

SOCIETY NASHVILLE

915 Division St. Nashville, TN 37203

DTC SITE PLAN SUBMISSION

2021.10.15

SITE INFORMATION:

Address: 915 Division Street, Nashville TN
Owner: 915 Division, LLC.
Applicant: 915 Division, LLC.

Site Acreage: 1.4288 Ac. (62244.60 SF)
Parcel ID: 09313054300
Council District #: 19
District Council Member: Freddie O'Connell
Zoning: DTC - The Gulch South Subdistrict

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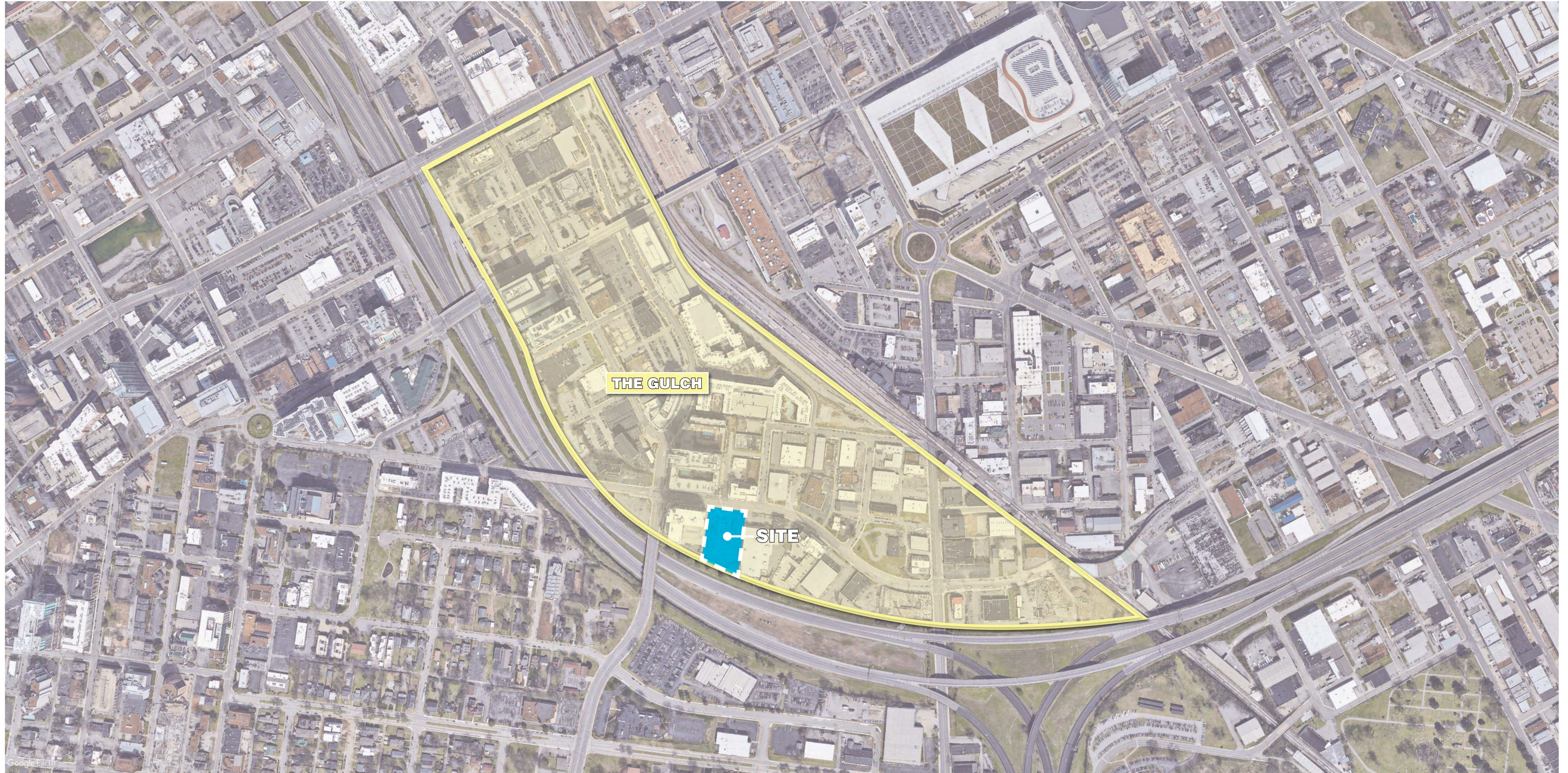
PROJECT SUMMARY

PROJECT DESCRIPTION

A new mixed use, multi family project will be located at 915 Division Street in Nashville, TN. Located in the Gulch South neighborhood, the proposed building is 16 stories above grade with two story below grade and a partial parking mezzanine. The site is currently used as a surface parking lot, and is bounded by Division street to the north, I-40 to the south, the Terrazzo high rise building to the west and a one story self storage facility to the east. The building will be oriented to allow for views back to downtown Nashville, as well as a pool deck with southern exposure. The program consists of approx. 8230 sf of at grade retail, 502 for rent residential units, and 485 parking spaces in an integrated structured garage. A 15' utility easement is being observed along the southern property line. No modifications are being requested to the Downtown Code at this time.

DTC HEIGHT BONUS PURSUITS

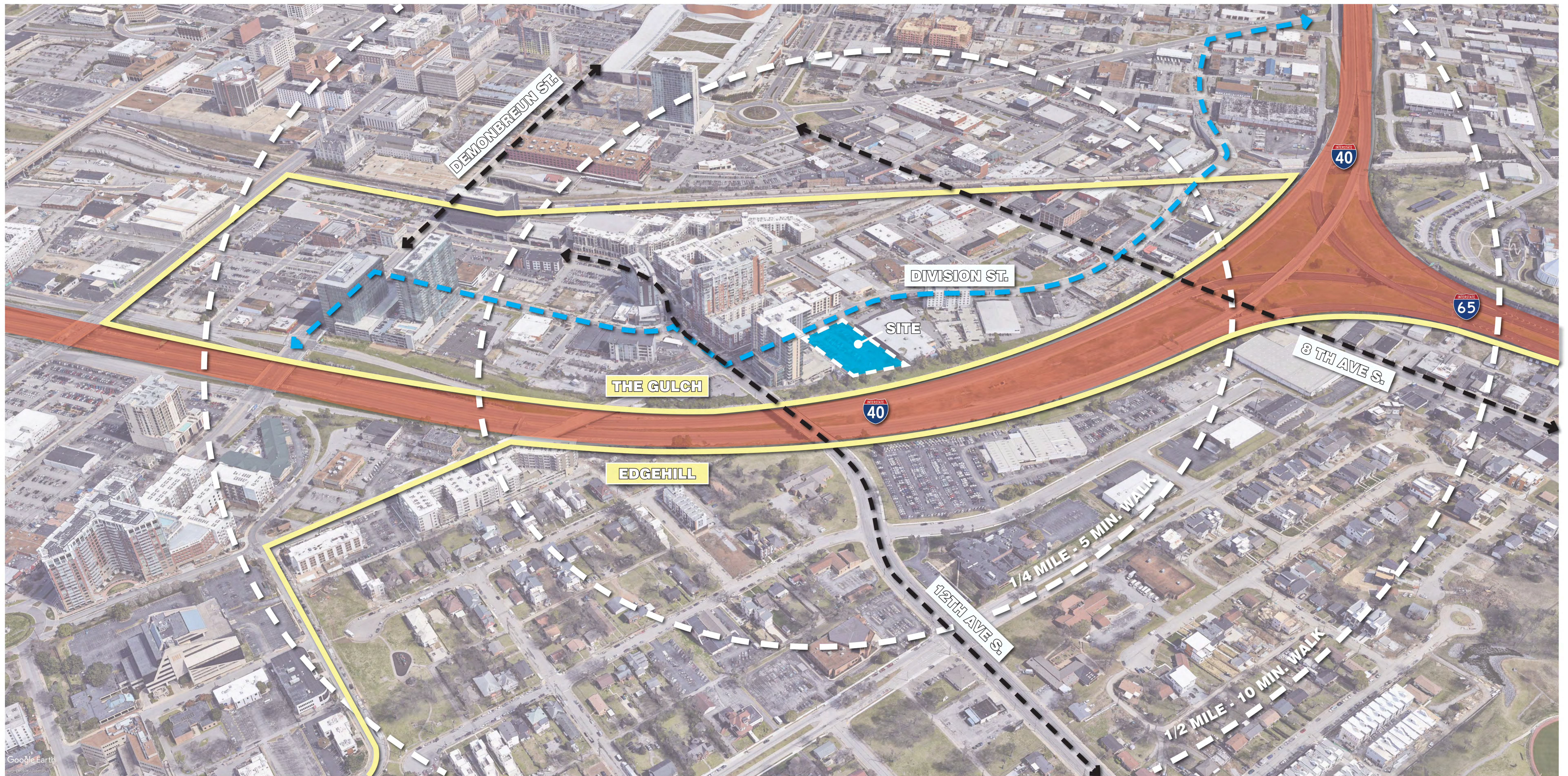
The project is looking to pursue 3 Bonus Height categories to increase the total levels from 10 to 16 levels. Bonus Height Categories will include LEED ND, Upper Level Garage Liner & Underground Parking, and Public Parking.



