

SP PRELIMINARY DEVELOPMENT PLAN

LC NATIONS

2019SP-042-001

5010 TENNESSEE AVENUE

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

COUNCIL DISTRICT 20 - MARY CAROLYN ROBERTS



NORTH
VICINITY MAP
NOT TO SCALE

PREPARED FOR:

Lifestyle Communities
230 West Street
Suite 200
Columbus, OH 43215
April 10th, 2019
Rev: April 30th, 2019

LANDSCAPE ARCHITECT

EDGE
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
210 12th Ave. South, Suite 202
Nashville, Tennessee 37203
P 615-250-8154 F 615-250-8155

ARCHITECT

dwell design studio
3655 Brookside Parkway, Suite 150
Alpharetta, Georgia 30022

CIVIL ENGINEER

Kimley»Horn
214 Oceanside Drive
Nashville, TN 37204

PURPOSE NOTE:

THE PURPOSE OF THIS PRELIMINARY SP IS TO DEVELOP THE PROPERTY IN ALIGNMENT WITH THE WEST NASHVILLE COMMUNITY PLAN AND PERMIT THE DEVELOPMENT OF A MIXED-USE MULTI-FAMILY BUILDING WITH UP TO 400 RESIDENTIAL UNITS AND 26,000 SQUARE FEET OF MIXED COMMERCIAL USES. CONSTRUCT PEDESTRIAN IMPROVEMENTS, INCLUDING THE INTERSECTION OF LOUISIANA AVE. AND CENTENNIAL BLVD. WHILE ALSO INCREASING THE AMOUNT OF PUBLIC PARKING AVAILABLE, AND THE ADDITION OF PUBLIC SIDEWALKS ON 51ST. AVE., LOUISIANA AVE., 49TH. AVE., AND TENNESSEE AVE.

INDEX OF DRAWINGS

COVER SHEET	C0.00
PRELIMINARY SP REGULATING PLAN	SP1.00
SITE UTILITY/DRAINAGE PLAN	C1.00
SITE LANDSCAPE PLAN	L1.00
ARCHITECTURAL GRAPHICS	L1.01

PURPOSE NOTE:

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DEVELOPMENT SUMMARY:

- PROPERTY LOCATED IN DAVIDSON COUNTY - TAX MAP 091-07
- AS PARCELS: 48.00, 49.00, 50.00, 51.00, 52.00, 53.00, 54.00, 55.00, 56.00, 101.00, 102.00, 103.00, 359.00, 360.00
- EXISTING LAND USES:
 - OFFICE BUILDING (1 OR 2 STORIES)
 - VACANT COMMERCIAL LAND
 - AUTO REPAIR/BODY SHOP
- COUNCIL DISTRICT: 20
- COUNCIL MEMBER: MARY CAROLYN ROBERTS
- OWNERS:
 - Charles S. Moore
 - 5010 Tennessee Ave.
 - Nashville, TN 37209
- Kristin Walker
- 5001 Properties, LLC
- 5001 Georgia Ave.
- Nashville, TN 37209

NAME:	LC NATIONS	James and Laurel Satterfield
SP NUMBER:	2019SP-042-001	4901 Louisiana Ave.
EXISTING ZONING:	T4,CM	Nashville, TN 37209
EXISTING ZONING AND USE POLICY:	T4,CM	
PLAN DATE:	04/10/19	
FEMA FIRM #:	470370236H; EFFECTIVE 4-5-2017	

SITE DATA:

- GROSS PROPERTY AREA: 3.82 Acres
- GROSS SP AREA: 3.82 Acres
- RIGHT-OF-WAY AREA: +/- 0.07 Acres
- OPEN SPACE AREA: 0.35 Acres
- DENSITY: +/- 105 Units Per Acre
- DWELLING UNITS: 400
- FLOOR AREA RATIO: 4.3
- REQUIRED PARKING SPACES: 567
- PROVIDED PARKING SPACES: 600
- USES:
 - MULTIFAMILY RESIDENTIAL
 - RETAIL
 - RESTAURANT
 - FULL SERVICE RESTAURANT
 - PARKING GARAGE
 - SALES/LEASING OFFICE
 - PERSONAL CARE SERVICES
- ALL ADDITIONAL PERMITTED USES IN THE MU-L ZONING DISTRICT

BULK STANDARDS:

MAX. FLOOR:	MAX. BLDG. HEIGHT:	BUILDING 1000	BUILDING 2000	BUILDING 3000	BUILDING 4000
4.5	90	6 STORES	85'	56'	65'
MAX. BUILDING HEIGHT					
FRONT SETBACK (@ LOUISIANA)	FRONT SETBACK (@ TENNESSEE)	FRONT SETBACK (@ TENNESSEE)			
REAR SETBACK	REAR SETBACK	REAR SETBACK	REAR SETBACK	REAR SETBACK (@ 51ST)	REAR SETBACK
0'	0'	0'	0'	15'	0'

