

# PRELIMINARY SP PLANS FOR WEST TRINITY VILLAGES DAVIDSON COUNTY, TENNESSEE

COUNCILWOMAN/DISTRICT: KYONTZE TOOMBS / 2

### INDEX OF PARCELS (PARCEL/ADDRESS):

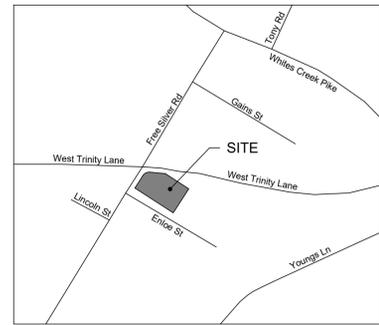
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- 07008018300 / 0 ENLOE ST
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- 07008018100 / 0 ENLOE ST
- 07008018000 / 0 ENLOE ST
- 07008017900 / 0 ENLOE ST
- 07008017800 / 701 ENLOE ST

### PROJECT OWNER / DEVELOPER

FOREST HENDERSON  
4029 MEADOW HILL DRIVE  
NASHVILLE, TN, 37218  
PH: 615.578.3435

### PROJECT ENGINEER

DBS & ASSOCIATES ENGINEERING INC.  
2200 ROSA PARKS BLVD  
NASHVILLE, TN, 37228  
PH: 615.244.2040



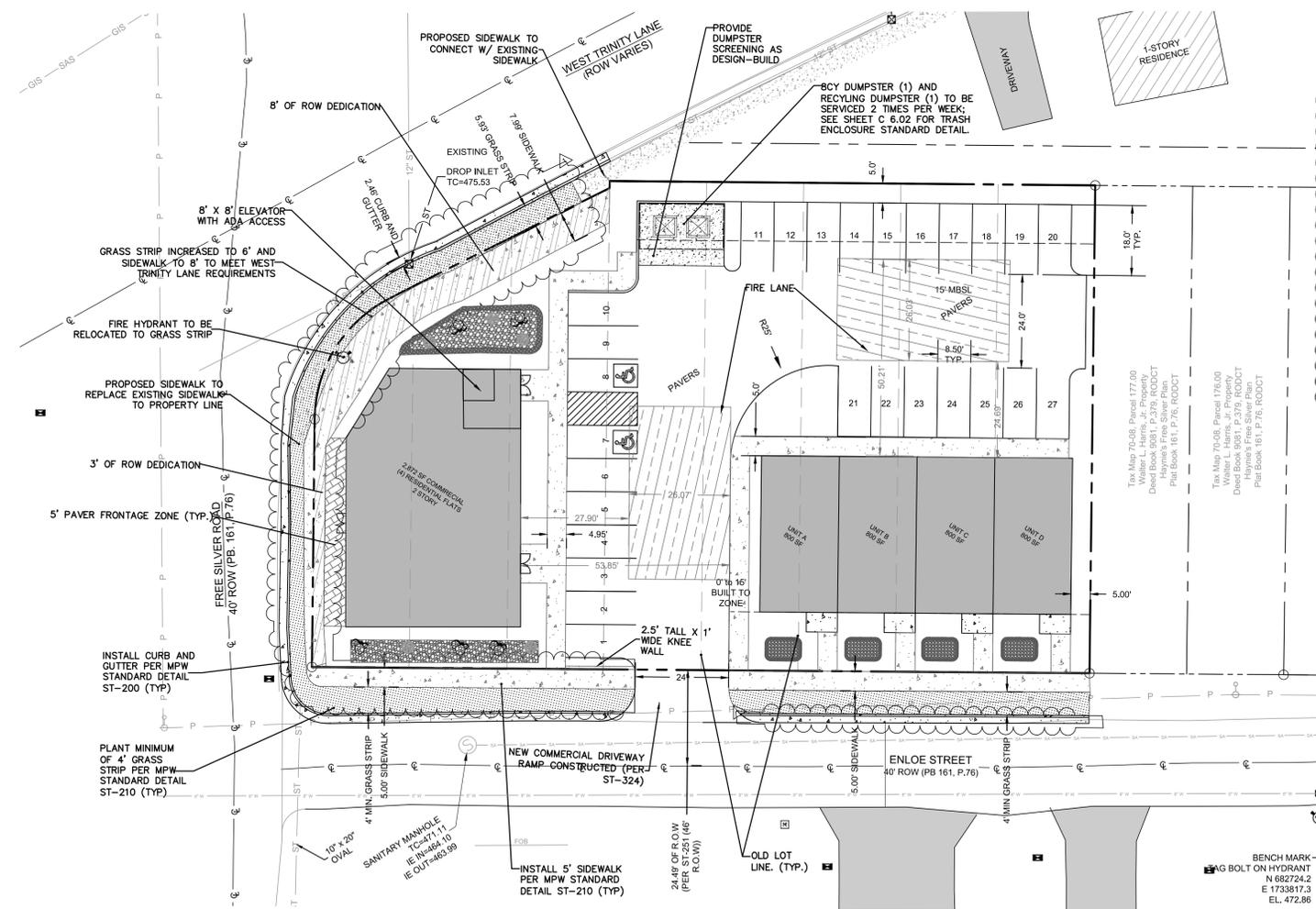
VICINITY MAP (NOT TO SCALE)

### SITE LEGEND

- ADJOINING BOUNDARY LINE
- BOUNDARY LINE
- CONTOUR LINE INDEX
- CONTOUR LINE INTERVAL
- CULVERT PIPE
- EDGE OF PAVEMENT
- OVERHEAD UTILITY LINE
- ROAD CENTERLINE
- SANITARY SEWER LINE
- SANITARY SEWER LINE (PER GIS)
- WATER LINE
- WATER LINE UTILITY (PER GIS)
- BENCHMARK
- CATCH BASIN
- DROP INLET
- FIRE HYDRANT
- MAILBOX
- SANITARY SEWER MANHOLE
- UTILITY POLE w/ LIGHT
- WATER METER
- WATER VALVE
- CONCRETE
- VEGETATION
- BUILDING
- EXISTING TREE
- ROW DEDICATION
- FIRE LANE DEDICATION
- PAVERS