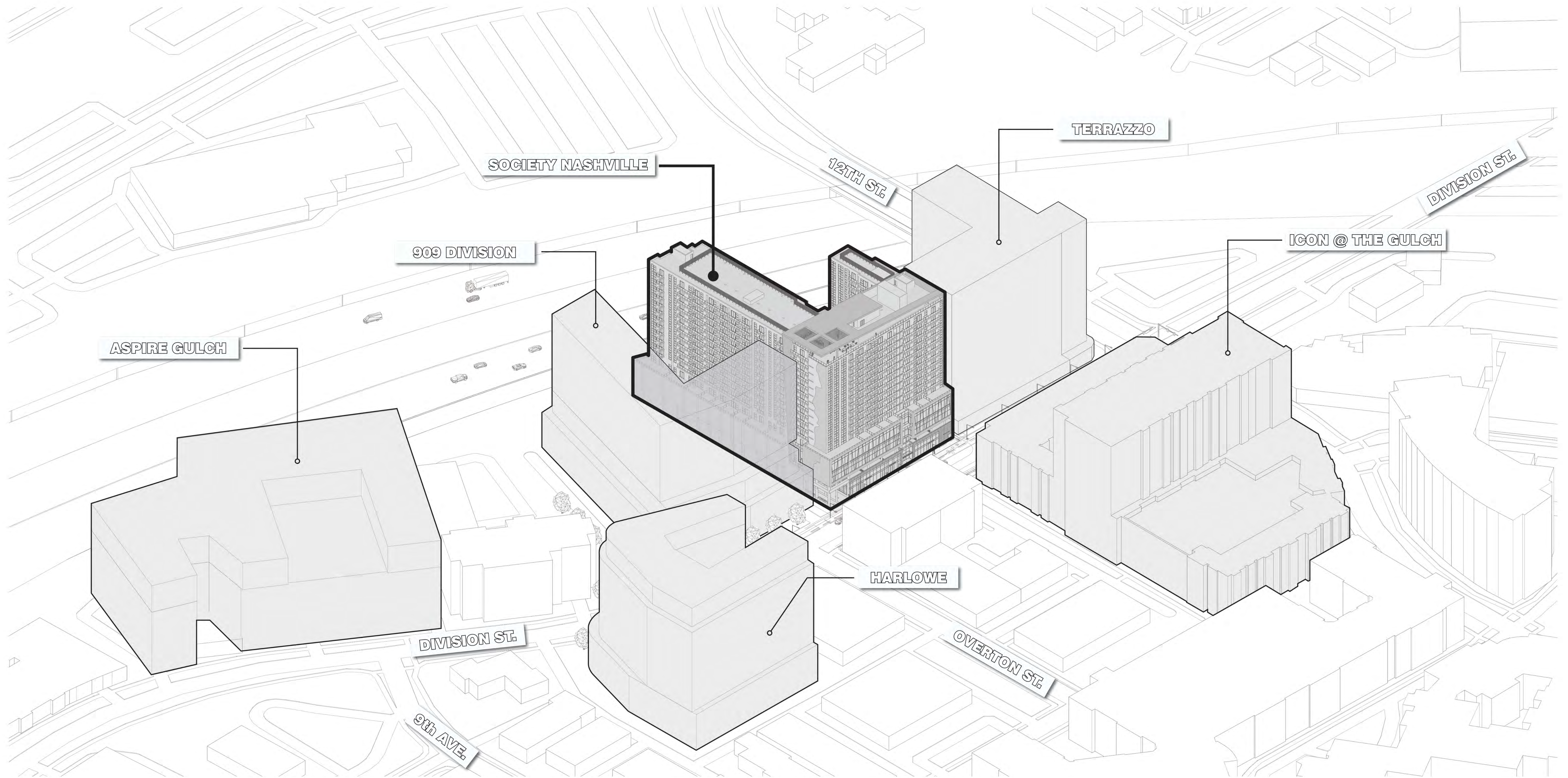
THE GULCH

SITE

Google Earth



Google Earth

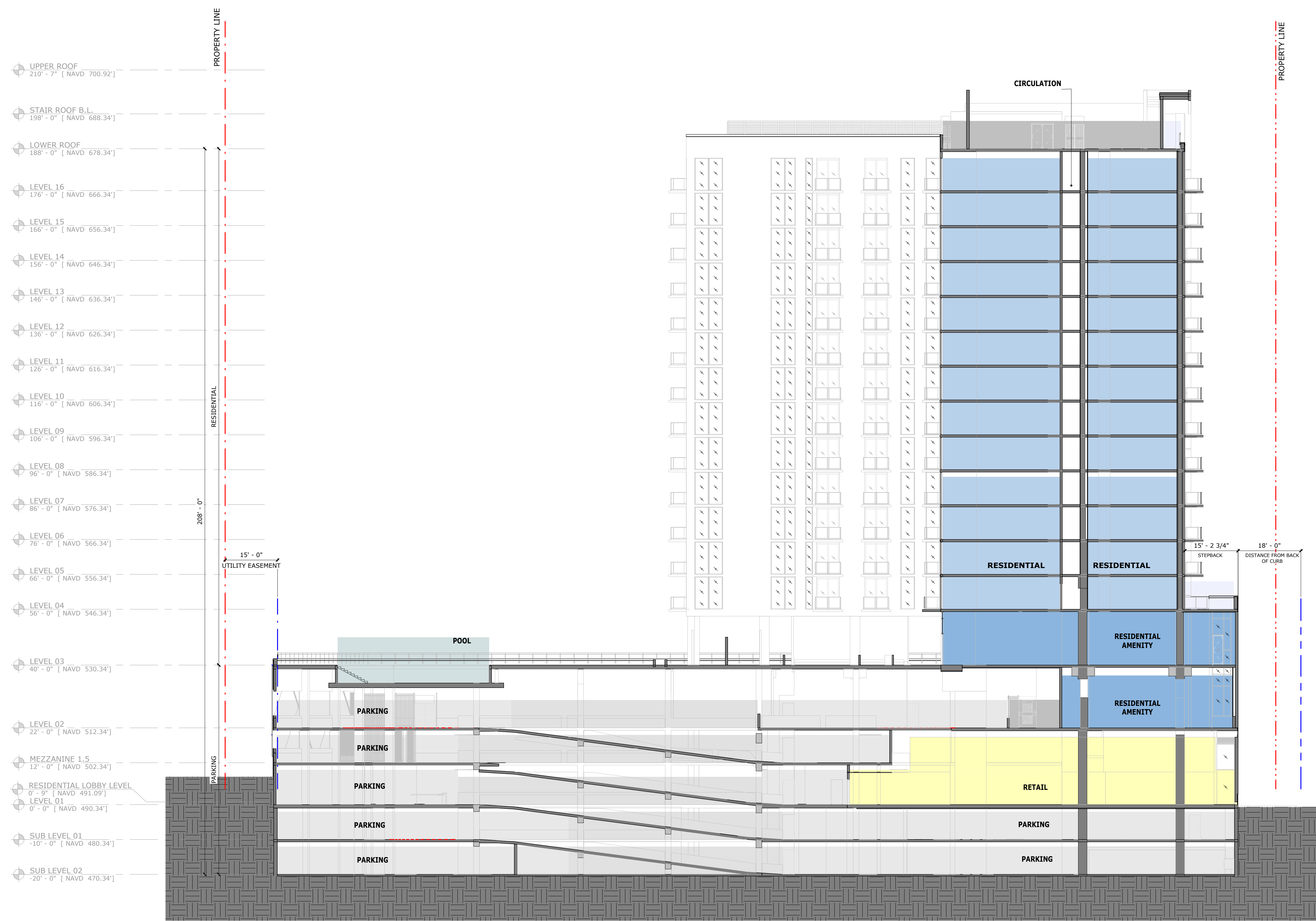








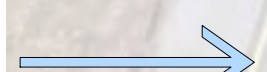
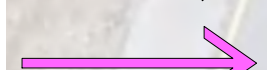