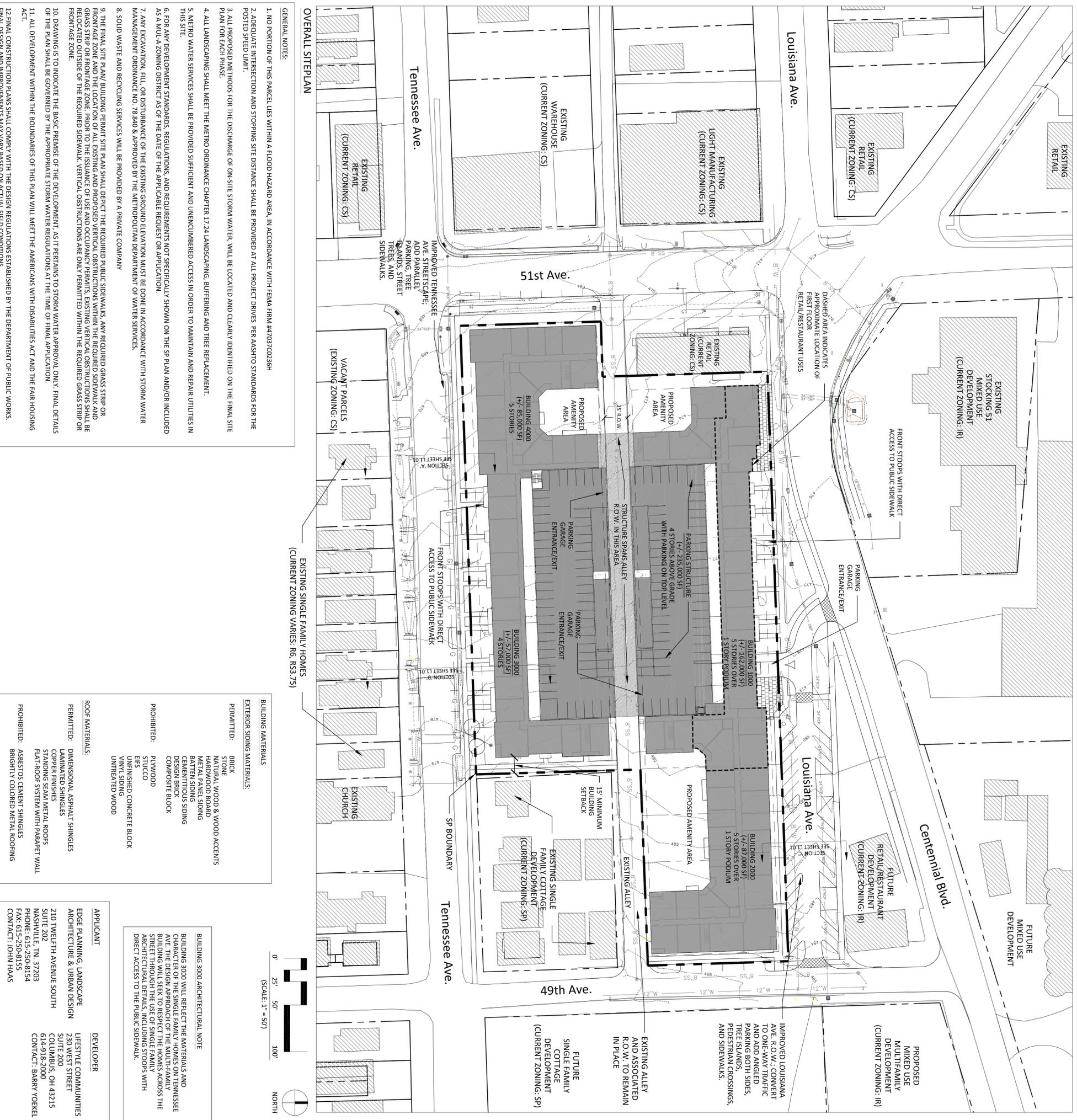
PARKING REQUIREMENTS:

NOTE: ALL PARKING CALCULATIONS ARE PER THE STANDARDS OF THE URBAN ZONING OVERLAY

MULTIFAMILY RESIDENTIAL	STUDIO/1 BEDROOM	2 BEDROOM	COMMERCIAL USES	RESTAURANT (FULL SERVICE)	SALES/LEASING	RETAIL	PERSONAL CARE SERVICES	TOTAL SPACES REQUIRED:	TOTAL GARAGE SPACES PROVIDED:	ADDITIONAL ON-STREET PARKING PROVIDED:
300 UNITS @ 1 PER UNIT	100 UNITS @ 1.5 PER UNIT			4,000 SF @ 1 PER 150 SF (FIRST 1000 SF ARE EXEMPT WITHIN THE UZO)	2,000 SF @ 1 PER 200 SF	15,000 SF @ 1 PER 200 SF (FIRST 2,000 SF ARE EXEMPT WITHIN THE UZO)	5,000 SF @ 1 PER 200 SF (FIRST 2,000 SF ARE EXEMPT WITHIN THE UZO)	567 SPACES	600 SPACES	+/- 35 SPACES

PARKING GARAGE NOTE

THE NUMBER AND CONFIGURATION OF PARKING SPACES WILL VARY BY FLOOR OF THE PARKING STRUCTURE.



OVERALL SITE PLAN

- GENERAL NOTES:**
1. NO PORTION OF THIS PARCEL LIES WITHIN A FLOOD HAZARD AREA, IN ACCORDANCE WITH FEMA FIRM #470370236H
 2. ADEQUATE INTERSECTION AND STOPPING SITE DISTANCE SHALL BE PROVIDED AT ALL PROJECT DRIVES PER MASHTO STANDARDS FOR THE POSTED SPEED LIMIT.
 3. ALL PROPOSED METHODS FOR THE DISCHARGE OF ON-SITE STORM WATER, WILL BE LOCATED AND CLEARLY IDENTIFIED ON THE FINAL SITE PLAN FOR EACH PHASE.
 4. ALL LANDSCAPING SHALL MEET THE METRO ORDINANCE CHAPTER 17.24 LANDSCAPING, BUFFERING AND TREE REPLACEMENT.
 5. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 6. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A MULTI-ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
 7. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78.840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 8. SOLID WASTE AND RECYCLING SERVICES WILL BE PROVIDED BY A PRIVATE COMPANY
 9. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR GRASS STRIP ON FRONTAGE ZONE, AND ANY REQUIRED GRASS STRIP OR GRASS STRIP ON FRONTAGE ZONE. EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
 10. DRAWING IS TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL ONLY. FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
 11. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 12. FINAL CONSTRUCTION PLANS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS.

BUILDING MATERIALS

EXTERIOR SIDING MATERIALS:

PERMITTED: BRICK, STONE, NATURAL WOOD & WOOD ACCENTS, HANDWOOD BOARD, METAL PANEL SIDING, GEMINTIUS SIDING, COMPOSITE BRICK

PROHIBITED: PLWOOD, STUCCO, UNFINISHED CONCRETE BLOCK, UNFINISHED WOOD, UNTRICHTED WOOD

ROOF MATERIALS:

PERMITTED: DIMENSIONAL ASPHALT SHINGLES, LAMINATED SHINGLES, COPPER FINISHES, STANDING SEAM METAL ROOFS, FLAT-ROOF SYSTEM WITH PARAPET WALL

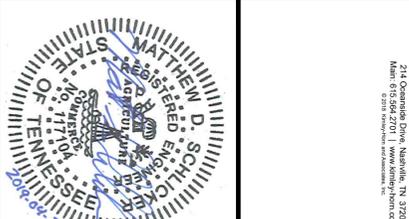
PROHIBITED: ASBESTOS CEMENT SHINGLES, BRIGHTLY COLORED METAL ROOFING

BUILDING 3000 ARCHITECTURAL NOTE

BUILDING 3000 WILL REFLECT THE MATERIALS AND CHARACTER OF THE SINGLE FAMILY HOMES ON TENNESSEE AVE. THE DESIGN APPROACH OF THE MULTIFAMILY BUILDING WILL SEEK TO RESPECT THE HOMES ACROSS THE STREET THROUGH THE USE OF SINGLE FAMILY ARCHITECTURAL DETAILS, INCLUDING STOOPS WITH DIRECT ACCESS TO THE PUBLIC SIDEWALK.