NORTH BASED ON TENNESSEE STATE PLANE COORDINATES N.A.D. 83 GRID NORTH VERTICAL DATUM: N.A.V.D. 88  
GRAPHIC SCALE: 1" = 20'



PROPOSED SITE PLAN

### LOCAL UTILITIES

**METRO WATER & SANITARY SEWER**  
800 2nd AVENUE SOUTH  
PO BOX 196300  
CONTACT: ELI ANDERSON  
PH: 615-862-4142

**ELECTRICITY**  
NES  
1214 CHURCH STREET  
NASHVILLE, TN 37246  
CONTACT: JOSEPH VALLELY (ENGINEERING)  
PH: 615-747-3965

**METRO PUBLIC WORKS**  
800 2nd AVENUE SOUTH  
NASHVILLE, TN 37219  
CONTACT: 615-862-8758

**PLAN REVIEW, GRADING PERMITS**  
BEN YORK, PH: 615-862-8758

**PERMITS, CURB & SIDEWALK INSPECTION**  
KIM PATTON, PH: 615-862-8782

**SUBDIVISION INSPECTIONS**  
BOBBY AIKEN, PH: 615-862-8761

### STORMWATER

800 2nd AVENUE SOUTH  
NASHVILLE, TN 37219  
CONTACT: ELI ANDERSON  
PH: 615-862-4142

**PURPOSE NOTE**  
The purpose of this SP is to receive preliminary approval to permit the development of a Multi-Use building for Residential and Commercial uses with adjacent Multi-Family Homes.  
The goal for this development is to create a place that enhances the area with a sense of connectivity of living and community spaces.

**EXISTING POLICY**  
This project is located in the Bordeaux / Whites Creek / Haynes Trinity Community Character plans; T4-MU (Urban Mixed-Use Neighborhood) Policy, as well as the 03-Haynes Trinity Adopted Special Policy Area.  
T4-MU Policy- Maintain, enhance, and create urban, mixed use neighborhoods with a diverse mix of moderate to high density residential, commercial, office, and light industrial land uses.  
The Development provides housing diversity with pedestrian access to the community space to live, work, and play in. Being on West Trinity, a major arterial boulevard with planned changes to the area, the development will provide the diversity for growth in the community.

**INDEX OF SHEETS:**  
SP 1.00 SP COVER SHEET & SITE  
SP 1.01 EXISTING SITE & GRADING  
SP 2.00 CODE & NOTES  
L 1.00 LANDSCAPE PLAN

SP COVER SHEET & PLANS  
WEST TRINITY VILLAGES  
701 ENLOE ST, NASHVILLE  
DAVIDSON COUNTY, TENNESSEE  
January 14, 2020

REVISIONS
12-20-2019 - REVIEW COMMENTS

DESIGN BY: CAG  
DRAWN BY: CAG  
CHECKED BY: CPH

Case No. 2019SP-022-001

SP 1.00



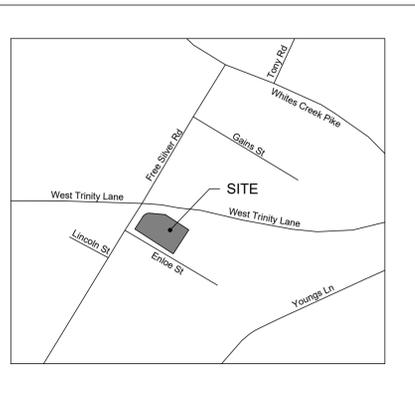
2200 Rosa L Parks Blvd  
Nashville, TN 37228  
Phone (615) 244-2040  
www.dbsengr.com

Engineers • Surveyors • Planners

**811** Know what's below.  
Call before you dig.  
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FEDERAL COMPLIANCE NOTE:  
ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/>  
U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