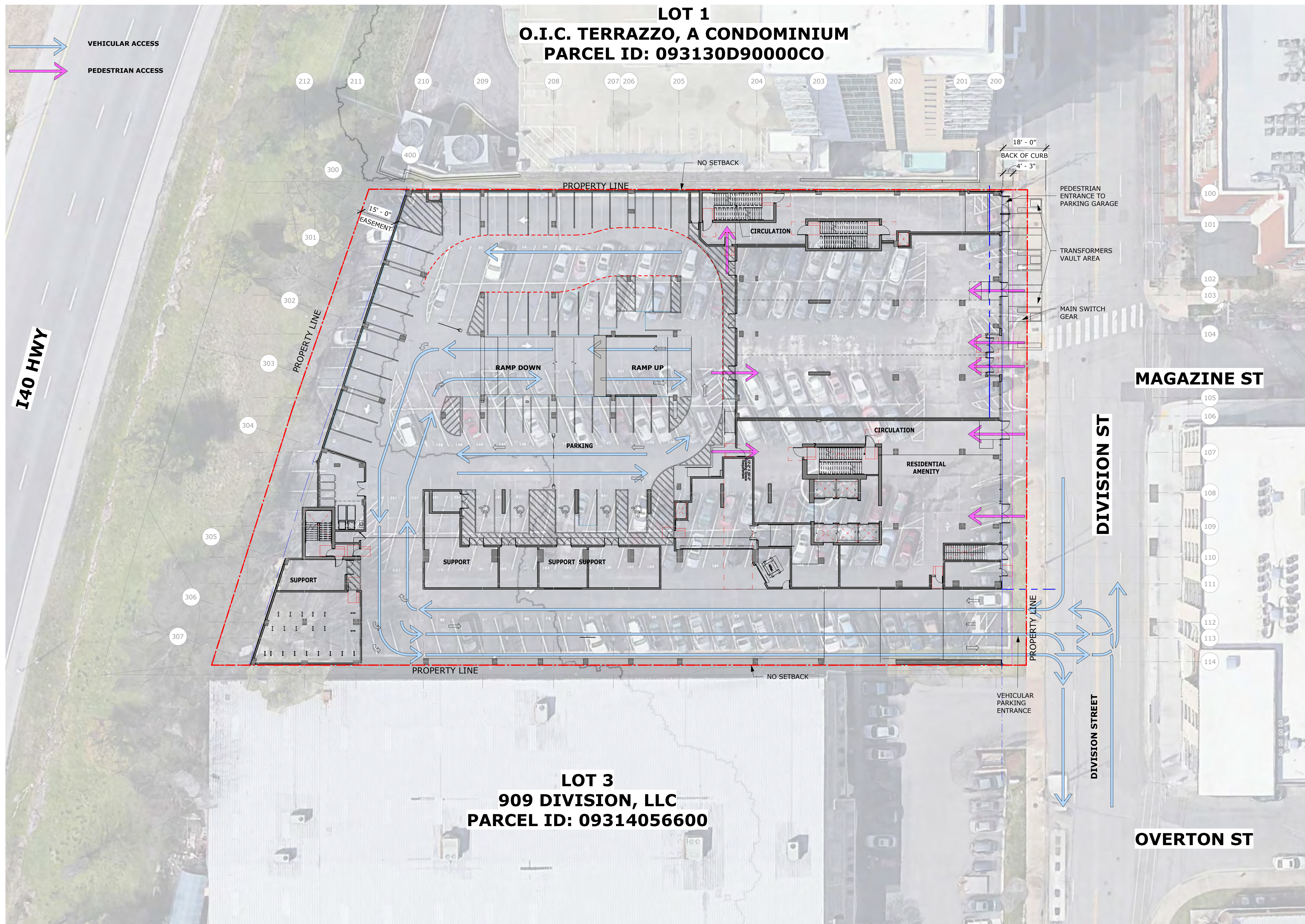


1 DTC BUILDING SECTION N-S
1/16" = 1'-0"

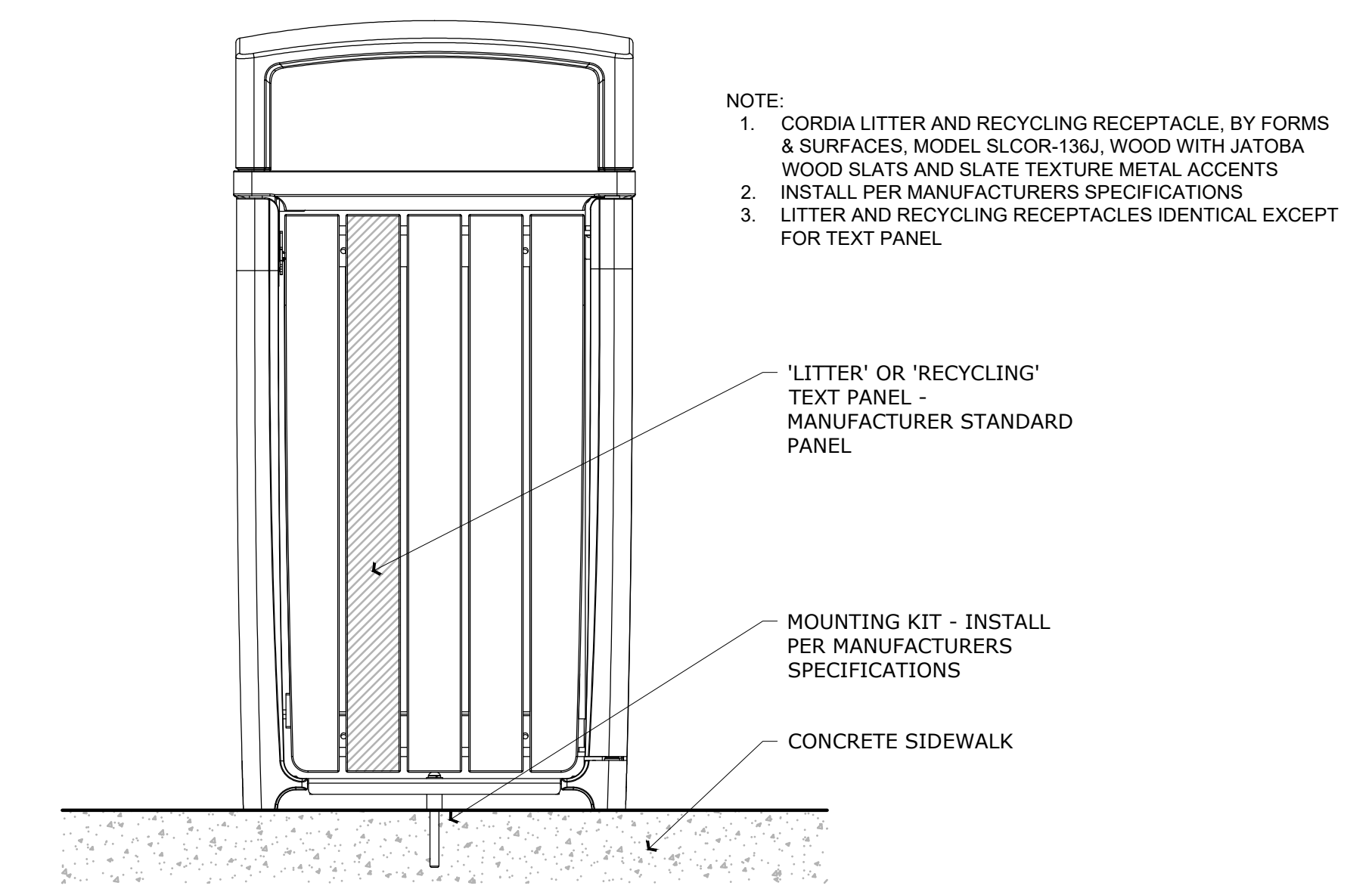
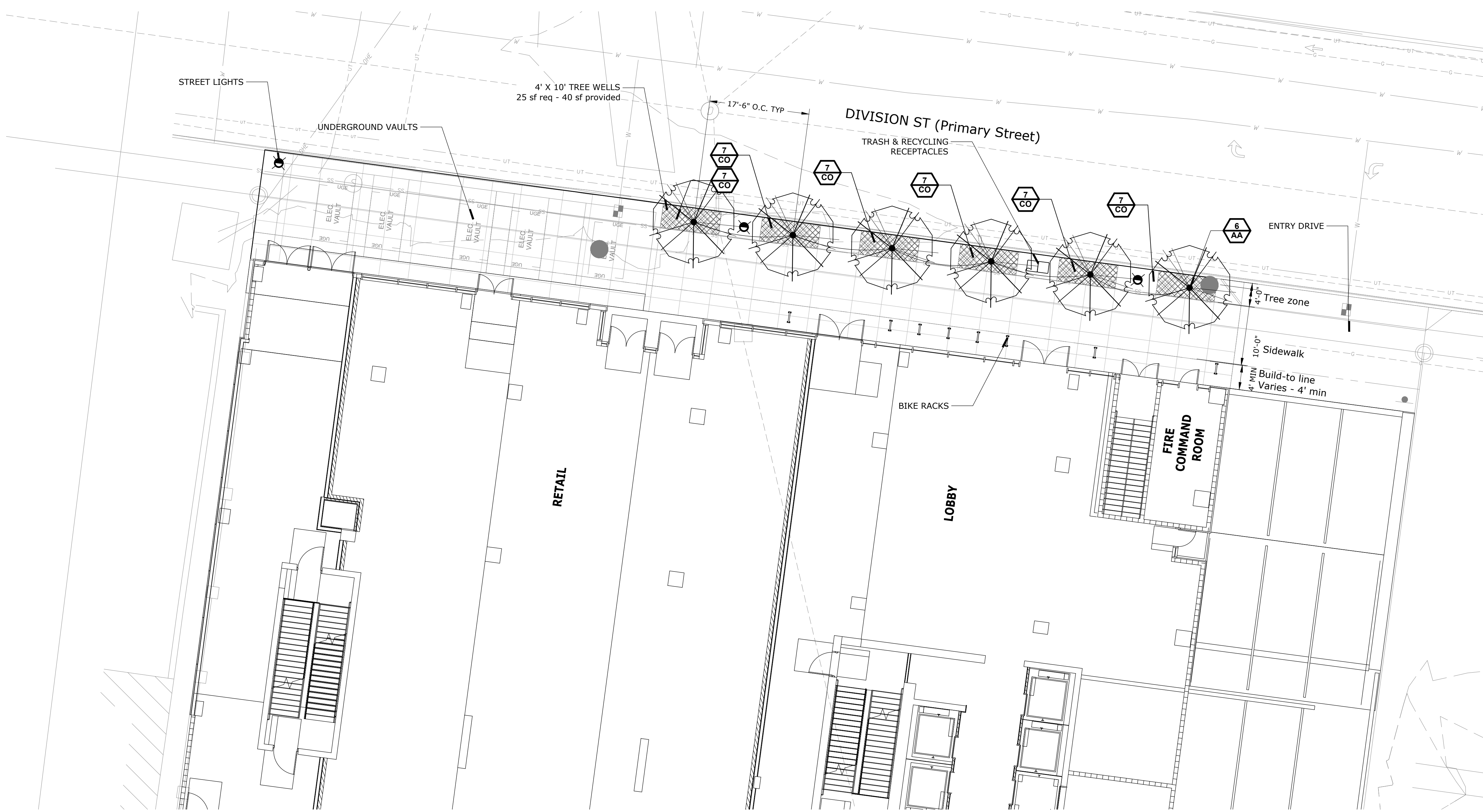
- Department Legend**
- CIRCULATION
 - PARKING
 - POOL
 - RESIDENTIAL
 - RESIDENTIAL AMENITY
 - RESIDENTIAL TERRACE
 - RETAIL
 - SUPPORT
 - VEHICULAR RAMP

