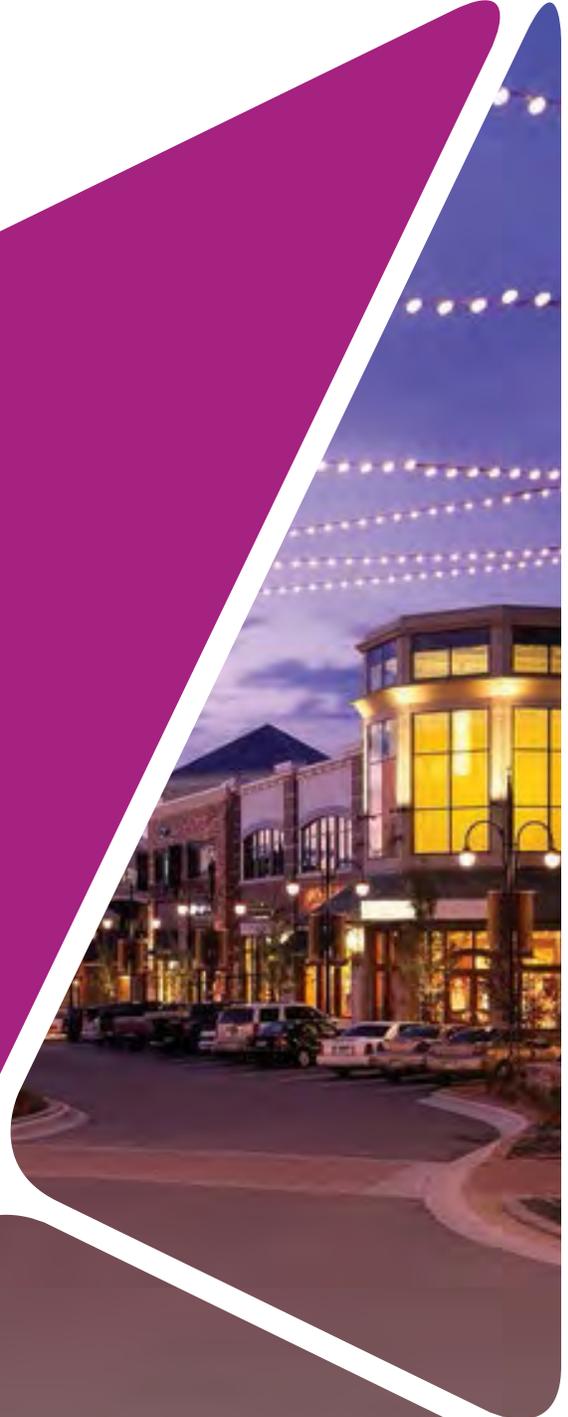


# STARWOOD TOWN CENTER

PRELIMINARY SPECIFIC PLAN DOCUMENT

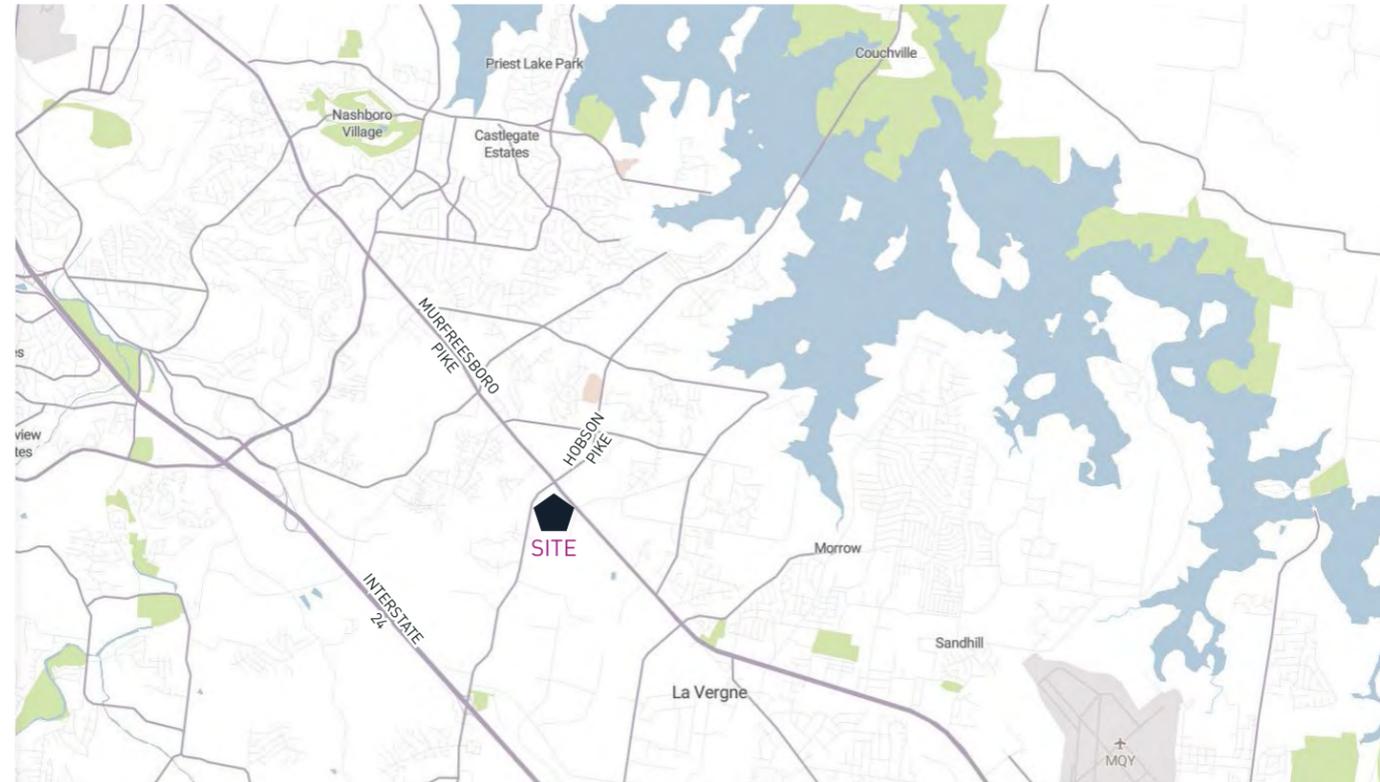
REVISED: 4/16/2020



2008SP-002-004  
Kimley»Horn

# PROJECT BACKGROUND

## LOCATION



## SITE INFO

Site is on +/- 65.1 Acres of land located at:

3839 Murfreesboro Pike  
Nashville, Tennessee 37013

Council District #33: Antoinette Lee

### Owner:

PBR&T Partnership  