APPLICANT	DEVELOPER
EDGE PLANNING, LANDSCAPE ARCHITECTURE & URBAN DESIGN SUITE 200 210 TWELFTH AVENUE SOUTH NASHVILLE, TN, 37203 PHONE: 615-250-8154 FAX: 615-250-8155 CONTACT: JOHN HAAS	LIFESTYLE COMMUNITIES 230 WEST STREET SUITE 200 COLUMBIAS, OH 43215 614-918-2000 CONTACT: BARRY VOEKL

<p>PROJECT TITLE</p> <p>LC NATIONS PRELIMINARY SP PLAN</p> <p>CASE # 2019SP-042-001</p> <p>5010 TENNESSEE AVE. NASHVILLE, TN 37209</p>	<p>SEAL</p>	<p>CONSULTANTS</p> <p>Kimley+Horn</p> <p>dwell DESIGN</p>	<p>EDGE</p> <p>210 Twelfth Avenue South Nashville, Tennessee 37203 P 615-250-8154 F 615-250-8155</p>
<p>CLIENT</p> <p>LIFESTYLE COMMUNITIES</p>	<p>PROJECT NO. 19007</p> <p>Date 04/10/19</p> <p>Revisions</p> <p>04/30/19 - PER METRO COMMENTS</p>	<p>Sheet Title</p> <p>REGULATING PLAN</p> <p>Sheet Number</p> <p>SP 1.00</p>	<p>APPLICANT</p> <p>EDGE PLANNING, LANDSCAPE ARCHITECTURE & URBAN DESIGN SUITE 200 210 TWELFTH AVENUE SOUTH NASHVILLE, TN, 37203 PHONE: 615-250-8154 FAX: 615-250-8155 CONTACT: JOHN HAAS</p>



LC NATIONS
PRELIMINARY SP PLAN
CASE # 2019SP-042-001
 5010 TENNESSEE AVE.
 NASHVILLE, TN 37209

LIFESTYLE COMMUNITIES

PROJECT NO. 19007
 Date 04/30/19
 Revisions 04/30/19 - PER METRO COMMENTS

Sheet Title

**SITE UTILITY/
 DRAINAGE PLAN**

Sheet Number

C1.00

SITE DATA TABLE

PRE-DEVELOPMENT IMPERVIOUS AREA	+4,272 AC
POST-DEVELOPMENT IMPERVIOUS AREA*	+1,348 AC
POST-DEVELOPMENT PERVIOUS AREA	+4,036 AC
ISIR	0.91
ROW DEDICATION	+4,007 AC
TOTAL AREA	3.82 AC

*GENERATION WILL BE REQUIRED IF THE POST-DEVELOPMENT IMP. AREA IS LARGER THAN THE PRE-DEVELOPMENT IMP. AREA.

SOIL SURVEY NOTE

THIS SITE IS COMPOSED ENTIRELY OF HINDS-ARJUN LAND COMPLEX 270 18 PERCENT SLOPE (MAD) - HSG RATING "C"

STANDARD STORMWATER NOTES

- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78-340 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN THE PROPERTY AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- BY THE METRO STORMWATER MANAGEMENT MANUAL, (MINIMUM SIDE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH IN THE METRO STORMWATER MANAGEMENT MANUAL, (MINIMUM REQUIREMENT OF THE CURRENT STORMWATER MANAGEMENT PROJECT INTENT FOR THIS SITE IS TO BE RELOCATED PER THE REQUIREMENT OF THE CURRENT STORMWATER MANAGEMENT DESIGN) SHALL BE PROVIDED (TWO) PRECIPITATED.

SITE-SPECIFIC STORMWATER DESIGN

- ALL BUILDING ROOF DRAINAGE TO BE ROUTED TO ABOVE-GROUND DETENTION VAULTS.
- PER PHASE 1 ENVIRONMENTAL AND GEOTECH REPORTS, THE SITE THEREFORE, AN LID WATER WILL BE REQUESTED AND ABOVE-GROUND DETENTION WILL BE UTILIZED WHERE POSSIBLE.