LEGEND

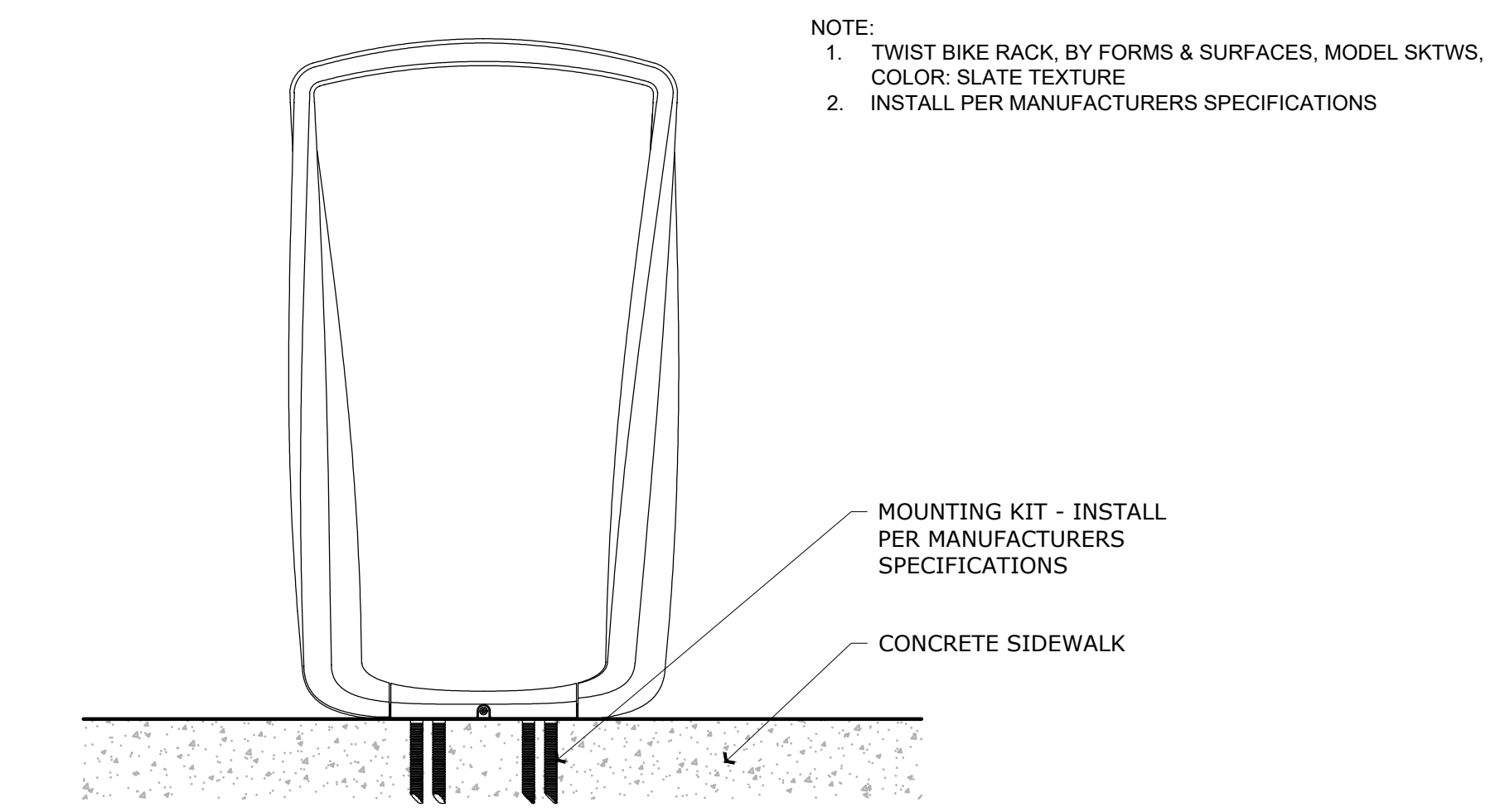
-  VEHICULAR ACCESS
-  PEDESTRIAN ACCESS



1 DTC ARCHITECTURE SITE PLAN
1" = 20'-0"



1 STREETScape RECEPTACLE
1 1/2" = 1'-0"
P-PM-20



2 STREETScape BIKE RACK
1 1/2" = 1'-0"
P-PM-21

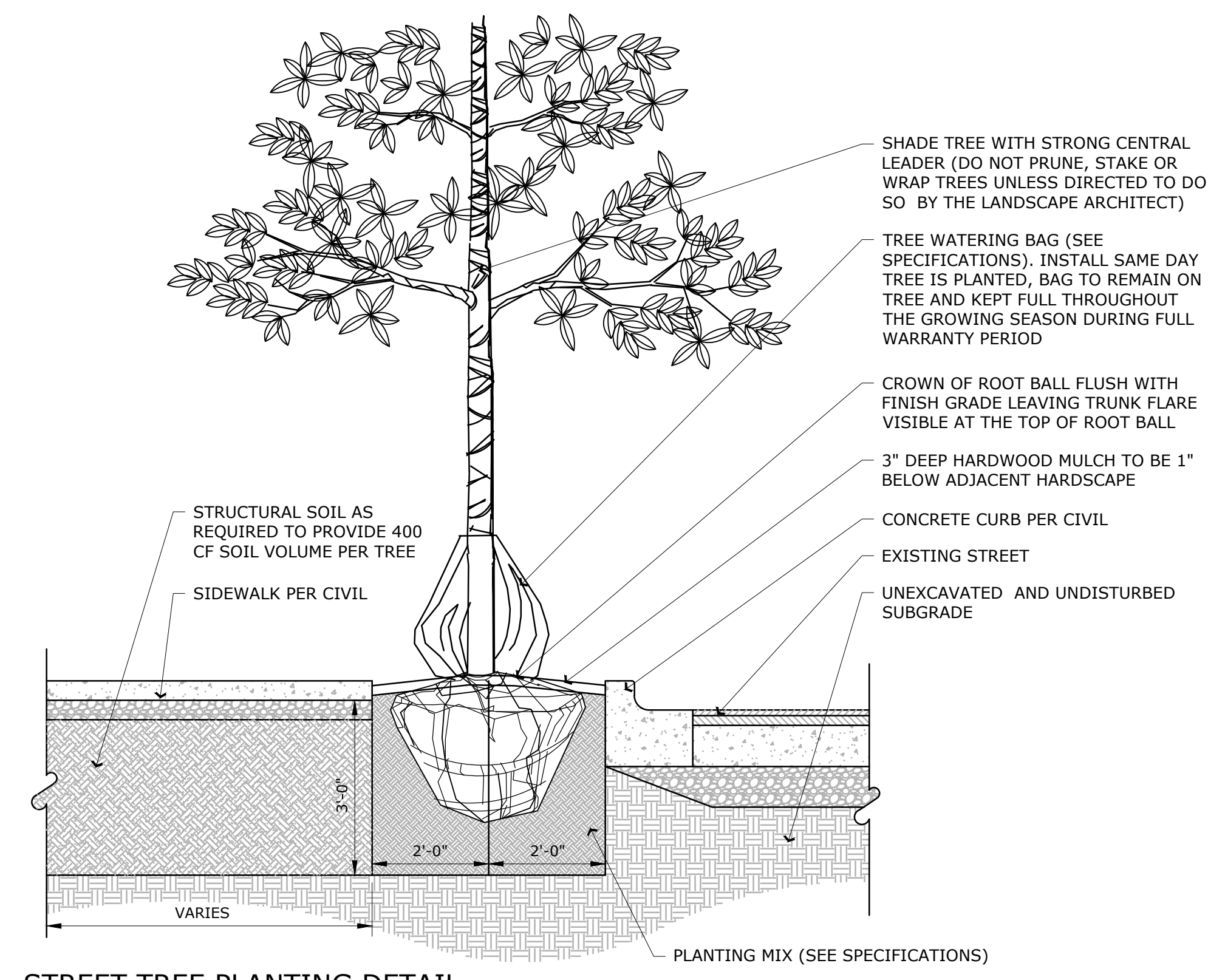
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	REMARKS	
	AA	6	Acer rubrum 'Armstrong'	Armstrong Red Maple	---	4" Cal.	Specimen quality, 7' height to canopy, Matched	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	REMARKS
	CO	42	Cotoneaster procumbens 'Little Dipper'	Little Dipper Cotoneaster	3 gal	6" ht. x 12" spd.	30" o.c.	