5200 Old Harding Road  
Franklin, TN 37064

### Land Planner:

Josh Rowland, PLA  
615-823-2209  
josh.rowland@kimley-horn.com

### Traffic Engineer:

Brad Waldschmidt, PE  
615-564-2705  
brad.waldschmidt@kimley-horn.com

### Applicant:

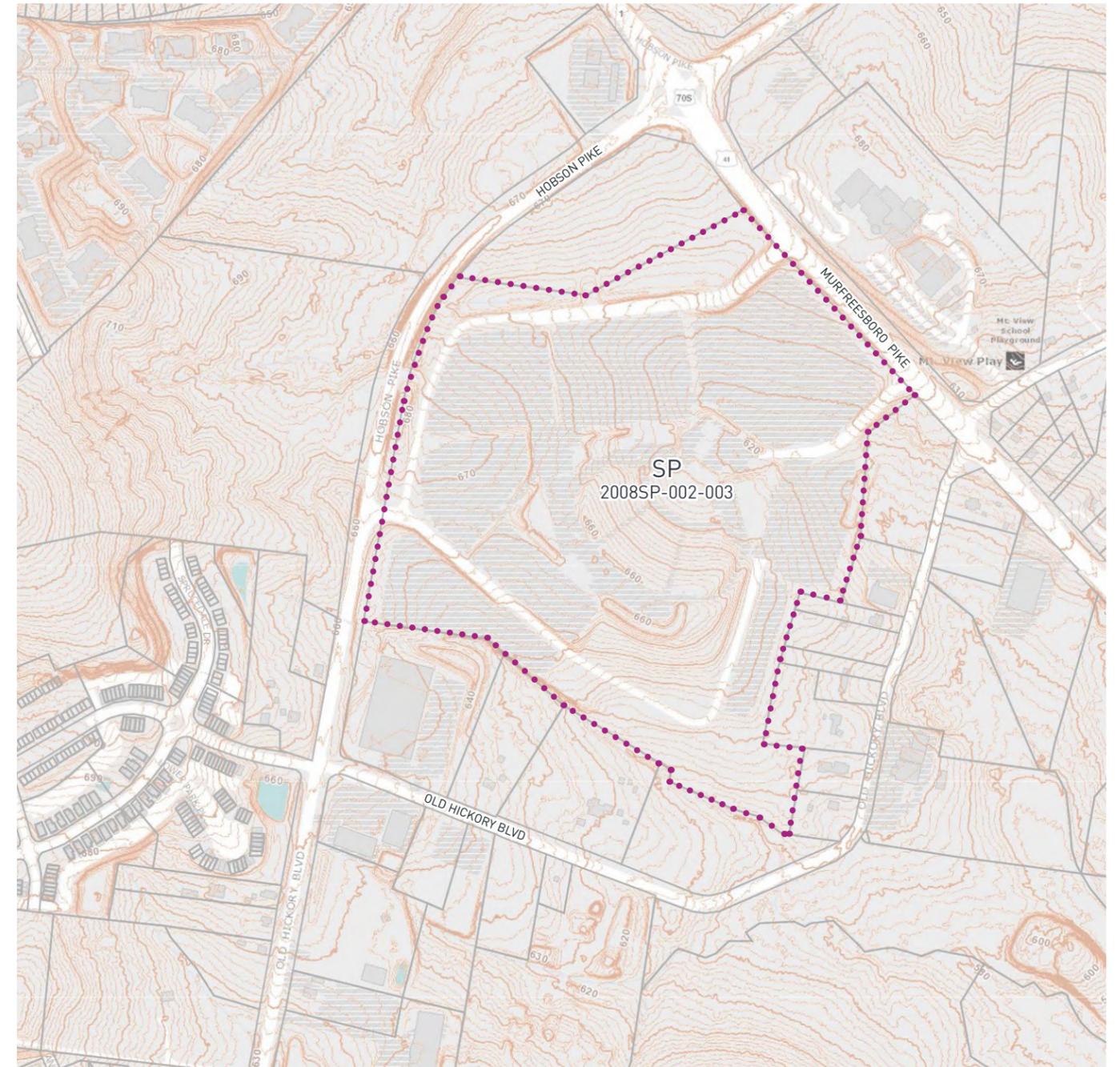
Kimley-Horn  
214 Oceanside Drive  
Nashville, TN 37204  
ATTN: Ben Miskelly, AICP  
ben.miskelly@kimley-horn.com

