

Specific Plan Notes

Purpose
The purpose of this specific plan is to permit a multi-family development with up to thirty-two (32) attached townhome dwellings.

General Plan & Policy Consistency
This property is located within the T3 Suburban Residential Corridor and Conservation policies. This SP is consistent with the intent of these policies. The building type meets the requirements, the development proposes a moderate lot coverage, and the development intends to preserve the existing vegetation along Old Hickory Blvd to frame the corridor. No buildings will be constructed in the floodway or floodplain area, and the stream buffers will remain undisturbed. The proposed development as shown will disturb 46% of the total lot area, and the development has been oriented to preserve existing environmental features.

Existing Conditions
The property currently includes one residential home, gravel driveway, trees, and low grass.

Permitted Uses
Uses permitted in this development shall be limited to multifamily residential. Short-term rentals as defined by the Metro Zoning Code are a prohibited use on the property.

Development Standards

- Minor modifications to the SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increases the permitted density, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. A driveway access from this property to the Arcata SP property located to the east is a permitted access point in this SP.
- The required fire flow, emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with stormwater management ordinance 78-540 and approved by the Metro Department of Water Services.
- All surface parking areas must meet the "parking area screening and landscaping" requirements specified in the Metro Zoning Code.
- According to the NRCS Soils Map, the soils on the property are Ar (Arrington Silt Loam, 0-2% slopes), L (Lindell Silt Loam, 0-2% slopes), Sd (Shiversville Loam, 12-25% slopes), TRC (Talbot-Rock outcrop complex, 5-15% slopes). These soils are not "problem soils" as noted in section 17.28.050 of the Metro Zoning Code.

- Existing site slopes range from 0-40%. Proposed slopes will remain 3:1 or less.
- Signage shall meet Metro design standards according to the RM9 zoning district. A detailed signage plan will be submitted with the Final SP documents, if required.
- All development within the boundaries of this plan shall be based on the requirements of the Americans with Disabilities Act and the Fair Housing Act.
- All proposed public utilities and services shall be installed underground.
- Final water & sewer service locations shall be submitted with the Final SP.
- For development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM9 zoning district as of the date of the applicable request or application.
- The final site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Minimum distance between detached buildings shall be 10 feet.
- Architectural standards shall be submitted with the Final SP submittal.
- Stormwater Pollution Prevention standards shall be submitted with the Final SP submittal.
- EIFS, vinyl siding and untreated wood shall be prohibited.
- It is intended that the total parking provided will be in excess of the minimum requirements of the Metro Nashville Zoning Code parking standards.
- Parking shall be provided within the surface parking pad and/or garage internal to each unit.
- This development shall comply with the requirements of the SP and adopted tree ordinance 2008-328 (Metro Code Chapter 17.24).
- A Landscape Ordinance Plan shall be submitted with the Final SP submittal.
- All driveways and sidewalks shall be concrete.
- Wherever concrete, concrete block or masonry block are used in the building construction, the approved materials used shall be to grade.
- ROW dedication shall meet the Major and Collector Street Plan (MCSP). The appropriate ROW dedication shall be determined with the final site plan.

Design Plan
The intent of the Vastland - Old Hickory Blvd SP is to provide a comfortable, safe community with emphasis on pedestrian oriented streetscapes, and quality architecture. While subject to these regulations and guidelines within, the plan layout shall be flexible to respond to physical site constraints, end-users' needs, community desires and a changing market. The SP shall allow for variations in the design of the street and circulation network, individual block layout and dispersion of building types so that it meets the intent of the regulations and guidelines within.

Public Works Construction Notes

- Proof rolling of all public street sub-grades is required in the presence of the Public Works' inspector. This request is to be made 24 hours in advance.
- Stop signs to be 30 inch x 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade.
- All signs to have 3M reflective coating.
- All utility boxes located in the right of way or in the sidewalk shall be approved by the MPW inspector prior to installation.
- All of the public sidewalk along the roadway shall follow the grade of the roadway and shall not be adjusted to meet private sidewalk connections. The adjustments shall be made out of the right of way.
- Drainage shall not flow over the sidewalk.
- Curb ramps shall have detectable warning strips.
- Driveway width can be sight adjusted at the discretion of the MPW inspector.
- Elevation of the curb and gutter is the responsibility of the contractor but once in place shall function as designed.
- Curb and gutter installed may be tested to verify flow to the storm drain system. Drainage shall not pool in roadways.
- Replace stormwater grates within public right of way with bike friendly grates.
- Final plans and road grades shall comply with the design regulations established by the Department of Public Works. Slopes along roadways shall not exceed 3 to 1.

Metro Stormwater Notes

- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-540 and approved by The Metropolitan Department of Water Services.
- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
- Size driveways and culverts per the design criteria set forth by the Metro Stormwater management manual (minimum driveway culvert in Metro right-of-way is 15" CMP).
- The buffer zone 1 along waterways will be an area where the surface is left in a natural state and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate storm water regulations at the time of final application.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

Metro Water & Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approval.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The televising must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable Mylar in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- The contractor shall provide the record drawing information noted above to the engineer.

MWS Standard Private Utility Plan Notes

- All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
- All connection to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.