NOTES:

Street Tree Calculations
 Trees Required:
 1 tree per 30' of Frontage minus vehicular access
 Frontage: 199.82
 Vehicular access: 31.6
 Adjusted frontage: 168.22 / 30 = 6 trees required
 Trees cannot be planted where underground vaults are located approx 60' of Frontage
 Adjusted plantable frontage: 108.22 / 6 trees = Tree spacing 17.5' on center.

An automatic irrigation system will be provided for all planted areas.



3 STREET TREE PLANTING DETAIL
SCALE: 1/2"=1'-0"
DETAIL NAME.DWG



- Department Legend
- CIRCULATION
 - PARKING
 - SUPPORT
 - VEHICULAR RAMP



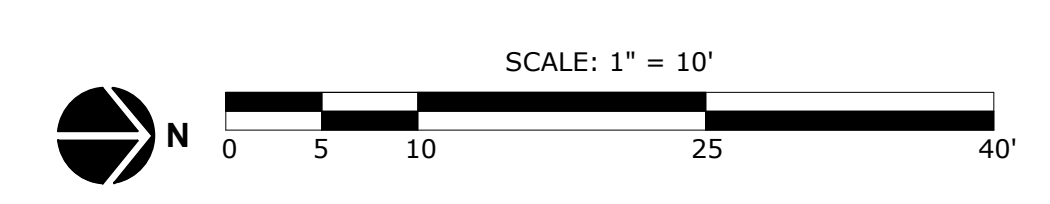
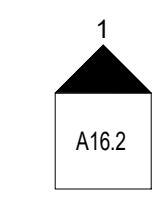
268' - 11 5/8"

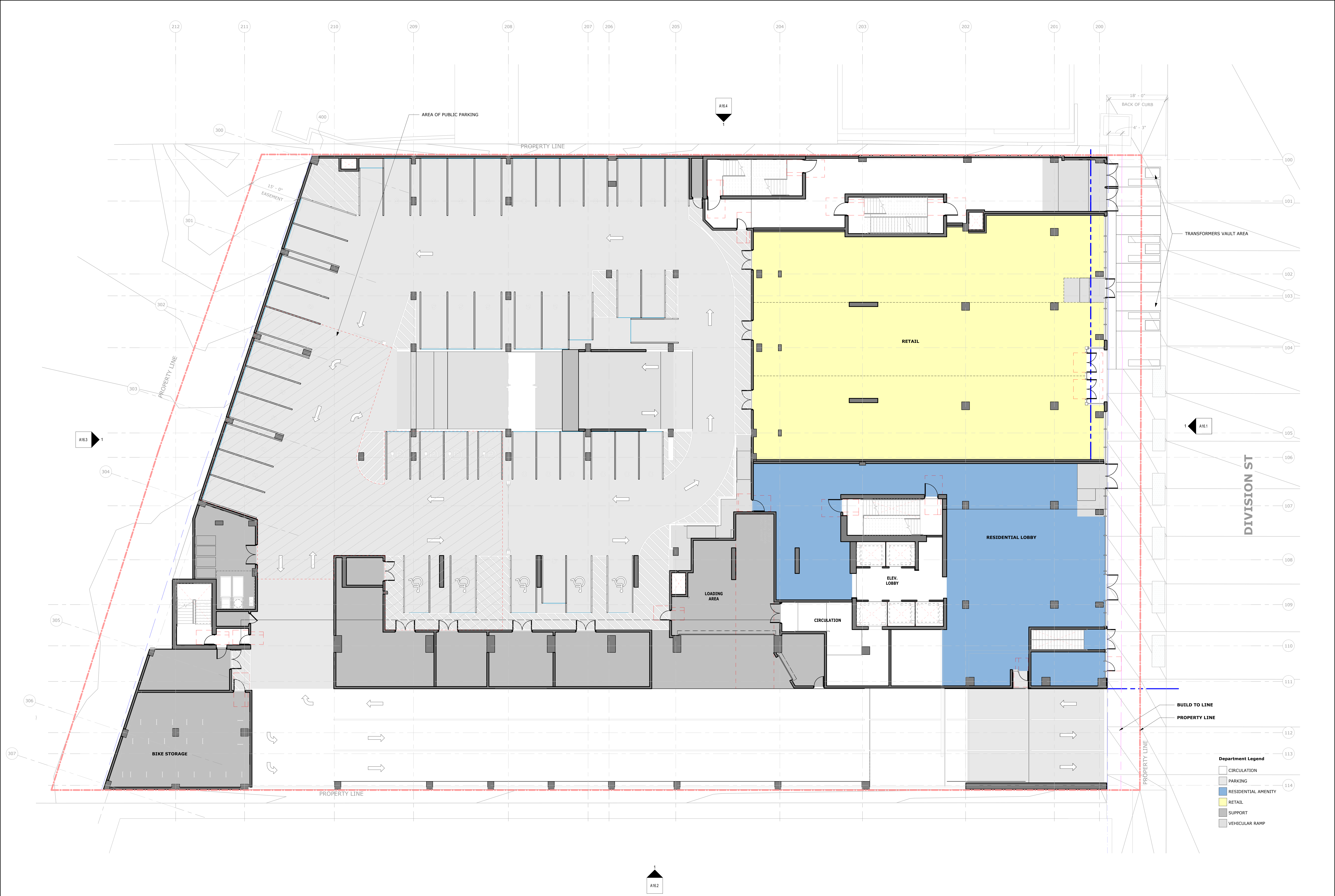
28' - 3" 24' - 11" 29' - 10" 25' - 1" 6' - 7" 21' - 0" 32' - 9" 26' - 0" 32' - 5 3/8" 27' - 10 7/8" 14' - 2 3/8"

13' - 0 3/8" 16' - 4' 6" - 10 5/8" 22' - 11 3/8" 26' - 10" 7' - 8" 15' - 3" 17' - 0" 14' - 1 3/8" 12' - 11 5/8" 11' - 2 3/4" 16' - 1 1/4" 6' - 7 3/4" 9' - 11 1/4"

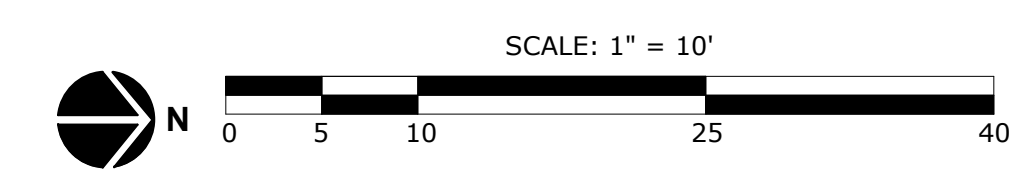
DIVISION ST
196' - 11 3/8"