### Engineer:

Yates Bateman, PE  
615-564-2716  
yates.bateman@kimley-horn.com

# ZONING AND LAND USE POLICY

## SITE BOUNDARY



## LAND USE POLICY:

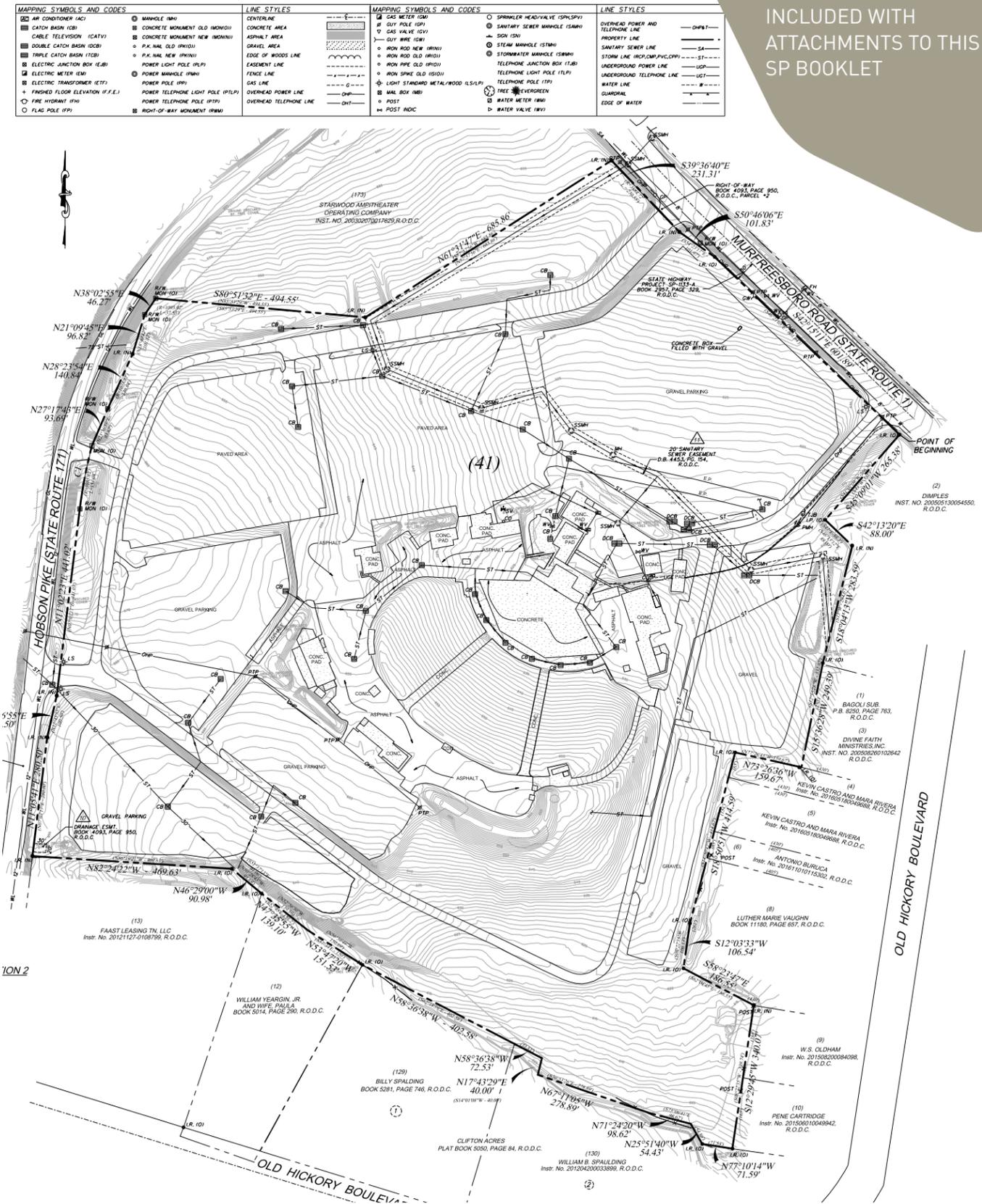
<u>PARCEL</u>	<u>ADDRESS</u>	<u>EXISTING POLICY</u>	<u>PROPOSED POLICY</u>	<u>OWNER</u>
16400004100	3839 MURFREESBORO PIKE	T3CC	T3CC/D IN	PBR&T PARTNERSHIP