DRAWN BY: CAG, DATE: 12/20/19, PLOTTED: 1/14/2020, PLOT USER: CONNOR GILBERT



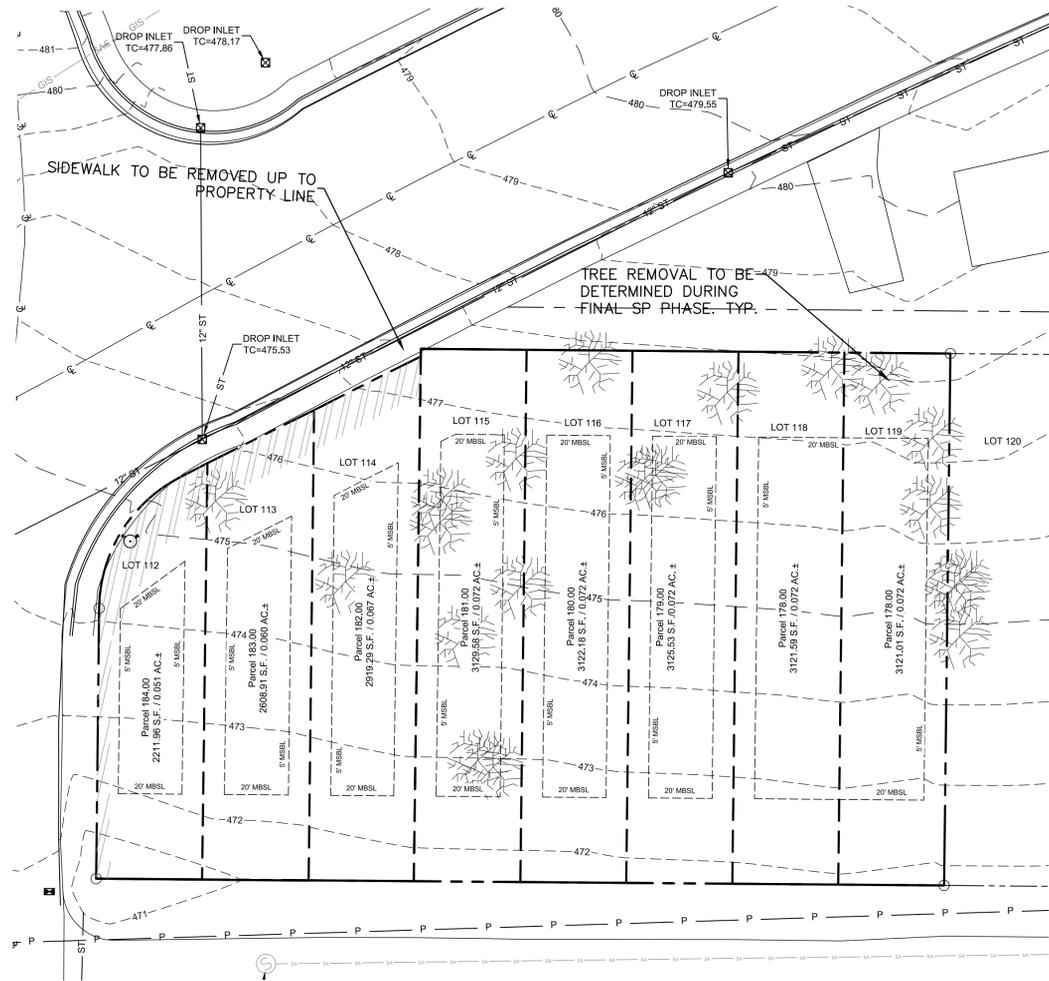
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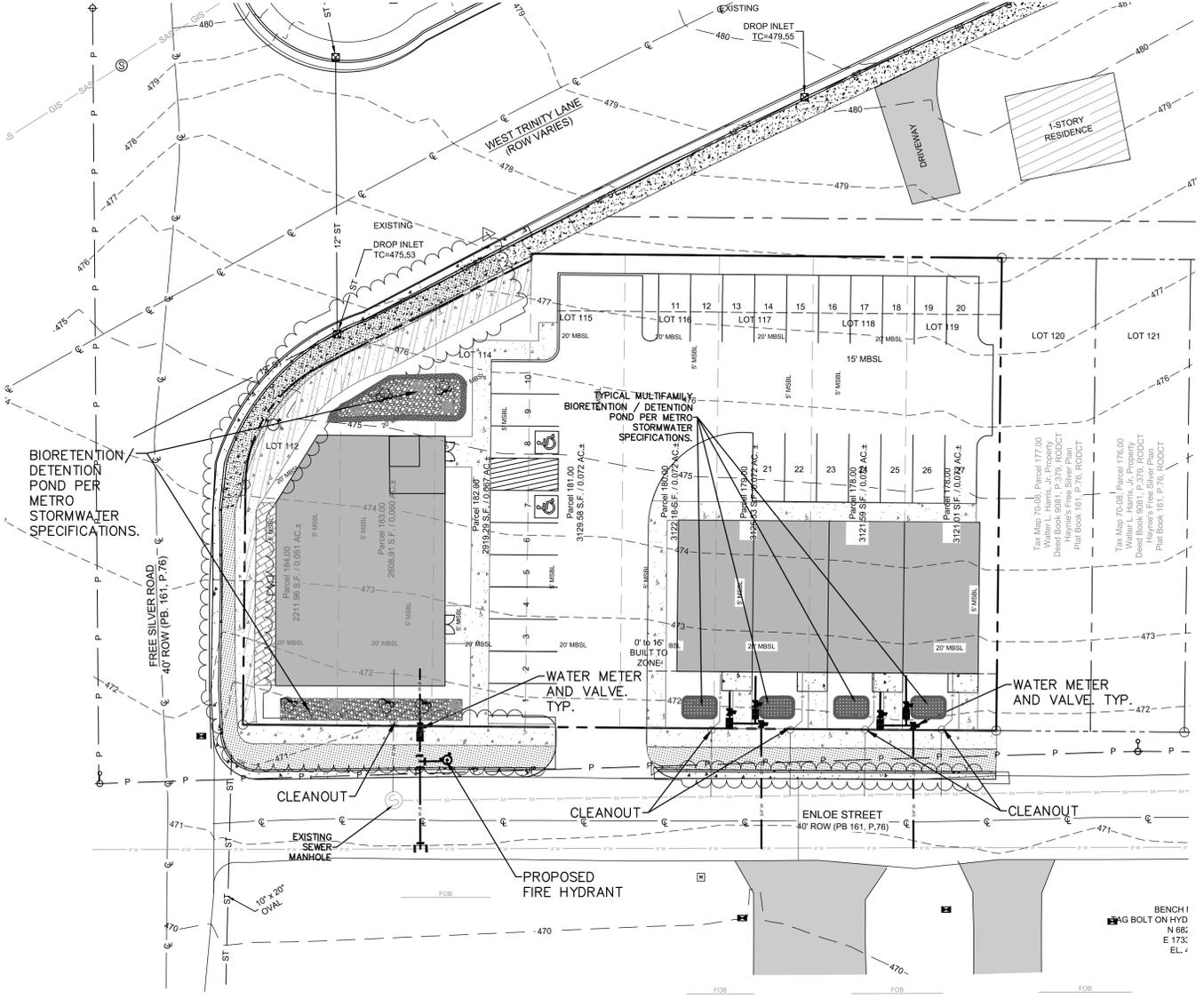
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EXISTING CONDITIONS PLAN