- Department Legend
- CIRCULATION
 - PARKING
 - SUPPORT
 - VEHICULAR RAMP





OVERALL FLOOR PLAN - LEVEL 01

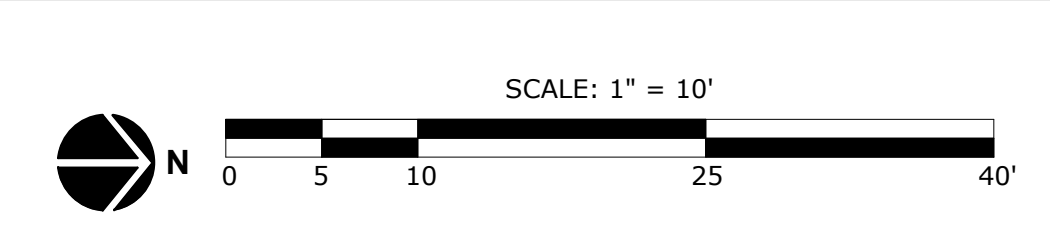
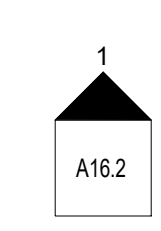


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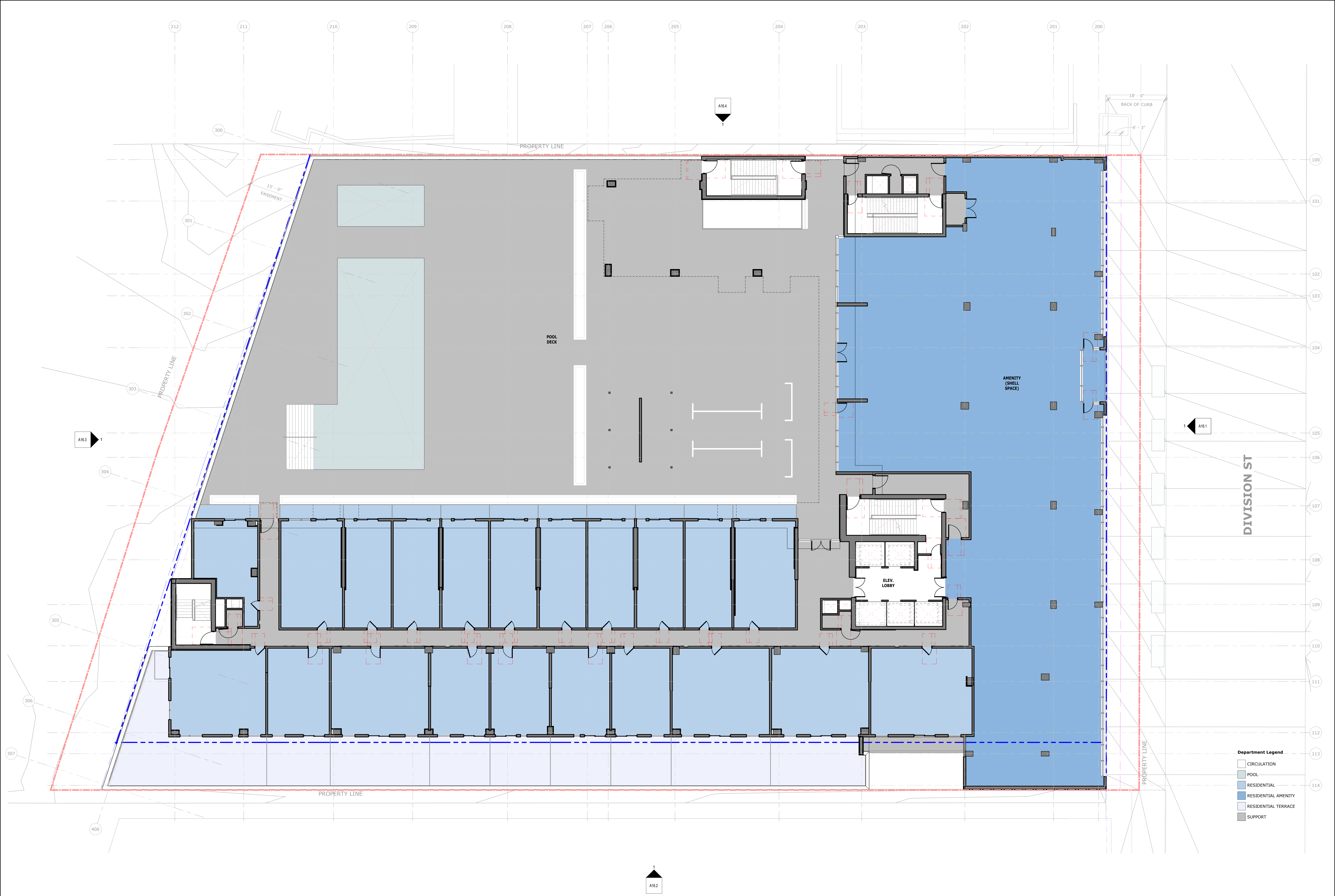
Department Legend

[White Box]	CIRCULATION
[Light Gray Box]	PARKING
[Dark Gray Box]	SUPPORT
[Blue Box]	VEHICULAR RAMP





- Department Legend**
- CIRCULATION
 - PARKING
 - RESIDENTIAL AMENITY
 - SUPPORT
 - VEHICULAR RAMP



Department Legend

[Light Blue Box]	CIRCULATION
[Light Green Box]	POOL
[Blue Box]	RESIDENTIAL
[Dark Blue Box]	RESIDENTIAL AMENITY
[Light Purple Box]	RESIDENTIAL TERRACE
[Grey Box]	SUPPORT