NES Notes

- NES can meet with the developer upon request to determine service options.
- Construction plans shall show any existing utilities easements on the property, the utility poles on the property, and the poles along the right-of-way.
- NES will need any road improvement plans to Old Hickory Blvd.
- Existing poles, anchors, and overhead conductors that need to be relocated due to improvements may come at an additional cost to the developer.
- This development will be served with underground distribution and pad-mounted transformers.
- Box culvert crossings will need to have 5' of fill on top of culvert for conduit crossing.
- Meter walls will be required for this development.
- The riser pole should be placed on the development property.
- Additional underground infrastructure may be required in the form of switching cabinets, termination cabinets, and additional conduit in the event that the property is acquired in the future and for reliability.
- Final quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. An Exhibit 'B' design will be sent to the developer or representatives of the development for review. Suggestions or requests to the design should be made during the review process. Any changes requiring re-design, after this document has been signed, will be at the developer's cost.
- Multi-family portions of the development will be served with meter centers.
- NES shall be placed in "PUE" inside development for conduit runs and meter centers.
- The developer's vegetation design shall meet both Metro requirements and NES vegetation management requirements and clearances.
- NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. This includes primary duct between pad-mounted equipment, as well as service ducts to a meter or meter center.
- If porches or walls are allowed to be constructed beyond the min setback limits and into the public utility easements, then the easement will be considered reduced by that much of the easement. Such encroachments may increase the cost of electrical infrastructure to allow for reduced or limited access to equipment.

PRELIMINARY SPECIFIC PLAN

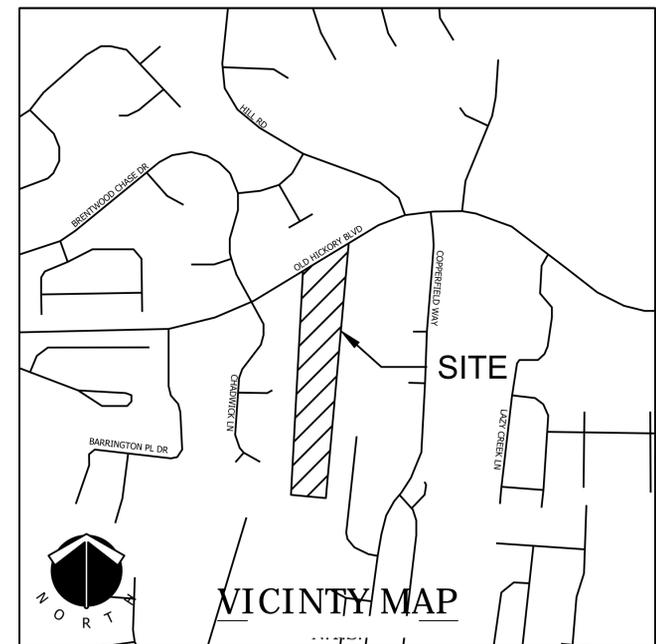
VASTLAND - OLD HICKORY BLVD

527 OLD HICKORY BLVD

BRENTWOOD, DAVIDSON COUNTY, TN

CASE NO. 2019SP-039-001
ORDINANCE NO. _____

MAP 160 PARCELS 106 & 108
MAP 171 PARCEL 168



PLANNER | ENGINEER

CIVIL SITE DESIGN GROUP, PLLC
2305 KLINE AVENUE, SUITE 300
NASHVILLE, TENNESSEE 37211
PHONE: 615-248-9999
CONTACT: KEVIN F. GANGAWARE, P.E.
EMAIL: keving@civil-site.com

DEVELOPER

MCK MCCLUNG
VASTLAND COMMUNITIES
1720 WEST END AVENUE, SUITE 600
NASHVILLE, TN 37203
PHONE: 615-620-7810
FAX: 615-329-1790
EMAIL: Mackm@vastland.com

OWNER

PAMELA HIMEBAUGH
1213 FT MORGAN PL
BRENTWOOD, TN 37027

DEVELOPMENT SUMMARY

Council District: 04
Council Member: Robert Swope
Owners of Record: Pamel Himebaugh

SP Name: Vastland - Old Hickory Blvd
SP Number: 2019SP-039-001
Designer: Civil Site Design Group, PLLC
2305 Kline Avenue, Suite 300
Nashville, TN 37211
Phone: (615) 248-9999
Contact: Kevin F. Gangaware, P.E.
keving@civil-site.com

U.S. FEMA FIRM: 47037C0367H dated April 5, 2017

SHEET INDEX

| | |
|-------|------------------------------|
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| C1.00 | EXISTING CONDITIONS |
| C2.00 | PRELIMINARY DEVELOPMENT PLAN |
| C3.00 | GRADING & DRAINAGE PLAN |
| C4.00 | SITE UTILITY PLAN |

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| L1.0 | LANDSCAPE ORDINANCE PLAN |
| L2.0 | LANDSCAPE NOTES & DETAILS |

Survey

Base information was taken from Metro GIS. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for any accuracy and/or completeness of that information shown hereon or the errors or omissions resulting from such.

Flood Plain

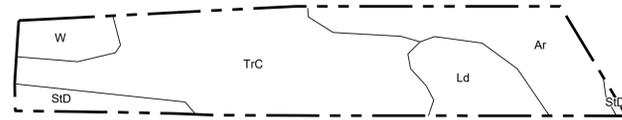
By graphic plotting, this property is in Zone AE & Zone X of the Flood Insurance Rate Map, Community Panel No. 47037C0367H effective date of April 05, 2017. Zone AE is defined as special flood hazard areas subject to inundation by a 1% annual chance of flooding & Zone X is defined as areas determined to be outside of the 500-year floodplain. The base flood elevation for this area is 575-576.