GRADING & UTILITIES PLAN

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**SP COVER SHEET & PLANS**  
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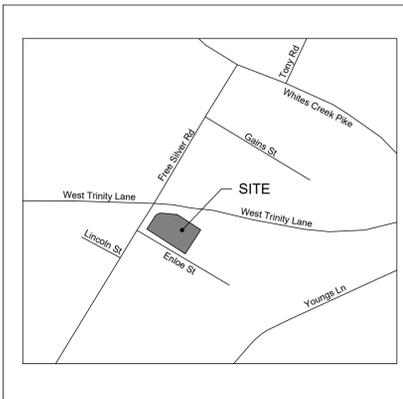
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Phone (615) 244-2040  
www.dbsengr.com

DWG NO. 2019-022-001-SP-1.01  
PLOT DATE: 1/14/2020  
PLOTTER: HP PLOTTER  
PLOTTER MODEL: HP PLOTTER



VICINITY MAP (NOT TO SCALE)

DEVELOPMENT / SITE DATA TABLE	
PROPOSED ZONING	SP
NON-RESIDENTIAL LOT AREA	13,939 SF / 0.32 AC
RESIDENTIAL LOT AREA	18,731 SF / 0.43 AC
TOTAL LOT AREA	32,670 SF / 0.75 AC
SIDE SETBACK	5'
FRONT SETBACK	0' TO 15' BUILD-TO-ZONE
REAR SETBACK	20 FT
HEIGHT STANDARDS	3 STORIES TO MAX OF 45 FT
ALLOWABLE F.A.R.	1.0
ACTUAL F.A.R.	0.95
ALLOWABLE I.S.R.	0.90
ACTUAL I.S.R.	0.65
IA EXCLUDING BLD FOOTPRINT	12,164 SF / 0.28 AC
BUILDABLE LAND AREA	22,914 SF / 0.53 AC
<b>RESIDENTIAL</b>	
NUMBER OF RESIDENTIAL UNITS	(8) UNITS (18.6 UNAC)
GROSS RESIDENTIAL FLOOR AREA	18,720 SF / 0.43 AC
<b>NON-RESIDENTIAL</b>	
COMMERCIAL SQUARE FOOTAGE	2,968 SF / 0.07 AC
RESIDENTIAL FLATS SQ FOOTAGE	2,968 SF / 0.07 AC

DEVELOPMENT / SITE DATA TABLE (CONTINUED)	
<b>RESIDENTIAL</b>	
PARKING REQUIRED (MULTI-FAMILY 1 BR FLAT)	(1 Space/1 BR Flat)*4 Units = 4 Spaces
PARKING REQUIRED (MULTI-FAMILY 2 BR UNIT)	(2 Space/2 BR Unit)*4 Units = 8 Spaces
ON SITE PARKING PROVIDED	12 Spaces
<b>COMMERCIAL</b>	
PARKING REQUIRED (RETAIL)	(1 space/ 200 sf)*1,033= 5.2
PARKING REQUIRED (OFFICE)	(1 space/ 300 sf)*1,033= 3.4
PARKING REQUIRED (RESTAURANT)	(1 space/ 100 sf)*1,033= 10.3
TOTAL PARKING REQUIRED	19 Spaces
ONSITE PARKING PROVIDED	21 Spaces
ADA PARKING REQUIRED	2 Spaces
ADA PARKING PROVIDED	2 Spaces
ONSTREET PARKING PROVIDED	N/A

NEIGHBORHOOD PLANNING INFORMATION	
DISTRICT / REPRESENTATIVE	DISTRICT 2 / KYONZTE TOOMBS
COMMUNITY PLAN NAME	BORDEAUX/ WHITES CREEK
COMMUNITY CHARACTER	T4-MU URBAN MIXED USE NEIGHBORHOOD

ADJACENT PROPERTY OWNERS & ROADS	
ADDRESS / PARCEL #	PROPERTY OWNER
0 ENLOE ST / 07008017700	Walter Harris
0 ENLOE ST / 07008017600	Walter Harris
809 ENLOE ST / 07008017200	Phillip Williams
WEST TRINITY LANE & ENLOE ST	METRO PUBLIC WORKS JURISDICTION

**PERMITTED USES**  
 SP Permits allow all uses for commercial spaces that are permitted under the MUL-A zoning district with the following exclusions: Adult Entertainment, Pawn Shops, trailer parking (however this is not applicable to the temporary use of construction trailers), Any establishment whose primary business is the cashing of checks for the public or Operations primarily used as; assembly, manufacturing, distilling, refining, or smelting.

**PARKING**  
 Provided parking shall meet the requirements of the parking standards of the Zoning Code (17.20). Parking shall be provided internally within parking areas within the development.

**HEIGHT STANDARDS**  
 Maximum height for multifamily and commercial shall be 3 story or 45 feet. Maximum height for single family residential townhomes shall be 3 stories in 40 feet.

**LANDSCAPE NOTES**  
 1. The developer of this project shall comply with the requirements of the SP and adopted tree ordinance 2008-328 (Metro Code Chapter 17.24). Tree density and landscaping shall be per the approved SP.  
 2. A licensed landscape architect is to provide a final landscape plan per Metro Urban Forester standards during Final SP process.  
 3. Street trees shall be provided along all street frontages by preserving existing or at a minimum spacing average of fifty (50) lineal feet when trees are planted in rows, they shall be uniform in size and shape.  
 4. All landscaping shall be properly irrigated and maintained by a landscape contractor. If drought resistant plant material is used, irrigation shall not be required.  
 5. All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, larvae, and shall have adequate root systems.  
 6. All container grown material shall be healthy, vigorous, well rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.  
 7. Groups of shrubs shall be placed in a continuous mulch bed with smooth continuous lines. Trees located within four feet of shrub beds shall share same mulch bed.  
 8. Plant locations may be adjusted in the field as necessary to be clear of drainage swales, utilities or other obstructions. Finished planting beds shall be graded so as to not impede drainage away from buildings. If significant relocations are required, contractor shall contact landscape architect for resolution. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.  
 9. Trees should remain vertical and upright for the duration of the guarantee period. Guys and strapping shall be removed after one growing season.  
 10. The root crown to be at finished grade or no greater than a maximum of one inch

**ADDITIONAL CIVIL NOTES**  
 1. The final site plan/building permit plans shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to issuance of use and occupancy permits Existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip.  
 2. If a development standard, not including permitted uses, is absent from the SP plan and/or Council Approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application.  
 3. Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering, or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increased the permitted density floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.  
 4. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection will be met prior to issuance of any building permits.