UTILITY NOTES

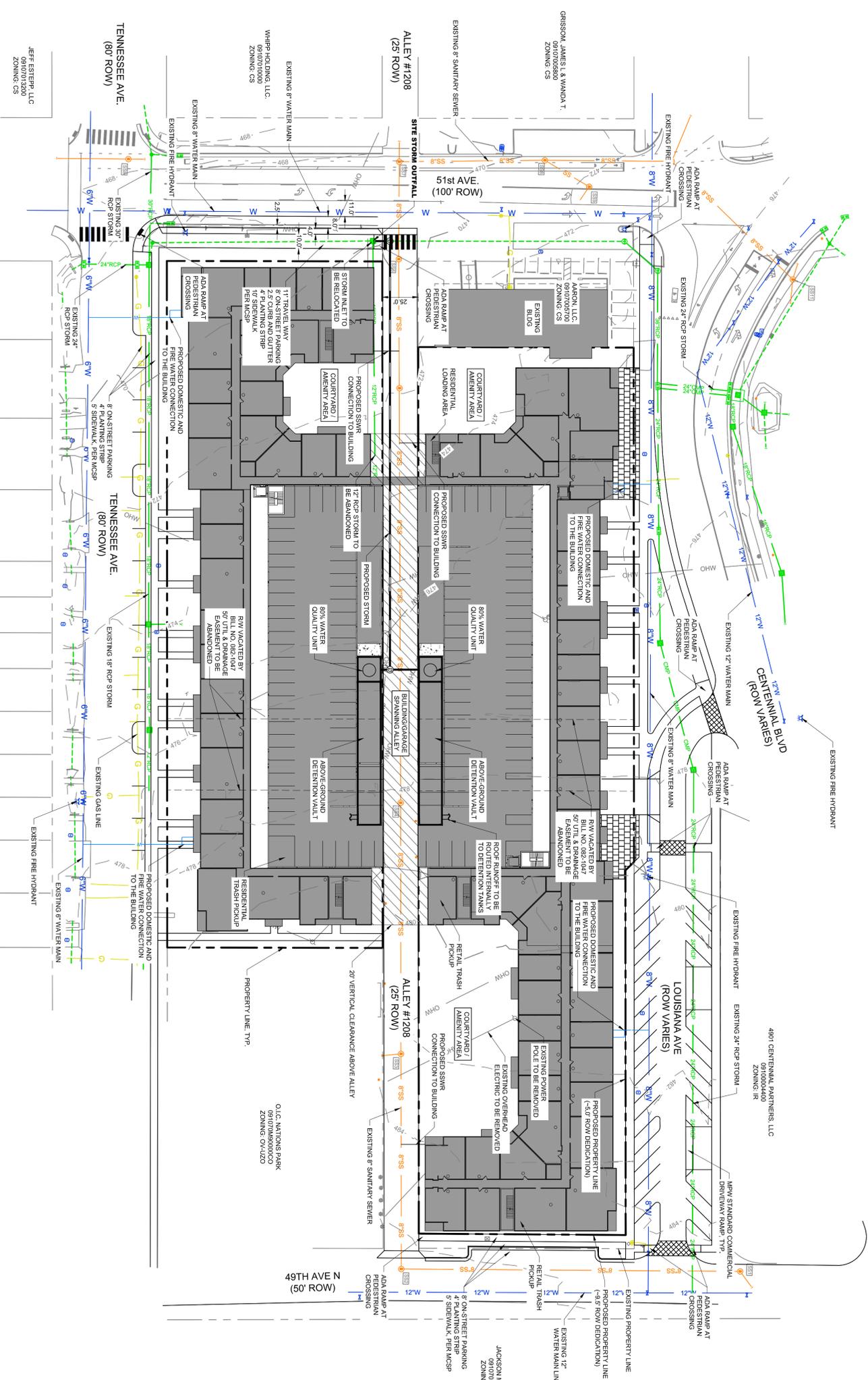
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER REPRESENTATIVE IF DISCREPANCIES ARE FOUND FOR CONSTRUCTION THAT REQUIRE DE-VAULTING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- WATERS AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO WASHVILLE WATER SERVICES STANDARD SPECIFICATIONS.
- SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
- SEPER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS.
- ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
- AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE SITE ELECTRICAL TO BE TAKEN UNDERGROUND WHERE FEASIBLE WITHIN THE PROJECT LIMITS.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

METRO NASHVILLE WATER SERVICES STANDARD NOTES

- FEMA NOTE:**
 THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #1901000400 (SPECIAL FLOOD HAZARD).
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS SERVICES THE COST OF INSPECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR REMBURSING THE METRO WASHVILLE WATER SERVICES THE COST OF INSPECTION.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE RELAYING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORNING AND RESILIENT.
 - CONNECTOR METHOD BACKFLOW PREVENTION DEVICES (RBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (GALVORN) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WASHVILLE WATER SERVICES.
 - FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOST REVISIONS. ALL PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND LINES ANCHOR STATION AND OFFSET FROM SERVICE CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR. ALL PLANS SHALL REFLECT ALL DEPTH, LOCATIONS OF HYDRAULIC VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES. THE SEALS, DRAWINGS MUST BE ON THE LETTER-CASE DRAWING AND THE DEPARTMENT OF THE SERVICES DIVISION ON THE VENDOR STANDARD AND CONNECTIONS BEING MADE.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF.
 - ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WASHVILLE VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS.
 - PROVISION LINE SHALL BE COVERED FROM THE METER TO THE BACKFLOW PREVENTER.
 - ALL SEWER SERVICES SHALL BE 8 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN TO THE BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 - PLAN SIZE SHALL BE 24" X 36" AND SHALL SHOW CONTOURS AROUND METER BOXES.