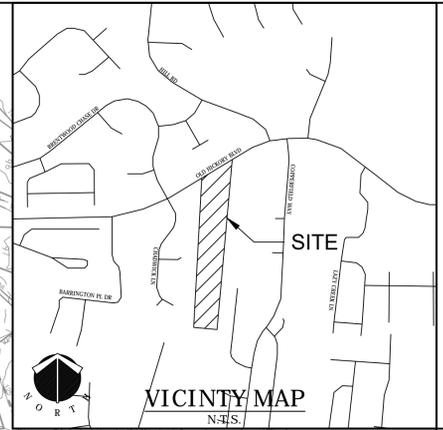
JOB NO.: 19-016-01

| DRWN BY: | CHKD BY: | DATE | COMMENTS | REV. |
|----------|----------|----------|----------------------------|------|
| MD/BB | KG | 04-10-19 | PRELIMINARY SP SUBMITTAL | |
| MD/BB | KG | 04-30-19 | PRELIMINARY SP RESUBMITTAL | |
| | | | | |
| | | | | |

SOIL MAP



| Map unit symbol | Map unit name | Rating |
|-----------------|--|--------|
| Ar | Arlington silt loam, 0 to 2 percent slopes, occasionally flooded | B |
| Ld | Lindell silt loam, 0 to 2 percent slopes, occasionally flooded | B/D |
| SID | Silversville loam, 12 to 25 percent slopes, eroded | A |
| TrC | Talbot-Rock outcrop complex, 5 to 15 percent slopes | C |
| W | Water | |



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KEVIN F. GANGAWARE
 REGISTERED ENGINEER
 ARCHITECTURE
 NUMBER 04-30-19
 NUMBER 02-1990
 STATE OF TENNESSEE
 NOT FOR CONSTRUCTION

EXISTING CONDITIONS
 PRELIMINARY SPECIFIC PLAN
VASTLAND - OLD HICKORY BLVD
 527 OLD HICKORY BLVD
 BRENTWOOD, DAVIDSON COUNTY, TN

Existing Conditions Note:

The existing condition information shown on this sheet was taken from Metro GIS. Civil Site Design Group takes no responsibility for the correctness, accuracy, or completeness of this survey information.

F.E.M.A. Note:

According to F.E.M.A. F.I.R.M. Map number 47037C0367H, effective date April 5, 2017, this site lies within Zone X which is determined to be outside the 500 year floodplain.

Slopes Table

| Number | Minimum Slope | Maximum Slope | Area | Color |
|--------|---------------|---------------|-----------|------------------|
| 1 | 15.00% | 25.00% | 725338.66 | [Light Gray Box] |
| 2 | 25.00% | 100.00% | 416125.81 | [Dark Gray Box] |

2019SP-039-001

MAP 160, PARCELS 106 & 108
 MAP 171, PARCEL 168

BASE INFORMATION AND TOPO
 SHOWN IS TAKEN FROM METRO GIS

| REV. | DATE | COMMENTS |
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| | 04-10-19 | PRELIMINARY SP SUBMITTAL |
| | 04-30-19 | PRELIMINARY SP RESUBMITTAL |

DRWN BY: MD/BB
 BY: MD/BB
 CHECKED BY: MD/BB

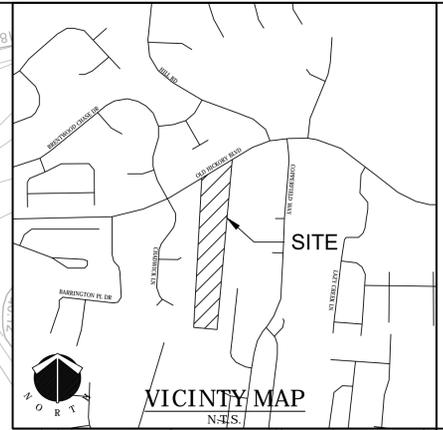
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JOB NO.: 19-016-01

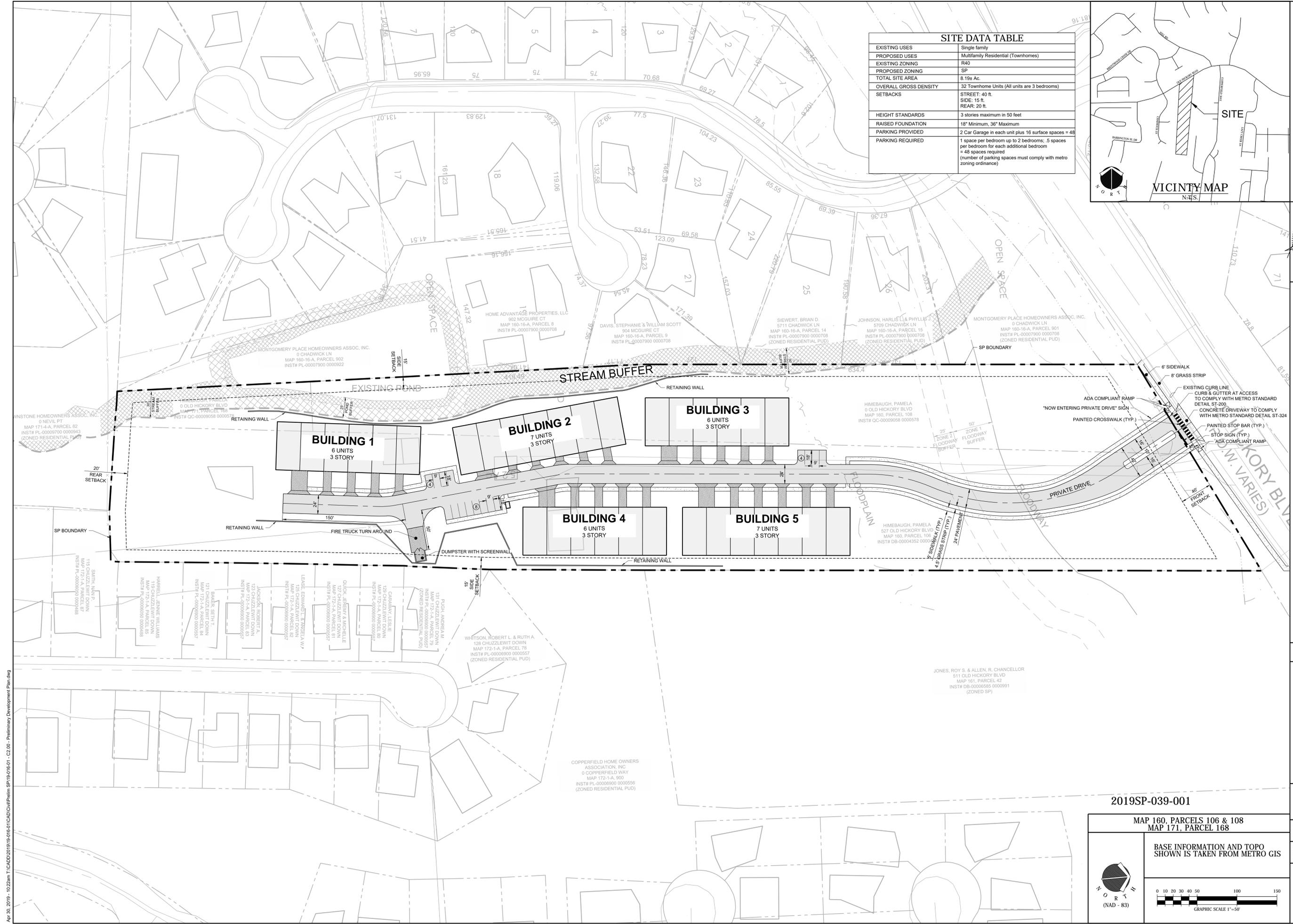
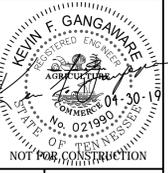
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Apr 30, 2019 - 10:22am T:\CADD\2019\19-016\01\CADD\civil\plan SP19-016-C1 - C2.00 - Preliminary Development Plan.dwg

