is permissible.
 - Openings in gable ends shall be centered. Transoms may be oriented horizontally but must be rectangular in shape.
 - Window sills are to project a minimum of 2" from the building face and are to be a minimum of 2" tall.

CIVIC SUBDISTRICT

MATERIALS

- Building facades are encouraged to be finished in brick, stone, or cementitious siding. Cementitious siding must be painted. Brick may be painted or left unpainted. If multi-colored brick is used, it shall be painted. Paint colors are encouraged to be neutral and compatible with adjacent buildings neighborhood. Vinyl siding and EIFS are not permitted.
- Building retaining walls, landscaping walls, and piers shall be split-faced block, brick, or stone. Split-faced block must have integral color and shall not be painted. Split faced block shall match the same block used on the primary structure.
- Roof materials shall be finished in asphalt shingles, wood shingles or metal roofing. Gutters and downspouts shall use galvanized steel, anodized aluminum, or copper.
- Construct fences out of durable materials such as wood, aluminum or wrought iron pickets. Fences without pickets shall use wood boards. Fences using piers shall use clad piers in poured concrete, split faced block, brick or stone. Fences shall specify galvanized or powder coated when utilizing metal framing.
- It is highly discouraged to change materials where a flush façade condition occurs. It is preferable that if materials need transition there is a change in geometry of the surface. If materials must change on a flat surface or façade, then a transition material shall be used. It is preferred that heavier materials be below the lighter weight materials if multiple materials are used on building facades.
- Windows shall be painted wood, clad wood, or metal. Shutters shall be either vinyl or wood; painted or stained.
- Awnings shall be reviewed for appropriateness.

ACCESSORY STRUCTURES, GARAGES AND STORAGE BUILDINGS

- Garages and storage buildings shall use compatible materials from the adjacent structures. Walls must follow the same material guidelines provided regarding paint, color, and stain. Pre-fabricated buildings, such as storage sheds, are not permitted.

MINIMUM GLAZING

Commercial - All	40%
Max. Commercial Sill Height	3 Feet
Min. Commercial Head Height	6 Feet

- Commercial ground floor glazing should be as clear as possible and should not be reflective or tinted to a point where visibility is restricted into the building.



Kimley»Horn