**PUBLIC WORKS NOTES**  
 1. All work within the Metro Public right of way requires an excavation permit from the department of public works.  
 2. Proof rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. The requests are to be made 24 hours in advance.  
 3. Stop signs are to be 30 inch by 30 inch.  
 4. Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.  
 5. All pavement markings are to be thermoplastic, if required.  
 6. The Public Works right of way shall be built out using the existing street crown as the center of the right of way per Metro Public Works.  
 7. Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro Right-of-Way is 15" CMP) with safety headwalls.  
 8. Waste Management Plan - The development will utilize 8 cubic yard dumpster for twice weekly waste and recycling pickup.  
 9. Waste/Recycle Disposal by dumpster/recycling to be picked up by private hauler. Hauler agreement will need to be submitted, prior to building permit approval. Per SW1 - 3 and SW1-8 solid waste guidelines.

**ARCHITECTURAL STANDARDS**  
 1. Buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for every twenty(20) linear feet of street frontage:  
 • a change in building material  
 • a horizontal undulation in the building facade of two (2) feet or greater  
 • a porch, stoop, bay window or balcony; porches shall be a min. Six (6) feet in depth  
 2. Refuse collection, recycling and mechanical equipment shall be fully screened from the public view by the combination of fences walls or landscaping.  
 3. Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers, decorative windows, clerestory windows, and egress windows; planning staff may allow modifications to this standard for dormers, decorative windows, clerestory windows and egress windows.  
 4. Eifs, vinyl siding and untreated wood shall be prohibited for all uses (vinyl soffits shall be permitted).  
 5. Hvac units shall be located at the rear half of the side unit, behind the units, or on the roof of each building.  
 6. Primary entrance/glazing: building facades fronting a street shall provide a minimum of 15% glazing.  
 7. Foundation height: a raised foundation of 18"-36" is required for all residential structures along the street frontage. Modifications may be granted by planning staff with the final sp application for topographically challenged areas or ada required units. Where raised foundations exceed heights of 36 inches, additional landscaping and fenestration may be required for additional screening.  
 8. Passages: landscaped passages are encouraged between building to provide access from rear parking areas to the building fronts.  
 9. Bicycle parking will be provided per the metro zoning code. Two bicycle parking locations are identified in final sp documents.  
 10. Commercial Building shall have at a minimum of one door entrance on Free Silver Road.

- EROSION CONTROL AND GRADING NOTES**
- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
  - The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
  - Any access routes to the site shall be based with crushed stone ASTM #1 stone, 100 feet long and at least 6 inches thick over geotextile fabric.
  - The contractor shall notify the Metro Stormwater and Public Works construction compliance division, three days prior to beginning the work.
  - The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights as necessary.
  - The contractor shall be responsible for any damage done to the premises or adjacent premise or injuries to the public during construction caused by himself, his subcontractors, or the carelessness of any of his employees.
  - All work is to be completed within compliance to the rules and regulation set forth by the governing Metro Department. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portion of work which he is to perform.
  - All erosion control measure shall remain in place until the site is stabilized and construction is complete.
  - The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures.

- FIRE MARSHAL'S NOTES**
- Proposed fire hydrant is to be installed per Metro Water Services specifications. See locations on sheet SP 4.00

- FEMA FLOOD MAP AND SOILS**
- This tract does not lay within a special flood hazard area of the federal emergency management agency according to the flood insurance rate map (47037co233h, zone x) shown on panel 233 of 4780 for the city of nashville, davidson county, tennessee. dated: april 5, 2017.
  - The subject lots, based on the united states department of agriculture (usda) soil map, are entirely comprised of maury-urban land complex (mcb), 2 to 7 percent slopes. maury-urban land complex per usda has a hydrologic soil group: B.

- SEWAGE NOTES**
- All public sidewalks are to be constructed in conformance with Metro Public Works Sidewalk Design Standards.
  - Sidewalk within the Right of Way shall be constructed to provide a minimum of 5 feet clear access and free of vertical obstructions.
  - Wheel Chair Accessible Curb Ramps, complying with applicable Metro Public Works Standards shall be constructed at street crossings as applicable.
  - Sidewalk, curb and gutter, and road patching construction within the public right of way shall be in accordance with Metro Public Works details.
  - The final site plan/ building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

- METRO WATER NOTES**
- Water and Sewer Service to be provided by Metro Water Services.
  - Water and sewer services are schematically shown. Final water and sewer service locations will be provided during the final SP process.
  - All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
  - The contractor is responsible for reimbursing the Metro Water Services for cost of inspection.
  - The contractor is to provide and maintain the construction identification sign for private development approved.
  - All connections to existing manholes shall be by coring and resilient connector method.
  - Reduced pressure backflow prevention devices or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
  - All water meters shall be a minimum of 24 inch not to exceed a maximum of 28 inch below finished grade.
  - Pressure regulating devices will be required on the customer side of the meter when pressure exceeds 100 psi.
  - Individual Water and/or Sanitary Sewer lines are required for each townhome unit.
  - Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities at the site.