| SITE DATA TABLE | |
|-----------------------|--|
| EXISTING USES | Single family |
| PROPOSED USES | Multifamily Residential (Townhomes) |
| EXISTING ZONING | R40 |
| PROPOSED ZONING | SP |
| TOTAL SITE AREA | 8.19± Ac. |
| OVERALL GROSS DENSITY | 32 Townhome Units (All units are 3 bedrooms) |
| SETBACKS | STREET: 40 ft. SIDE: 15 ft. REAR: 20 ft. |
| HEIGHT STANDARDS | 3 stories maximum in 50 feet |
| RAISED FOUNDATION | 18" Minimum, 36" Maximum |
| PARKING PROVIDED | 2 Car Garage in each unit plus 16 surface spaces = 48 |
| PARKING REQUIRED | 1 space per bedroom up to 2 bedrooms; 5 spaces per bedroom for each additional bedroom = 48 spaces required (number of parking spaces must comply with metro zoning ordinance) |



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PRELIMINARY DEVELOPMENT PLAN
PRELIMINARY SPECIFIC PLAN
VASTLAND - OLD HICKORY BLVD
 527 OLD HICKORY BLVD
 BRENTWOOD, DAVIDSON COUNTY, TN

| REV. | COMMENTS | DATE |
|------|----------------------------|----------|
| | PRELIMINARY SP SUBMITTAL | 04-10-19 |
| | PRELIMINARY SP RESUBMITTAL | 04-30-19 |