# EXISTING CONDITIONS

## SITE IMAGES AND SURVEY

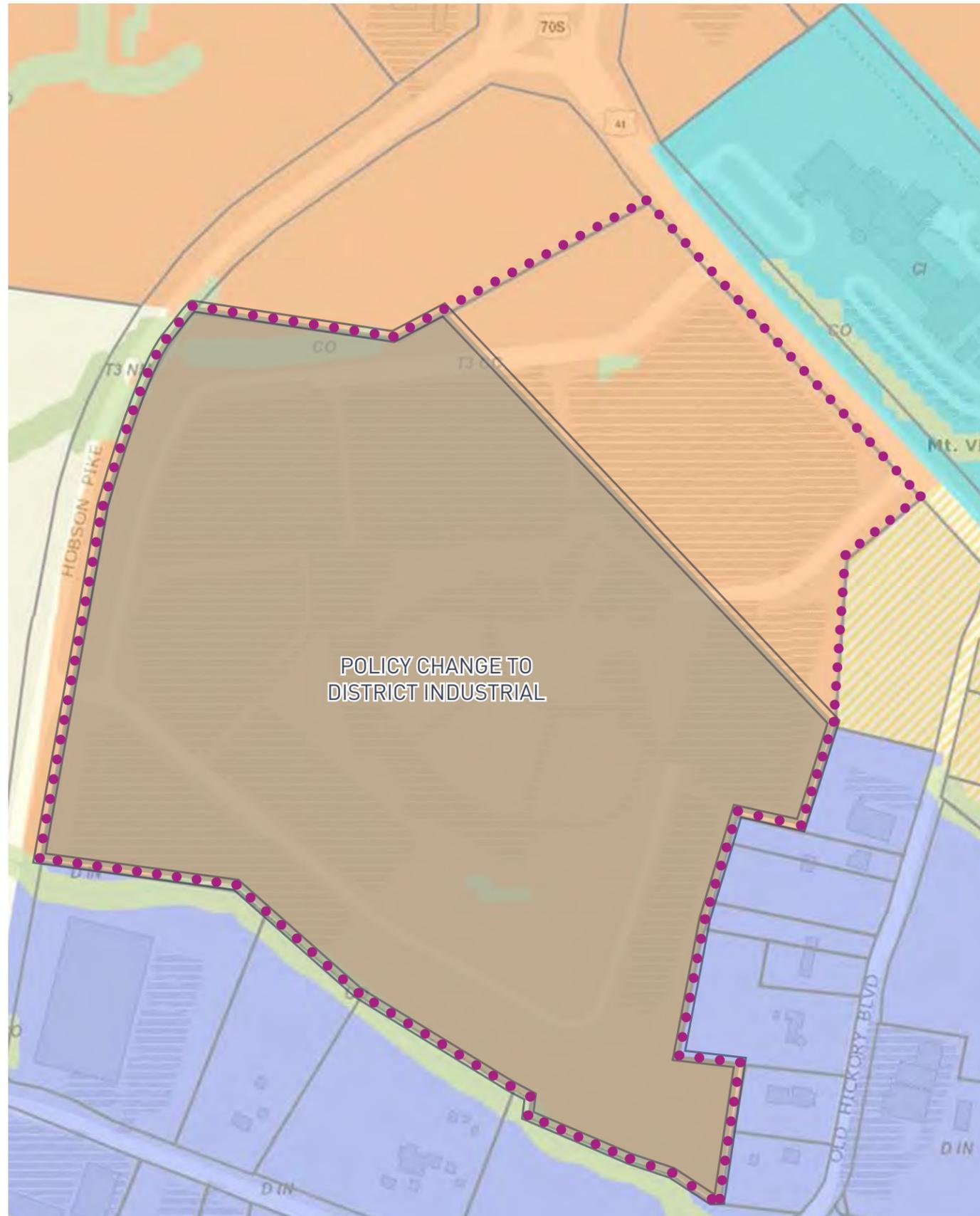


**NOTE:**  
FULL SCALE SURVEY  
INCLUDED WITH  
ATTACHMENTS TO THIS  
SP BOOKLET



SURVEY PROVIDED BY: BARGE, WAGGONER, SUMNER, AND CANNON DATED 07/13/2018

# LAND USE POLICY



**T3-CC Intent:** Create and enhance suburban community centers encouraging their development or redevelopment as intense mixed use areas that are compatible with the general character of suburban neighborhoods as characterized by the service area, development pattern, building form, land use, and associated public realm.

**Appropriate Zoning Districts:**

- MUN-A, MUN
- MUL, MUL-A
- OR20-A, OR20
- CL-A
- CN, CL, or SCC

**Design-based zoning**

**Appropriate Building Types:**

- Manor House
- Low-Rise Townhouse
- Mid-Rise Townhouse
- Low-Rise Flat**
- Mid-Rise Flat
- Low-Rise Mixed Use**
- Mid-Rise Mixed Use
- Low-Rise Commercial**

**D-IN Intent:** Maintain, enhance, and create Districts that are dominated by one or more industrial activities, so that they are strategically located and thoughtfully designed to serve the overall community or region, but not at the expense of the immediate neighbors.