- NES NOTES**
- NES can meet with developer upon request to determine service options.
  - This development to be served with underground power with the riser pole at the entrance to the development on the property.
  - Designing power to this development may take longer than normal because we will need to rebuild the poles and overhead lines to this property because the existing distribution will not handle the extra load.
  - Construction plans shall show any existing utilities easements on property and the utility poles along ROW.
  - NES equipment to be placed in dedicated easements or P.U.D.E. or P.U.E
  - NES will need any construction drawings showing improvements to Elvira Ave. and Keeling Ave.
  - Any relocation of NES poles or equipment could be a cost to the developer. Any additional easements required that are not part of this parcel must be obtained by the developer or the engineer for the developer.
  - Postal plan is required before NES's final construction drawings can be approved.
  - NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ www.nespower.com).
  - Overhead electrical power lines are required to meet or exceed the conditions as specified in the National Electrical Safety Code as adopted by the State of Tennessee in Chapter 89, Public Acts. The existing overhead power lines are located in the public right-of-ways and will require an electrical safety clearance that must be maintained during and after construction of any buildings. The National Electrical Safety Code, 2012 edition, dictates the clearances in Rule 234 C and G to provide the minimum horizontal and vertical clearances from live conductors. The overhead line must have a horizontal clearance of 7'-6" away from the nearest conductor to allow for blow-out conditions as it is configured today. It is the developer and his contractor's responsibility to ensure that they comply with OSHA regulations for working near energized conductors. Check with OSHA regulations for meeting clearances for construction near energized conductors for additional clearance requirements. Typically OSHA clearances will exceed what is required by the NESC. Often the locations of new buildings are impacted by the inability of de-energizing the circuits to meet cost and construction schedules. Proper clearances must be maintained from not only the building envelope, but also from scaffolding and other construction equipment.
  - If porches or walls are allowed to be constructed beyond the minimum setback limits and into the public utility easements; then the easement will be considered reduced by that much of the easement. Such encroachments may increase the cost of electrical infrastructure to allow for reduced or limited access to equipment. NES reserves the right to enter and to erect, maintain, repair, rebuild, operate and patrol electric power overhead and underground conductors and communications circuits with all necessary equipment reasonably incident thereto including the right to clear said easement and keep the same clear of brush, timber, flammable structures, buildings, permanent structures, and fire hazards; all over, under, upon, and across the easement as granted on any plat.
  - Final quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. A preliminary Exhibit 'B' design will be sent to the developer or representatives of the developer for review. Suggestions or requests to the design should be made during this review process. Any changes requiring re-design, after this document has been signed, will be at the developer's expense.
  - Developer's vegetation design shall meet both Metro requirements and NES Vegetation Management requirements/clearances.
  - NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. This includes primary duct between pad-mounted equipment, as well as service duct to a meter or meter center.
  - NES needs electrical load information.

- STORMWATER NOTES**
- West Trinity Villages will be designed to conform to water quality and water quantity regulations per Metro Stormwater during the Final SP phase.
  - Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with stormwater management ordinance 78-840 and approved by The Metropolitan Department of Water Services.
  - Locations of stormwater structures will be determined in cohesion with Metro Stormwater during the Final SP phase.
  - The stormwater system shown is for schematic purposes and final calculations will be done during final SP using the appropriate stormwater regulations in place at the time of application.
  - The subject land to be developed will not disturb more than 1 acre, therefore a NOI will not be required by TDEC.
  - Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any Storm water facilities within the property.
  - Size driveway culverts per the design criteria set forth by the MetroStorm Water Management Manual (Minimum driveway culvert in Metro ROW is 15" CMP).

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 Nashville, TN 37228  
 Phone (615) 244-2040  
 www.dbsengr.com

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**CODE & NOTES**

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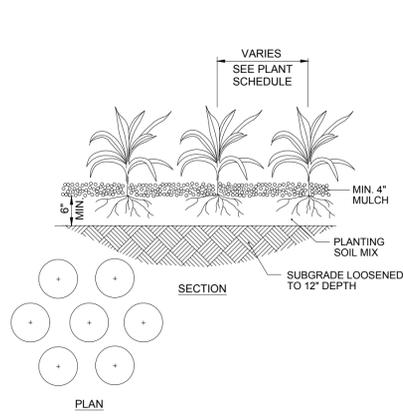
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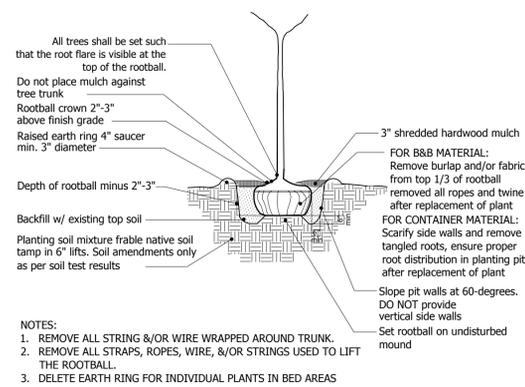
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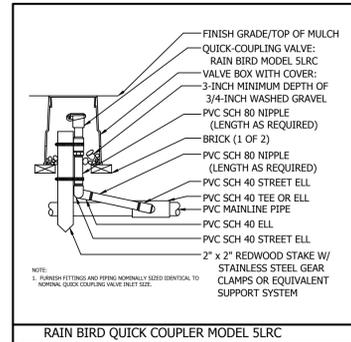
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 811  
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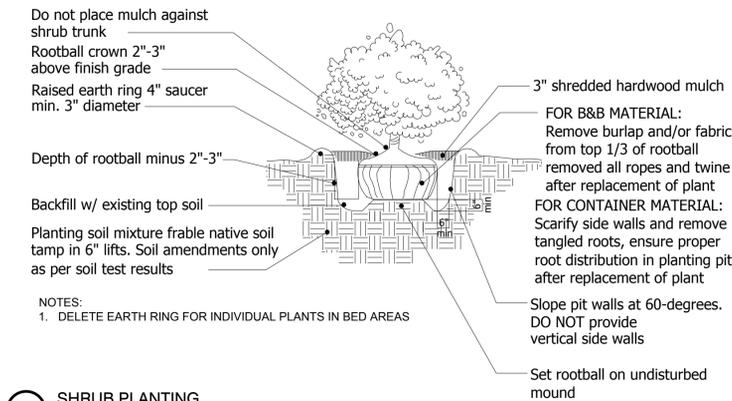
1 GROUNDCOVER PLANTING