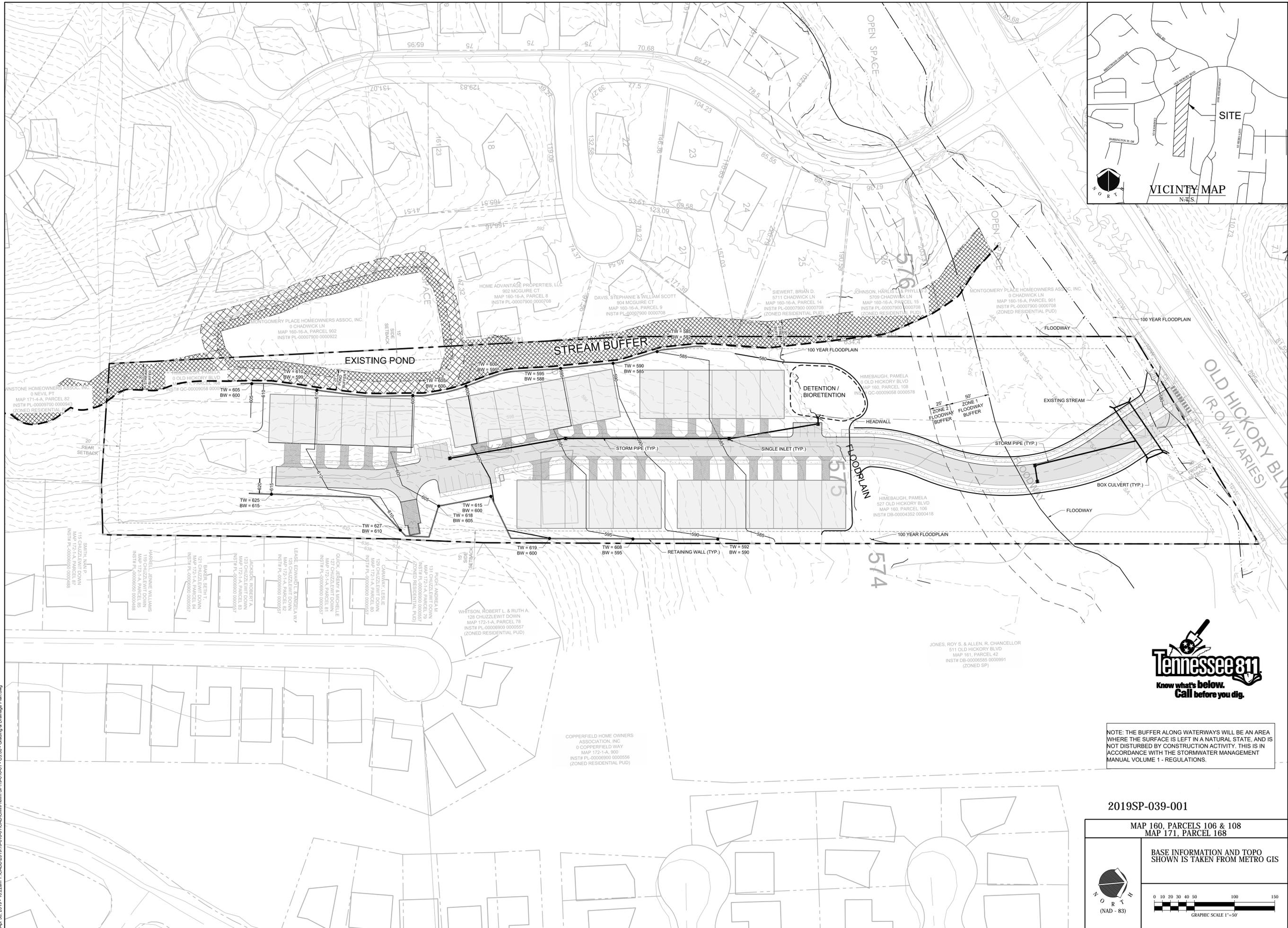
2019SP-039-001

MAP 160, PARCELS 106 & 108
 MAP 171, PARCEL 168

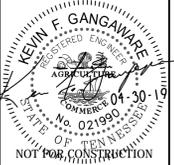
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C2.00
 JOB NO.: 19-016-01

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GRADING & DRAINAGE PLAN
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NOTE: THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

2019SP-039-001

MAP 160, PARCELS 106 & 108
MAP 171, PARCEL 168

BASE INFORMATION AND TOPO SHOWN IS TAKEN FROM METRO GIS

0 10 20 30 40 50 100 150
GRAPHIC SCALE 1"=50'

(NAD - 83)

| REV. | DATE | BY | CHKD | COMMENTS |
|------|----------|-------|------|----------------------------|
| | 04-10-19 | MD/BB | KG | PRELIMINARY SP SUBMITTAL |
| | 04-30-19 | MD/BB | KG | PRELIMINARY SP RESUBMITTAL |

C3.00

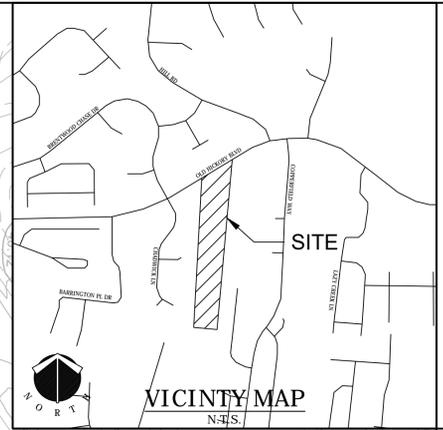
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Metro Water & Sewer Notes:

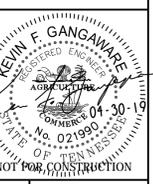
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- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
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MWS Standard Private Utility Plan Notes:

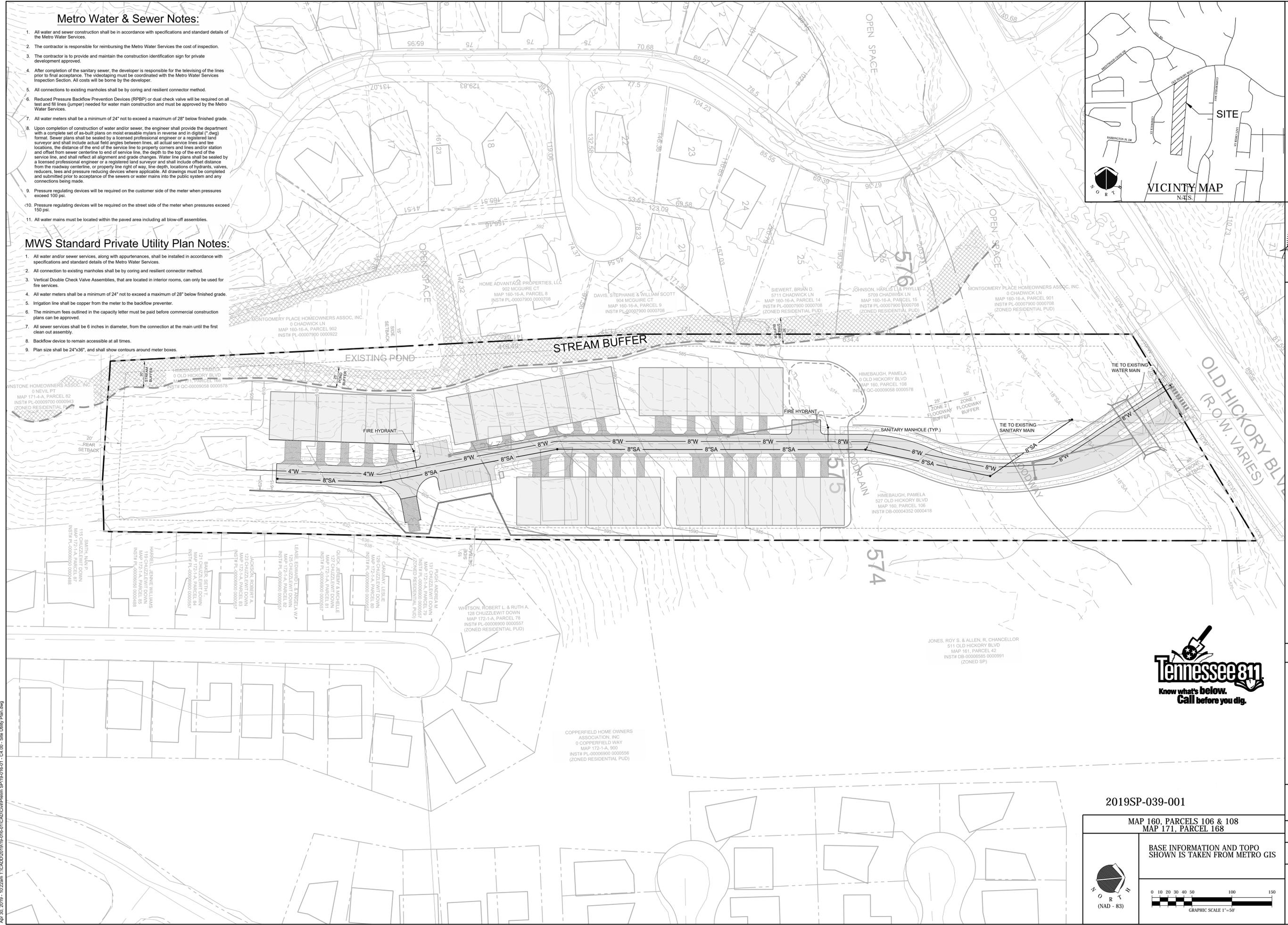
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- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.