JEFF ESTEPP, LLC
 08/10/21/2020
 ZONING CS

WHPP HOLDING, LLC
 09/10/21/2000
 ZONING CS

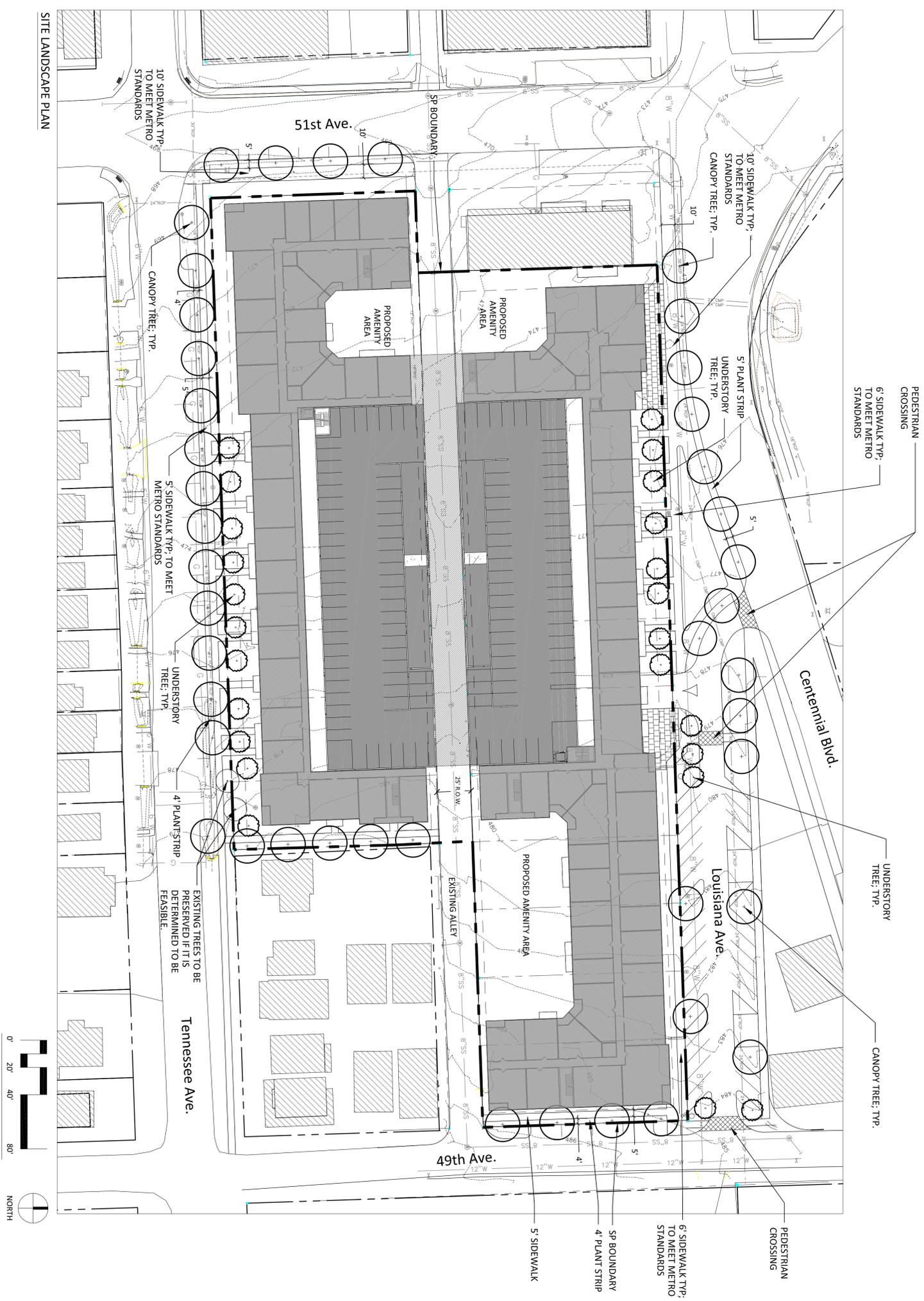
O.I.C. NATIONS PARK
 09/10/21/2000
 ZONING O-V-120

CALCULATIONS WORKSHEET FOR TREE DENSITY REQUIREMENTS
 MAP# 091-07
 PARCELS: 48.00, 49.00, 50.00, 51.00, 52.00, 53.00, 54.00, 55.00, 56.00, 101.00, 102.00, 103.00, 389.00, 390.00
 PROPERTY ZONE: SP
 INTERIOR PLANTING AREA REQUIRED: N/A

TOTAL SITE AREA: 3.82 ACRES
 BUILDING COVERAGE: 2.74 ACRES
 AREA OF COMPLIANCE: 1.08 ACRES
 X 14 TDU/AC.
 REQUIRED TREE DENSITY UNITS: 15.12 TDU

TOTAL TREE DENSITY UNITS PRESERVED: 0.00
 TOTAL TREE DENSITY UNITS PROPOSED: 15.2
 TOTAL TREE DENSITY UNITS PROVIDED: 15.2

IRRIGATION NOTE
 ALL PLANT MATERIAL TO BE IRRIGATED WITH A HIGH EFFICIENCY IRRIGATION SYSTEM TO BE INSTALLED AT THE TIME OF PLANTING.