2 TREE PLANTING



3 QUICK COUPLER



4 SHRUB PLANTING

**SUBSTITUTION NOTE:**  
 1. Requirements shown are as per City Zoning Ordinance.  
 2. Substitutions are not allowed unless approved by Heibert+Ball Land Design.  
 3. After installation, the landscape will be maintained by the owner.  
 4. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**UTILITY SCREENING**  
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

**PLANT STANDARDS**  
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on the drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**  
 1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.  
 2. Trees with forked trunks are acceptable if all the following conditions are met:  
 a. The fork occurs in the upper 1/3 of the tree.  
 b. One fork is less than 2/3 the diameter of the dominant fork.  
 c. The top 1/3 of the smaller fork is removed at the time of planting.  
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.  
 4. The trunk and/or major branches shall not touch.  
 5. Several branches are larger in diameter and obviously more dominant.  
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.  
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.  
 8. Crown spread shall look proportional to the tree.  
 9. NO flush cuts or open trunk wounds or other bark injury.  
 10. Root ball meets all ANSI standards and is appropriately sized.

**DEFICIENCIES NOT ACCEPTED:**  
 1. Tip dieback on 5% of branches  
 2. Crown thin/sparsely foliated  
 3. Included bark  
 4. Major Branches touching  
 5. Asymmetrical branching

**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**

**PLANT NOTES:**

- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE BEDS TO HAVE UNIFORMLY CLEAN CUT BED EDGE IN ACCORDANCE WITH THE PERIMETER LINES SHOWN OF THE DRAWING AND HAVE 4" MINIMUM DEPTH OF PINE STRAW MULCH.
- ALL SHRUBS TO BE 3" BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

**PLANTING SCHEDULE NOTES**

- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY. SHRUBS AND TREES TO BE FULL HEIGHT SPECIFIED. RUNNERS WILL NOT COUNT TOWARD SPECIFIED HEIGHT
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF NASHVILLE STORM WATER DEPARTMENT
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.

**LANDSCAPE NOTES:**

- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AS SHOWN ON PLANS.
- GENERAL CONTRACTOR TO INSTALL 6" MINIMUM DEPTH OF CLEAN, FRABLE TOPSOIL AT ALL PLANTING BEDS AND LAWN AREAS PRIOR TO FINE GRADING. SEE TOPSOIL SPECIFICATION SHEET L-1.3.
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS OR LAYING SOD. LANDSCAPE CONTRACTOR TO PROVIDE FINE GRADING.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, RE-GRADED AND REPLACED. ALL TIRE MARKS AND INDENTIONS TO BE REPAIRED. NO EXCEPTIONS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD ADJACENT TO MULCH BEDS TO BE SHOVEL CUT. ALL SOD TO BE DELIVERED IN LARGEST ROLLS AVAILABLE. THERE SHALL BE NO GAPS BETWEEN SOD JOINTS.
- PLANTING MIX TO BE PROVIDED AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
- WATER ALL PLANT MATERIAL THAT ARE NEWLY PLANTED THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 YEAR MAINTENANCE PERIOD UNDER SEPARATE CONTRACT FOLLOWING ACCEPTANCE BY THE LANDSCAPE ARCHITECT

**PLANT SCHEDULE SITE**

CANOPY TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	1	Overcup Oak / Quercus lyrata 5' Clear Trunk, Single; Straight Central Leader. Full Upswept Branching. Even Branching. See Tree Specifications. Matched	B & B	3" Cal	12'-14' HT
	5	Willow Oak / Quercus phellos 5' Clear Trunk, Single; Straight Central Leader. Evenly Branched. Full Symmetrical Crown. Street Tree Quality. See Tree Specifications. MATCHED	B & B	2" Cal	12'-14' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	12	Emerald Green Arborvitae / Thuja occidentalis 'Smaragd' Full to Base. Full Dense Form. See Tree Specifications	B & B		
PERIMETER SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	18	Chestnut Hill Laurel / Prunus laurocerasus 'Chestnut Hill' Full, Dense Form		18" HT	