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NOT FOR CONSTRUCTION



SITE UTILITY PLAN
PRELIMINARY SPECIFIC PLAN
VASTLAND - OLD HICKORY BLVD
 527 OLD HICKORY BLVD
 BRENTWOOD, DAVIDSON COUNTY, TN



2019SP-039-001

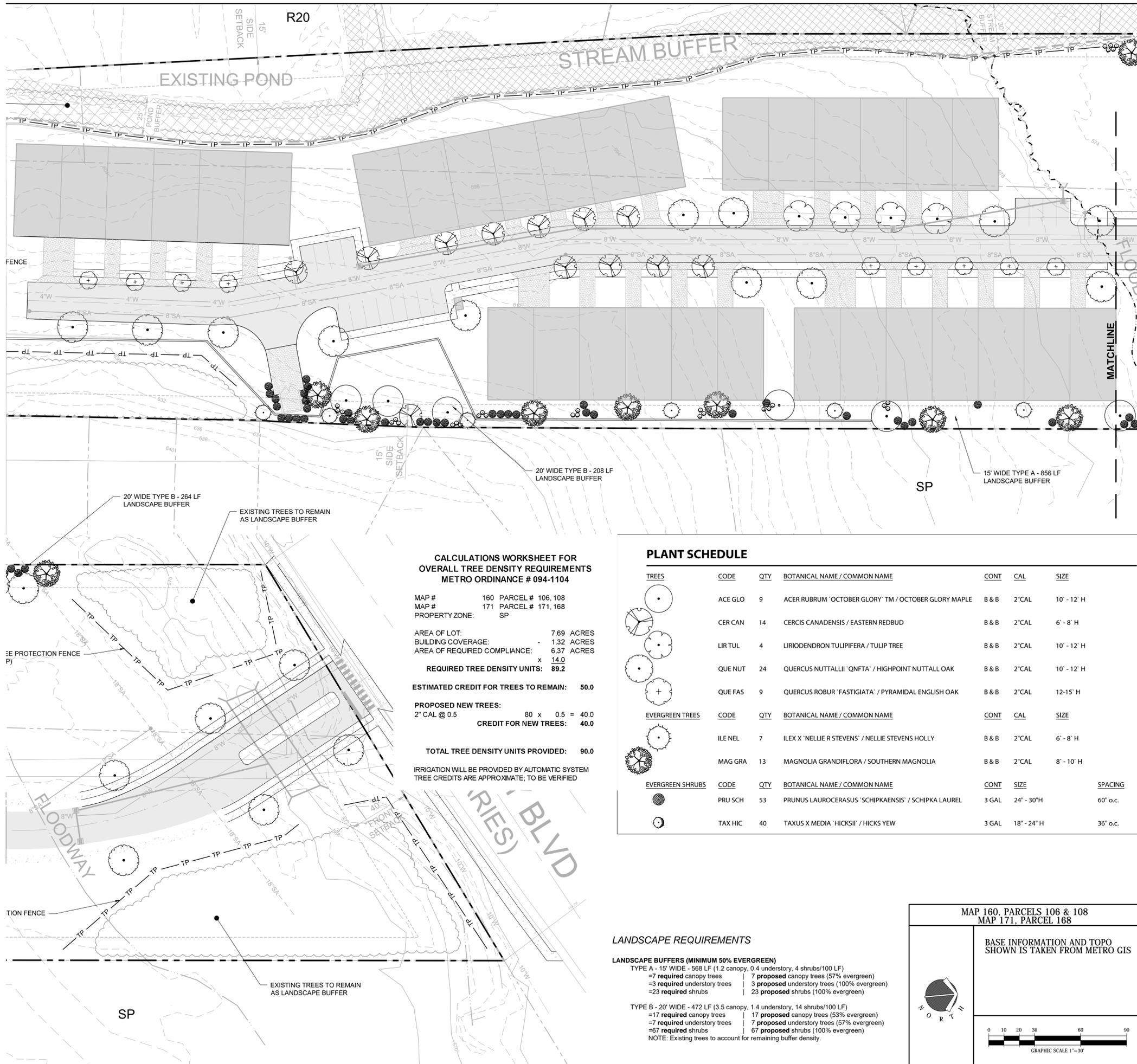
MAP 160, PARCELS 106 & 108
 MAP 171, PARCEL 168

BASE INFORMATION AND TOPO
 SHOWN IS TAKEN FROM METRO GIS

| REV. | COMMENTS | DATE |
|------|----------------------------|----------|
| 1 | PRELIMINARY SP SUBMITTAL | 04-10-19 |
| 2 | PRELIMINARY SP RESUBMITTAL | 04-30-19 |

C4.00
 JOB NO.: 19-016-01

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CALCULATIONS WORKSHEET FOR OVERALL TREE DENSITY REQUIREMENTS METRO ORDINANCE # 094-1104

MAP # 160 PARCEL # 106, 108
 MAP # 171 PARCEL # 171, 168
 PROPERTY ZONE: SP

AREA OF LOT: 7.69 ACRES
 BUILDING COVERAGE: 1.32 ACRES
 AREA OF REQUIRED COMPLIANCE: 6.37 ACRES
 x 14.0
REQUIRED TREE DENSITY UNITS: 89.2