SITE LANDSCAPE PLAN

EDGE
 210 Twelfth Avenue South
 Suite 202
 Nashville, Tennessee 37203
 P 615-250-8154
 F 615-250-8155

Kimley»Horn
 CONSULTANTS
dwell DESIGN STUDIO

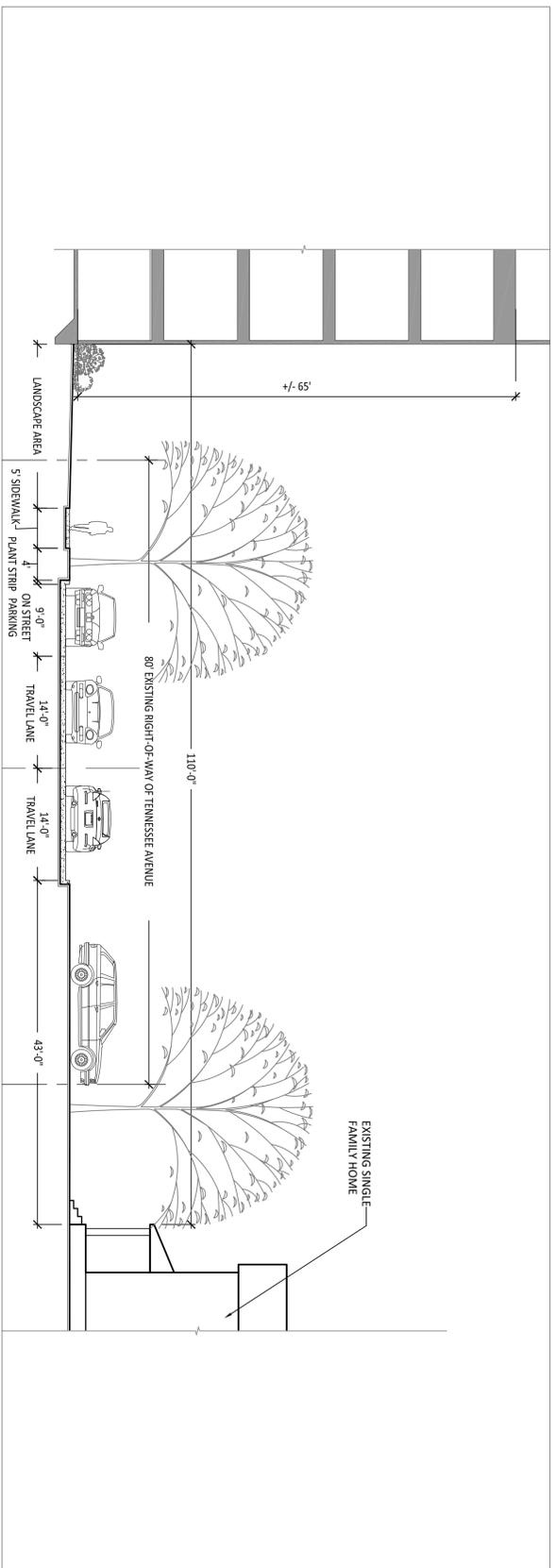


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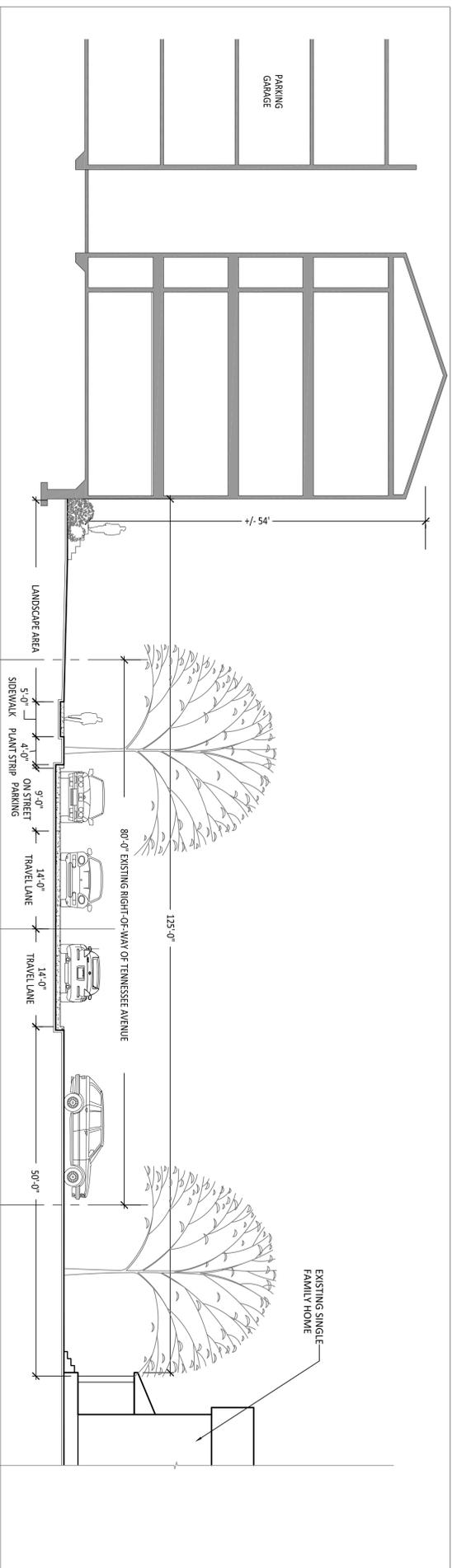
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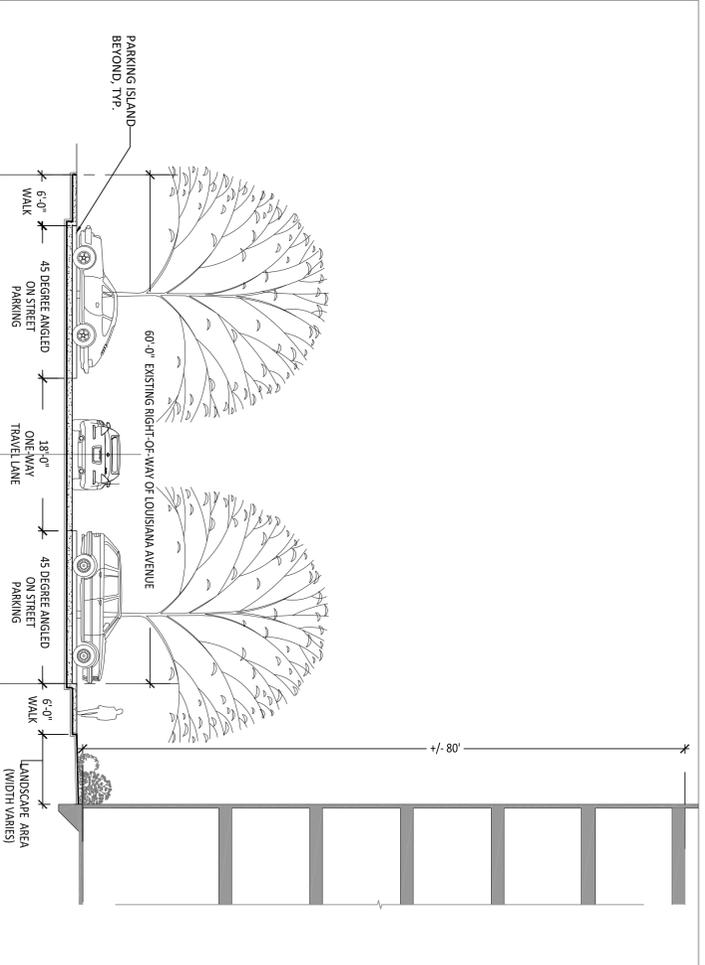
Sheet Title
SITE LANDSCAPE
PLAN
 Sheet Number
L 1.00



SECTION 'A' - BUILDING 4000 @ TENNESSEE AVE.
SCALE: 1" = 10'



SECTION 'B' - BUILDING 3000 @ TENNESSEE AVE.
SCALE: 1" = 10'



SECTION 'C' - BUILDING 2000 @ LOUISIANA AVE.
SCALE: 1" = 10'



ELEVATION - VIEW LOOKING WEST FROM 51ST AVE.
NOT TO SCALE

NOTE: ARCHITECTURE IS CONCEPTUAL ONLY, AND MEANT TO INDICATE DESIGN INTENT. FINAL ARCHITECTURAL PLANS AND ELEVATIONS WILL BE DEVELOPED FOR THE SUBMITTAL OF THE FINAL SP.