**Appropriate Zoning Districts:**

- IWD
- CS, CS-A
- IR
- OL
- OG

**Design-based zoning**

**Appropriate Land Use Types:**

- Ancillary Day Care
- Ancillary Residential
- Commercial
- Distribution**
- Manufacturing**
- Office**
- Production Facilities**
- Storage**

**SITE DESIGN**  
LAYOUT PLAN



HOBSON PIKE

MURFREESBORO PIKE

ZONE 1  
+/- 8 AC.

ZONE 2  
+/- 8 AC.

ZONE 3  
+/- 49 AC.

OLD HICKORY BLVD.

**NOTE:**  
FULL SCALE PLAN  
INCLUDED WITH  
ATTACHMENTS TO THIS  
SP BOOKLET



# SITE BULK STANDARDS AND REGULATIONS

# ZONE 1

Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The Planning Department may allow necessary adjustments to the build-to zone when existing utilities or utility easements are within the build-to zone and unusual circumstances require that the utilities cannot be relocated or easements reduced. The Planning Department may allow necessary adjustments to the build-to zone based on the nature of the existing and future land uses and site conditions in the general vicinity.

## SITE WIDE BULK STANDARDS

### Zoning and Uses:

Fall Back Zoning: MUL-A (T3CC)  
IWD (D-IN)

The purpose of this SP is to receive preliminary approval to permit the development of a 65.11 acre mixed-use development as shown.

For any development standards, regulations and requirements not specifically shown on the SP plan and / or included as a condition of Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A or IWD zoning.



BULK STANDARD	ZONE 1
<b>Height</b>	
Primary District Height(1)	45'
Minimum Single-Family Lot Size	3,000 SF
Commercial Raised Foundation	0" - 3'
Residential Raised Foundation	18" - 3'
<b>Developable Area</b>	
Maximum Residential Density	15 units/acre
Impervious Surface Ratio (ISR)	.70
<b>Front Build-To</b>	
Primary	0-30'
Secondary	0-10'
Rear Setback	0'
Side Setback	0'
Minimum Building Separation	5'
<b>Glazing (min.)</b>	
Ground Floor (Residential)	15%
Ground Floor (Commercial)	30%
Upper Stories	15%



### ZONE INTENT

Zone 1 is intended to provide residential uses to the community. It will primarily be comprised of single-family attached and detached uses. Live+work and small scale retail will be permitted with an adjacent or above residential unit.



BULK STANDARD	ZONE 2
<b>Height</b>	
Primary District Height(1)	45'
Commercial Raised Foundation	0' - 3'
Residential Raised Foundation	N/A
<b>Developable Area</b>	
Floor Area Ratio (FAR)	1.0
Impervious Surface Ratio (ISR)	.90
<b>Front Build-To</b>	
Primary	0-80'
Secondary	0-10'
Rear Setback	5'
Side Setback	5'
Minimum Building Separation	5'
<b>Glazing (min.)</b>	
Ground Floor (Residential)	N/A
Ground Floor (Commercial)	30%
Upper Stories	15%