ESTIMATED CREDIT FOR TREES TO REMAIN: 50.0

PROPOSED NEW TREES:
 2" CAL @ 0.5 80 x 0.5 = 40.0
CREDIT FOR NEW TREES: 40.0

TOTAL TREE DENSITY UNITS PROVIDED: 90.0

IRRIGATION WILL BE PROVIDED BY AUTOMATIC SYSTEM
 TREE CREDITS ARE APPROXIMATE, TO BE VERIFIED

PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | CAL | SIZE |
|-------------------------|-------------|------------|--|-------------|-------------|----------------|
| | ACE GLO | 9 | ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE | B & B | 2" CAL | 10' - 12' H |
| | CER CAN | 14 | CERCIS CANADENSIS / EASTERN REDBUD | B & B | 2" CAL | 6' - 8' H |
| | LIR TUL | 4 | LIRIODENDRON TULIPIFERA / TULIP TREE | B & B | 2" CAL | 10' - 12' H |
| | QUE NUT | 24 | QUERCUS NUTTALLII 'QNFTA' / HIGHPOINT NUTTALL OAK | B & B | 2" CAL | 10' - 12' H |
| | QUE FAS | 9 | QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK | B & B | 2" CAL | 12-15' H |
| EVERGREEN TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | CAL | SIZE |
| | ILE NEL | 7 | ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY | B & B | 2" CAL | 6' - 8' H |
| | MAG GRA | 13 | MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA | B & B | 2" CAL | 8' - 10' H |
| EVERGREEN SHRUBS | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | SIZE | SPACING |
| | PRU SCH | 53 | PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA LAUREL | 3 GAL | 24" - 30"H | 60" o.c. |
| | TAX HIC | 40 | TAXUS X MEDIA 'HICKSII' / HICKS YEW | 3 GAL | 18" - 24" H | 36" o.c. |

LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFERS (MINIMUM 50% EVERGREEN)

TYPE A - 15' WIDE - 568 LF (1.2 canopy, 0.4 understorey, 4 shrubs/100 LF)
 =7 required canopy trees | 7 proposed canopy trees (57% evergreen)
 =3 required understorey trees | 3 proposed understorey trees (100% evergreen)
 =23 required shrubs | 23 proposed shrubs (100% evergreen)

TYPE B - 20' WIDE - 472 LF (3.5 canopy, 1.4 understorey, 14 shrubs/100 LF)
 =17 required canopy trees | 17 proposed canopy trees (53% evergreen)
 =7 required understorey trees | 7 proposed understorey trees (57% evergreen)
 =67 required shrubs | 67 proposed shrubs (100% evergreen)

NOTE: Existing trees to account for remaining buffer density.

MAP 160, PARCELS 106 & 108
 MAP 171, PARCEL 168

BASE INFORMATION AND TOPO SHOWN IS TAKEN FROM METRO GIS

DATE: 04/10/2019
 CHECKED BY: JIB
 DRAWN BY: RMS

CIVIL SITE DESIGN GROUP
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
 2305 Kline Avenue, Suite 300 - Nashville, Tennessee 37211
 615.246.9999 www.Civil-Site.com

LANDSCAPE ORDINANCE PLAN
 LANDSCAPE PLANS
VASTLAND - OLD HICKORY BLVD
 OLD HICKORY BOULEVARD
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

| REV. | COMMENTS | DATE |
|------|-------------------|------|
| | INITIAL SUBMITTAL | |

DATE: 04/10/2019
 CHECKED BY: JIB
 DRAWN BY: RMS

L1.0
 JOB NO.: 19-016-01

ity. Contractor shall conform to all Metro - Nashville. Good Horticultural practices to keep all up to the date of termination of the

e site and the bid documents. All work shall be made after contract the part of the Contractor at the time of

ies and shall avoid damage to existing

ies, site structures, etc., resulting from

applicable permits and licenses to be obtained. In the event of a discrepancy, the quantities shown on

ompleted. In the event of a discrepancy, the quantities shown on the site conditions permit. Contractor shall be responsible for all deliveries so that long periods of storage from the sun and wind; materials that have not been properly stored shall be removed from the landscape Architect. Contractor shall be responsible for all deliveries so that long periods of storage from the sun and wind; materials that have not been properly stored shall be removed from the landscape Architect.

ated tree or shrub pit will percolate to the surface. A 24-hour C drain or gravel sump shall be installed, representative of the site conditions.

If parking lot landscape island and the proposed top of pavement shall be maintained and disposed of off site or in a collection trash and/or materials are to be removed from the proposed parking area islands and/or are to be backfilled with sifted topsoil as specified on the grading plans. Median strips are to be excavated to a depth of 6 inches below the finished grade. The bed area is to be backfilled with sifted topsoil to meet the specifications.

cheduling for planting at other times must be approved by the Project Engineer. Trees in the bed area is to be backfilled with sifted topsoil to meet the specifications.

amage. Selectively prune dead wood. All plants shall be maintained by the Landscape Architect. Provide 4' minimum clear trunk unless otherwise specified.

prior to installation. The Contractor shall maintain all staking prior to installation. A total acceptance of the work shall be given when the same species quantity and size and distribution are as shown on the plan.

de positive drainage and promote infiltration. All landscape areas prior to any work shall be mulched with wood bark mulch, which is to be maintained and replaced as needed.

disease. All plants shall be maintained by the Landscape Architect. Provide 4' minimum clear trunk unless otherwise specified.

the material schedule are a general guide for Nursery Stock * (current edition, Inc. The material schedule, new plantings, the landscape installation shall be maintained and replaced as needed.

ork (including but not limited to: watering, weeding, etc.) shall be maintained until total acceptance of the work.

of one year beginning at the date of acceptance of the work. The Contractor shall be responsible for the proper care of all specified plants and proper disposal of any and all materials.

been designed to meet the minimum approval of the planning commission, and reducing or deleting material may cause issues may arise with releasing the same. The approved landscape plan shall not be changed without obtaining approval from either the City of Nashville or the UED and Landscape Architect.

ation are subject to removal at the discretion of the City of Nashville. All plants shall be maintained by the Landscape Architect. Provide 4' minimum clear trunk unless otherwise specified.