**LANDSCAPE BED NOTES:**

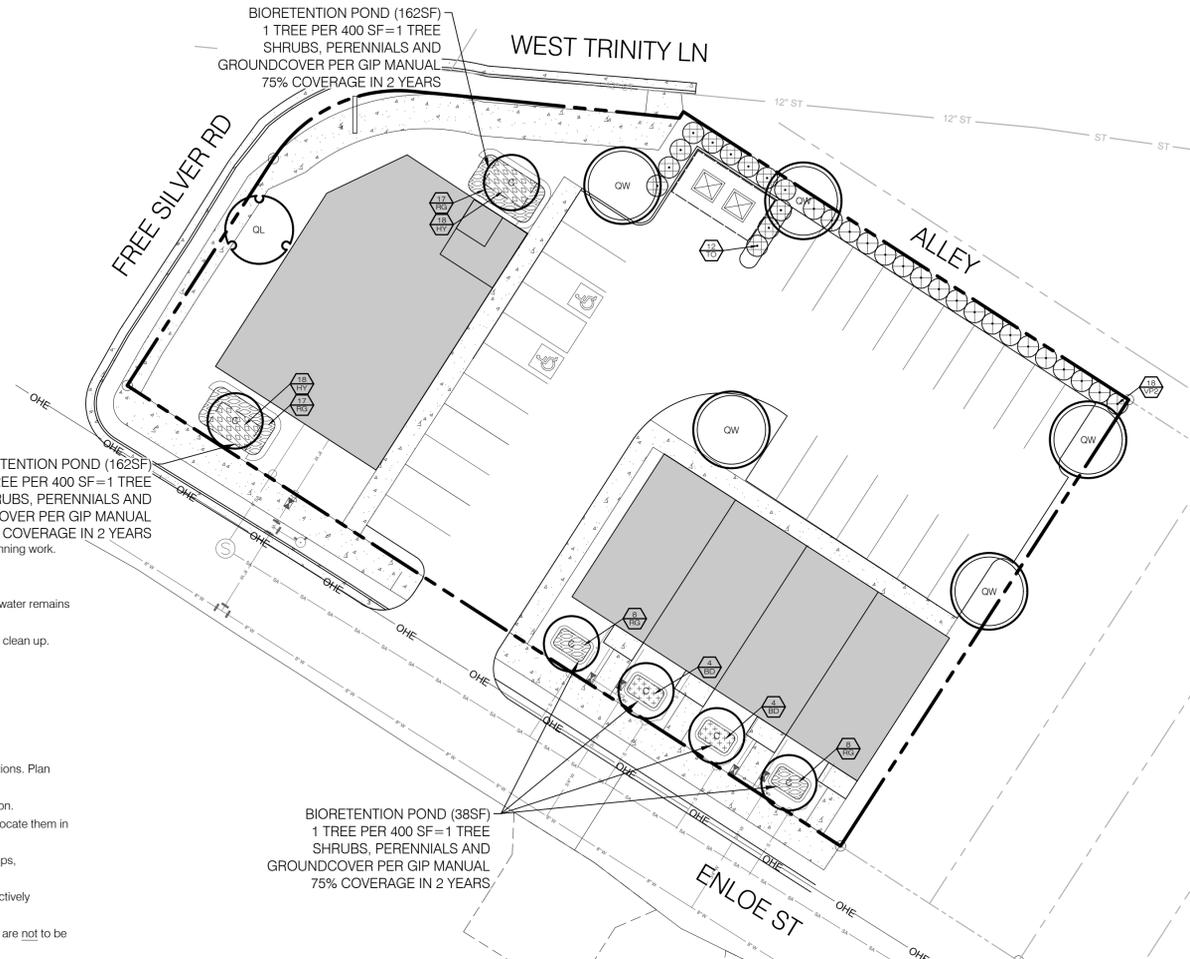
- ALL LANDSCAPE BEDS SHALL BE UNIFORMLY TRENCHED AND HAVE A CLEAN CUT EDGED OR PLASTIC EDGING IN ACCORDANCE WITH THE PERIMETER LINES SHOWN ON THIS DRAWING
- ALL LANDSCAPE BEDS TO BE MULCHED WITH 3" DOUBLE SHREDDED HARDWOOD BARK MULCH
- ALL DISTURBED AREAS SHALL BE SODDED WITH REBEL II FESCUE INCLUDING AREAS BEYOND PROPERTY LINE AND EXISTING PUBLIC SIDEWALK.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.

**PLANT SCHEDULE BIORETENTION**

UNDERSTORY/COLUMNAR TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	C	6	Oklahoma Redbud / Cercis canadensis 'Oklahoma' 4' Clear Single Trunk. Evenly Branched. Full Symmetrical Crown. See Tree Specifications	B & B	2" Cal	10'-12' HT
BIORETENTION PLANTS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	BD	8	Butterfly Bush / Buddleia davidii Full, Well Rooted Containers #3 Containers Installed 48" O.C. in Triangular Pattern	#3 Container		
	HY	36	Golden Rule Hypericum / Hypericum calycinum 'Golden Rule' Full, Heavy Install in Triangular Spacing 24" O.C.	#1 Container		
	RG	50	Prairie Dropseed / Sporobolus heterolepis Instal #1 Containers in Triangular spacing 24" O.C.	#1 Container		

**BIORETENTION POND NOTES**

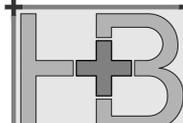
- BIOPOND AND LANDSCAPE BEDS TO BE MULCHED WITH 3" SHREDDED PINE BARK MULCH; TAMPED WITH RAKE
- INLETS AND DRAINS SHALL BE SURROUNDED WITH 3' OF 6"-8" BROWN RIVER ROCKS



**TREE DENSITY UNIT (TDU) WORKSHEET** (Ordinance 94-1104) REV Sept-2019

Date			
Map: 07008018400			
Application Number: 2019SP-022-001			
Project Name: West Trinity Villages			
Address: 701 Enloe Street			
<b>Acres</b> (area of parcel including building site)	0.46		
<b>Minus Building Coverage Area</b>	(-) 0.14		
<b>Multiply by Required Tree Density Unit per acre</b>	(x) 22		
choose one			
<b>Required TDU for Project</b>	(=) 3.08		
<b>REPLACEMENT TREE(S)- LARGE &amp; MEDIUM CANOPY TREES</b>			
DBH	# of Trees	Value	TDU
2"	6	x .5	3
Total			3
<b>REPLACEMENT TREE(S)- LARGE &amp; MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*</b>			
DBH	# of Trees	Value	TDU
2"	6	x .25	1.5
total			1.5
<b>Total TDU for Replacement Trees- On-site</b>	(+)	4.5	
<b>Total Density Units Provided</b>	(=)	4.5	

IRRIGATION TO BE PROVIDED BY AUTOMATIC IRRIGATION SYSTEM  
 TREE CUT PERMIT REQUIRED PRIOR TO ISSUANCE OF GRADING PERMIT  
 SEE SP1.00 FOR TREE REMOVAL PLAN



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**WEST TRINITY VILLAGES**  
**701 ENLOE ST.**  
**NASHVILLE, TENNESSEE**



By: cb

RELEASE DATE: 00/00/00  
 REV 1:

**L1.0**

**LANDSCAPE PLAN**