**ZONE INTENT**

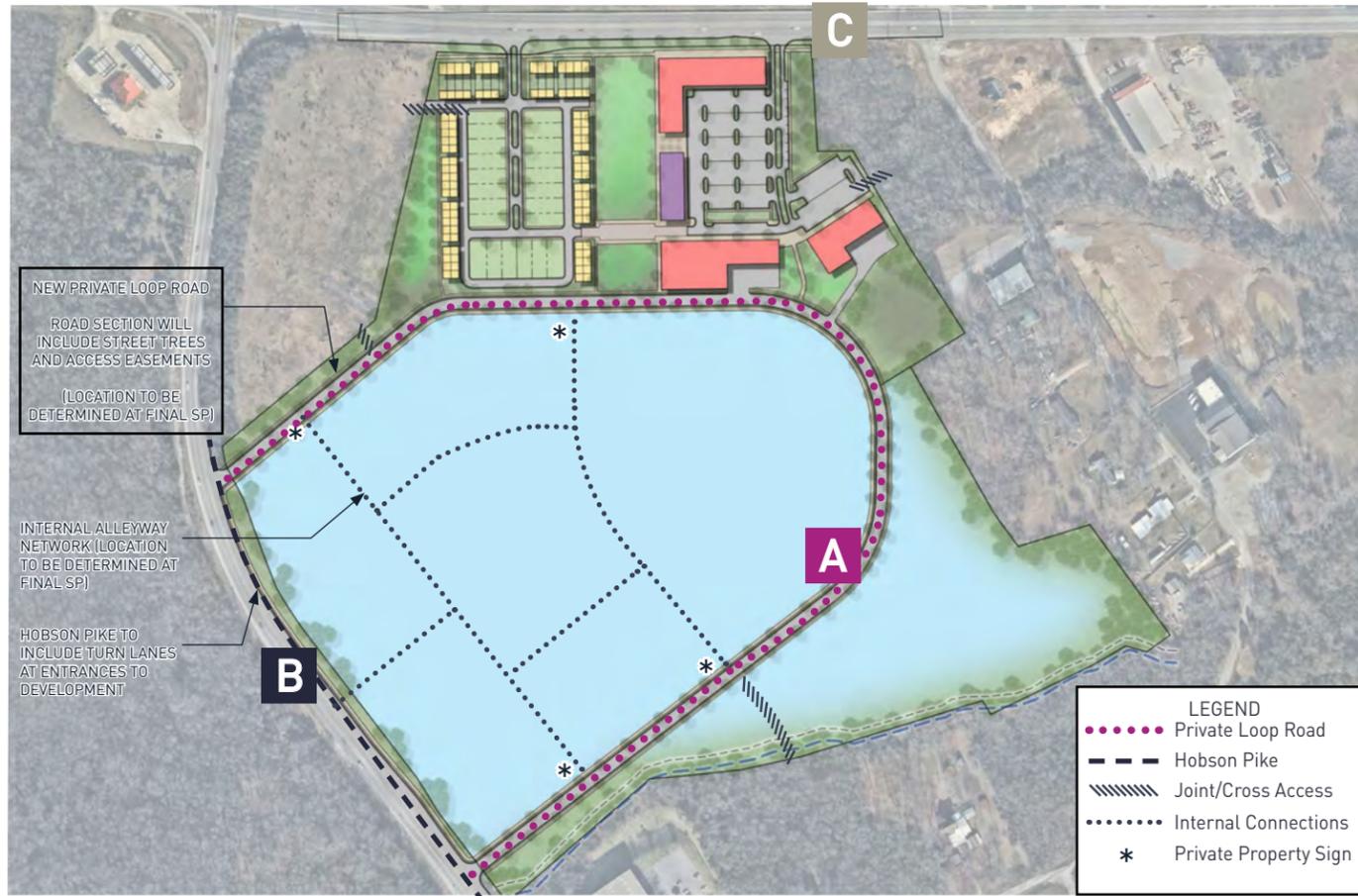
Zone 2 is intended to provide commercial and mixed-uses to the community. It will primarily be comprised of 1-3 story retail, restaurant, and office uses. Residential will be permitted above other uses within Zone 2 but is prohibited on the ground floor.



BULK STANDARD	ZONE 3
<b>Height</b>	
Primary District Height(1)	45'
Raised Foundation	N/A
<b>Developable Area</b>	
Floor Area Ratio (FAR)	0.8
Impervious Surface Ratio (ISR)	0.9
<b>Front Setback</b>	
Hobson Pike	50'
Rear Setback	20'
Side Setback	5'
Minimum Building Separation	15'
<b>Glazing (min.)*</b>	
Ground Floor (Industrial Building/Entry)	5%/20%
Upper Stories (Industrial Building/Entry)	5%/20%
Ground Floor (Hobson Pike)	20%
Upper Stories (Hobson Pike)	10%
Ground Floor (Office/Commercial)	30%
Upper Stories (Office/Commercial)	15%

Truck Parking and Loading: Loading bays, garage doors, and truck parking areas are not permitted to front Hobson Pike.





**GENERAL NOTES**

- Any required right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.
- Loading areas and rideshare locations shall be limited to spaces interior to the structures or behind the structures off of public right-of-way.
- Developer will ensure bike lanes are continuous through intersections and that crosswalks are installed at public ROW intersections.
- All construction within public ROW shall comply w/ MPW standards and specs
- All ROW dedication will occur prior to the issuance of building permits.
- Signs denoting "Now Entering Private Property" shall be installed at each connection between public roadways and private drives.
- All curb and gutters will match Metro Public Works Standard ST-200
- All trash and waste will be collected via private hauler