Planting Notes:

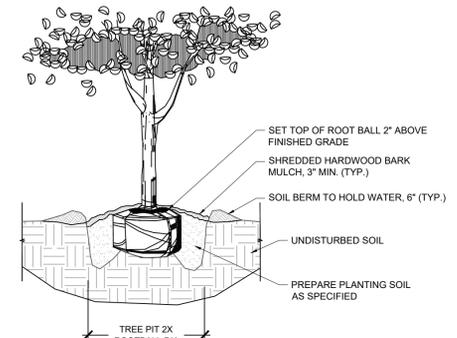
- Any series of trees to be placed in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
- Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity.
- Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet.
- Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval.
- Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root containers shall be removed and disposed of off site.
- Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable material, and remove from project site.
- Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 inches of topsoil.
- Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
- All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
- Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
- The quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations and the liability pertaining to those quantities and any related contract documents and/or price quotations.
- Contractor shall warranty all material for one year after date of final acceptance.

Sodding Notes:

- Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the upper two corners.
- Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine restrictions.
- Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
- 6-12-12 commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid breakdown.
- Areas to receive sod shall be lightly moistened immediately prior to laying sod.
- Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces.
- On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod.
- Prior to placing sod on slopes of 8 inches per foot and steeper, place jute erosion control mesh over topsoil. Securely anchor sod in place with pegs sunk firmly into the ground. Contractor shall submit 12" x 12" samples of jute mesh for review to Landscape Architect or Owner's Representative prior to installation.
- Immediately after installation, water sodded areas to a depth of 4 inches.
- After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller shall not exceed 150 pounds.
- Contractor shall be responsible for maintaining (mowing, trimming, watering) the sod until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

Seeding Notes:

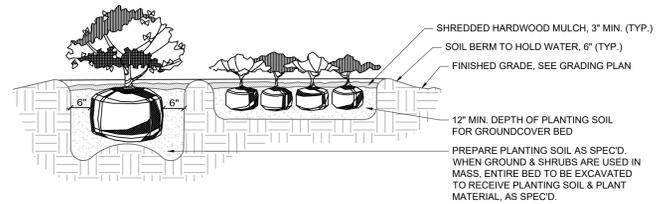
- All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic sources.
- Straw mulch shall be placed upon seeded areas. Straw shall be oats or wheat straw, free from weeds, foreign matter detrimental to plant life, and dry. Hay or chopped cornstalks are not acceptable.
- Contractor shall verify that the prepared soil base is ready to receive work. The topsoil shall be cultivated to a depth of 4 inches with a mechanical tiller and subsequently raked until smooth. Foreign materials collected during cultivation and raking operations shall be removed from the project site.
- Fertilizer shall be applied per the manufacturer's recommendations. Limestone may be applied with the fertilizer. Fertilizer shall be applied after smooth raking and prior to roller compaction and it shall be mixed thoroughly in the upper 2 inches of topsoil.
- Seed shall be applied evenly in two intersecting directions and raked in lightly. The topsoil shall be lightly watered prior to applying seed. Do not seed area in excess of that which can be mulched on the same day.
- Roll seeded area with roller not exceeding one and one half pounds.
- Immediately following seeding and compacting, apply straw mulch at the rate of one and one half bale per 1,000 square feet. Immediately after mulching, apply water with a fine spray and saturate the ground to a depth of 4 inches.
- Contractor shall be responsible for watering seeded areas to prevent grass and soil from drying out until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- Contractor shall be responsible for reseeding bare spots for a period of one year after acceptance of installation at no expense to the Owner.



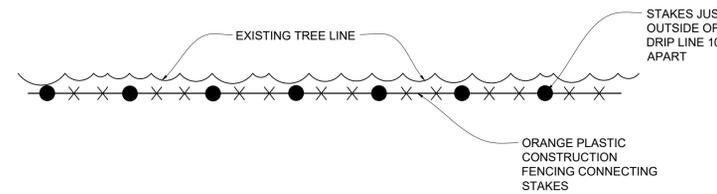
- NOTES:
- DO NOT STAKE TREES UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. IF STAKED, REMOVE STAKE AFTER ONE GROWING SEASON.
 - DO NOT WRAP TREE TRUNKS UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. IF WRAPPED, REMOVE WRAP AFTER PLANTING.
 - NON-BIODEGRADABLE BURLAP TO BE REMOVED OR ROLLED UNDER ROOT BALL AFTER PLANT IS PLACED IN HOLE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

1 TREE PLANTING DETAIL
SECTION NTS

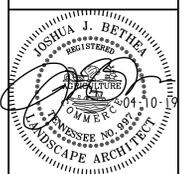
- NOTES:
- NON-BIODEGRADABLE BURLAP TO BE REMOVED OR ROLLED UNDER ROOT BALL AFTER PLANT IS PLACED IN HOLE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



2 SHRUB PLANTING DETAIL
SECTION NTS



3 TREE PROTECTION DETAIL
PLAN NTS



| REV. | COMMENTS |
|------|-------------------|
| | INITIAL SUBMITTAL |

| | |
|-------------|------------|
| DATE | 04/10/2019 |
| CHECKED BY: | JIB |
| DRAWN BY: | RAS |

MAP 160, PARCELS 106 & 108
MAP 171, PARCEL 168
BASE INFORMATION AND TOPO SHOWN IS TAKEN FROM METRO GIS