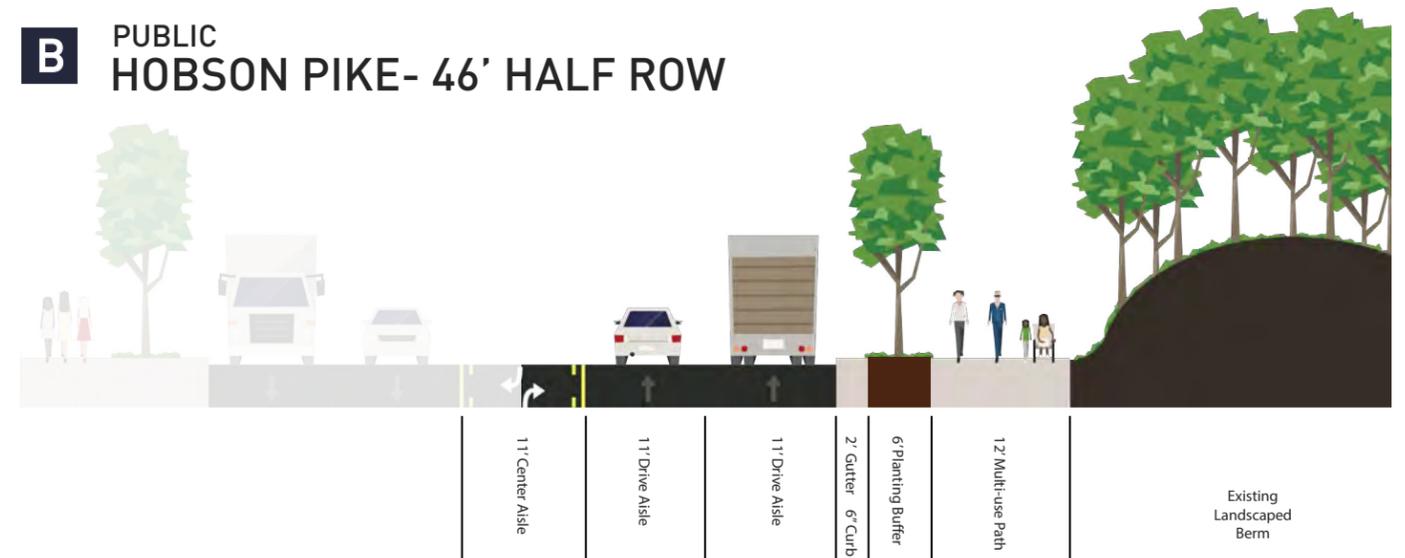
**PARKING STANDARDS**

- Parking shall be provided within public covered stalls, parking areas, and private garages internal to the development.
- Guest parking spaces shall be accounted for within development in the form of surface parking internal to the SP.
- Bicycle parking shall be provided per Metro Standards.
- Landscape islands will be provided at minimum between every 15 continuous parking stalls.

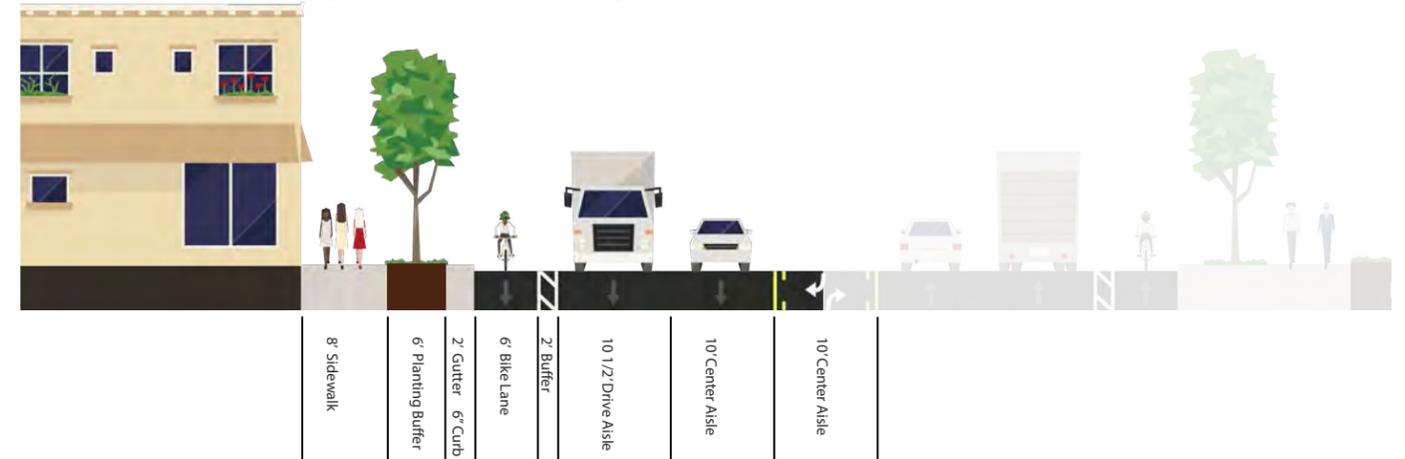
**A PRIVATE INDUSTRIAL LOOP ROAD- 51' ROW**



**B PUBLIC HOBSON PIKE- 46' HALF ROW**



**C PUBLIC MURFREESBORO PIKE- 50' HALF ROW**



# LANDSCAPE AND OPEN SPACE STANDARDS

## OVERALL STANDARDS

Areas reserved for stormwater greater than 0.5 acres will be designed to have either an active or passive park component that can be utilized outside of storm events. Detailed design to be provided at final SP stage of development.

All landscaping shall be properly irrigated and maintained; if drought resistant plant material is used, irrigation shall not be required.

Where irrigation systems are not utilized or specified, all planting masses or individual trees shall be within 100' from a functioning hose bid per Metro Urban Forestry requirements.

All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.

Groups of shrubs shall be in a continuous mulch bed with smooth continuous lines.

Trees located within four feet of shrub beds shall share same mulch bed.

Finished planting beds shall be graded so as to not impede drainage away from buildings.

Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. If significant relocations are required, contractor shall contact landscape architect for approval. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.

Trees must remain vertical and upright for the duration of the guarantee period with guys and strapping shall be removed after one growing season.

The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

The development of this project shall comply with the street tree, tree density, and tree replacement requirements of Metro Nashville. Landscape plan to be submitted in Final SP Submittal.

Street trees shall be provided along all street frontages at an average of forty-five (45) linear feet on center and be 3.5" caliper minimum.

All landscaping shall be properly irrigated and maintained.

Where trees are planted in rows, they shall be uniform in size and shape.

Reference Metro L.I.D. Manual for design and planting materials for LID measures.

Ornamental trees may be used as street trees where existing conflicts with overhead utilities occur.

Metro tree density and tree replacement worksheets shall be utilized to calculate required planting.

## TDU ZONE

As development continues in the area, it may become unrealistic to put required units from the tree replacement worksheet on the developing site. If determined infeasible for the health of the tree or density of the site by the Metro Urban Forester, up to 160 total units may be placed in the designated TDU zone. Up to 20 TDU's per development may be logged for placement within the zone. The TDU zone may only be planted once development of that area is complete. The Metro Urban Forester and applicant shall be responsible for logging TDU's to be placed in that zone and ensuring planting once complete.



## PLANTING STRIPS

Sidewalk on Murfreesboro Pike shall be separated from edge of street with a 6' planting strip

Sidewalks on Hobson Pike and the proposed Industrial Loop Road shall be separated from edge of street by a 4' planting strip or tree well area.

## ANTICIPATED STREET TREES

The following trees shall be permitted as street trees within the R.O.W within this development. Variations to this list shall be approved by the Metro Nashville Forrester prior to approval.



Green Vase Zelkova



Frontier Elm



Greenspire Little Leaf Linden



London Planetree



Sunburst Thornless Honeylocust



Flame Amur Maple  
NES Approved



Lacebark Elm



Ginkgo

# ZONE 3 INDUSTRIAL FACADE STANDARDS

## GLAZING COVERAGE

Buildings must provide a "Corner Entry Area" or a "Mid-building Entry Area" option. Spandrel or other non-light transmitting glass may be used outside of the entry areas

## HOBSON PIKE

For frontage along Hobson Pike all structures must provide at least 20% glazing along the lower stories and 10% glazing along the upper stories.

## CORNER ENTRY

"Corner Entry Area" totaling 10% of the buildings length or 30' whichever is greater shall provide 20% glazing. Corner feature must wrap corner a minimum of 10'



## MID-BUILDING ENTRY

"Mid-Building Entry Area" totaling 10% of the building's length or 30' whichever is greater shall provide 20% glazing.



# NOTES AND STANDARDS

## STANDARD SP NOTES

The final site plan / building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

Required parking consistent with the parking requirements of the Metro Zoning Code shall not be counted as floor area.

Permitted Uses : Permitted uses shall be the uses listed in the IWD and MUL-A zone.

## ARCHITECTURAL STANDARDS:

Buildings shall avoid continuous uninterrupted blank facades and at a minimum, the facade plane shall be interrupted by one of the following for every thirty-five linear feet of street frontage:

- A change in building material
- A horizontal undulation in the building facade of three feet or greater
- A porch, stoop or balcony; porches shall be a minimum six feet in depth

Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping.

HVAC units shall be located at the rear half of the side of unit, behind the unit, or on the roof of each building. HVAC units on roof must be screened from view along Primary and Secondary Frontages

Where feasible due to site elevations and conditions, ground floor residential units fronting a public street or green space may provide an active entrance point from the public sidewalk in the form of a stoop.

All ground level porches accessed directly from a public sidewalk shall provide a minimum of six (6) feet of depth.

EIFS, vinyl siding and untreated wood shall be prohibited on facades (vinyl soffits shall be permitted).

Building facades fronting a street shall provide a minimum of one principle entrance (doorway).

Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers.

All internal sidewalks must be a minimum of five (5) feet wide.

## SCHEDULE AND PHASING

The project will be completed in multiple phases and is anticipated to start in Spring of 2021.

## NES NOTES

Where feasible, this development will be served with underground power, pad-mounted transformers.

NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bioswales and the like. This includes primary duct between padmounted equipment, as well as service duct to a meter.

## FEDERAL COMPLIANCE

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

## STORMWATER NOTES

Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any storm water facilities within the property.

Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance NO.78-840 and approved by The Metropolitan Department of Water Service.

Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15' CMP)

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

Properties contain no FEMA designated floodplain per map 47037C0411H dated 04/05/2017.

The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

## TRAFFIC REQUIREMENTS

Metro Public Works requires the following offsite traffic improvements to be made by the development along the Hobson Pike and Murfreesboro Pike frontages. Improvements or financial contribution will not be required by this development for the Hobson Pike and Murfreesboro Pike intersection.

### Hobson Pike Frontage / Zone 3 Access

1. Dedicate R.O.W. per the MSCP and as necessary to construct all required improvements
2. 12-foot wide multi-use path
3. Continuous right-in/out lane with adequate storage
4. Continuous center left turn lane
5. Coordinate road widening projects with adjacent development
6. Construct driveway access with adequate storage for exiting lanes

### Murfreesboro Pike Frontage / Zone 1 & 2 Access

1. Dedicate R.O.W. per the MSCP and as necessary to construct all required improvements
2. Coordinate final driveway access locations, potential consolidation, emergency access, and signal warrant with Public Works during the Final SP process.
3. Construct 8-foot wide sidewalk along frontage.
4. Construct necessary left-turn in and right-turn in lanes for approved driveway access locations.
5. Construct Hobson Pike improvements, deemed necessary by Public Works, for any Zone 1 or 2 development that requires access or interconnectivity.