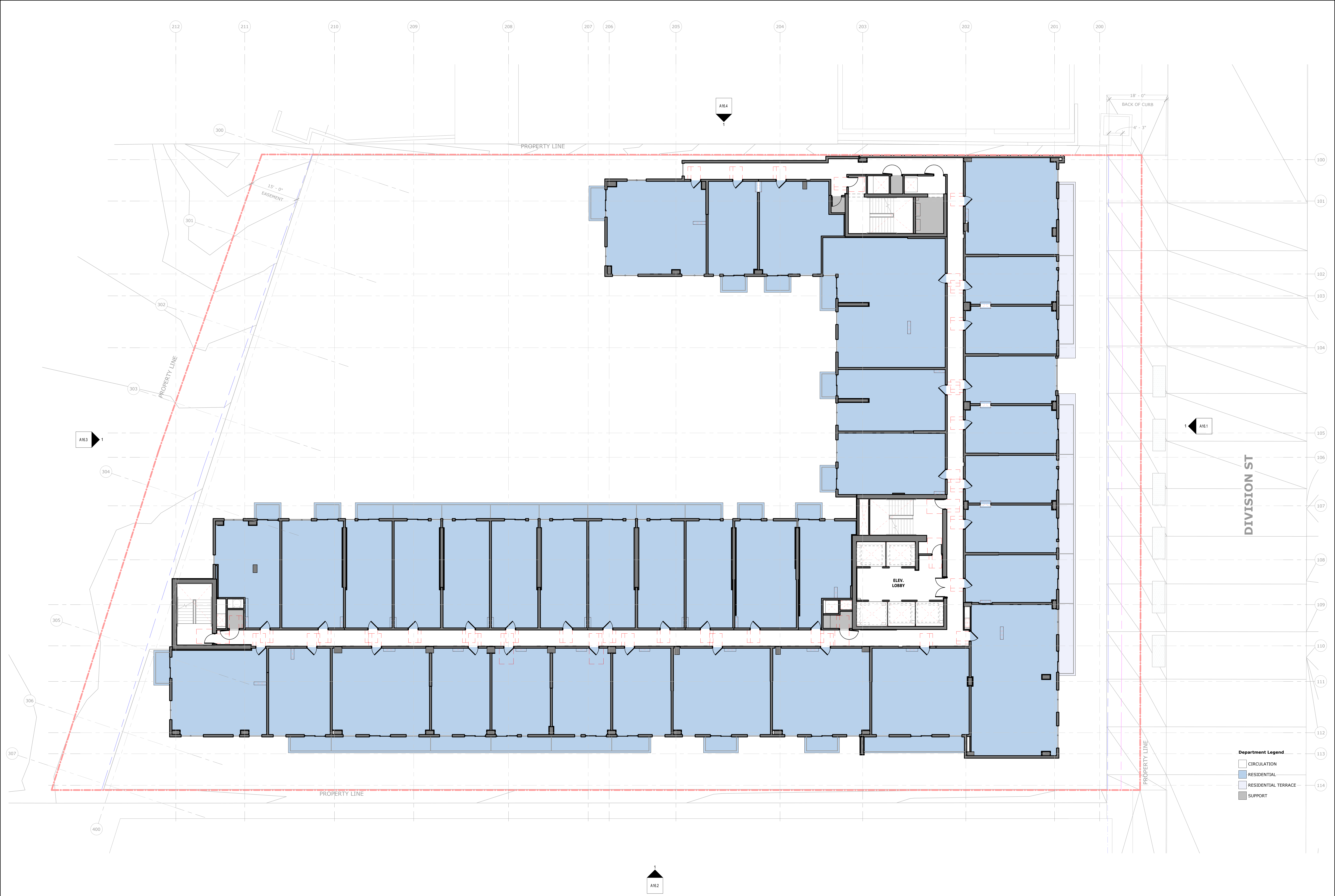
OVERALL FLOOR PLAN - LEVEL 03





- Department Legend**
- CIRCULATION
 - RESIDENTIAL
 - RESIDENTIAL TERRACE
 - SUPPORT

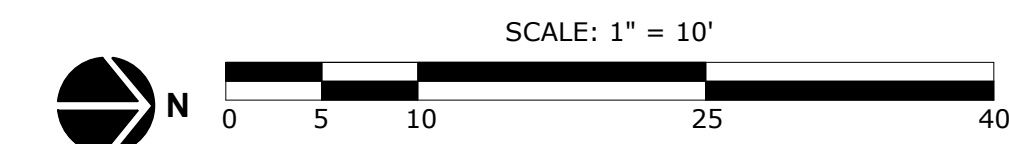
OVERALL FLOOR PLAN - LEVEL 04



Department Legend

[White Box]	CIRCULATION
[Blue Box]	RESIDENTIAL
[Light Blue Box]	RESIDENTIAL TERRACE
[Grey Box]	SUPPORT

OVERALL FLOOR PLAN - LEVEL 05-16

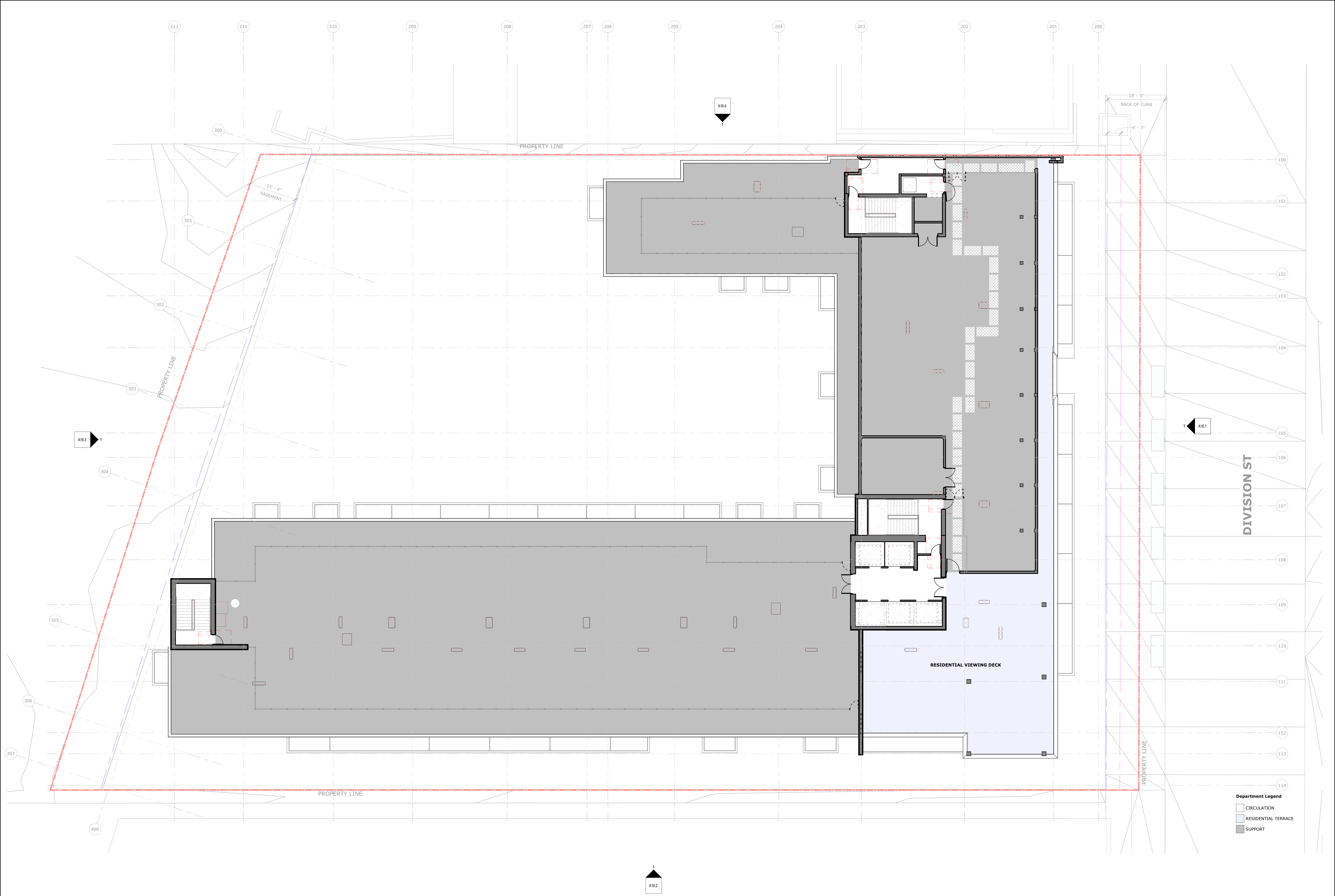


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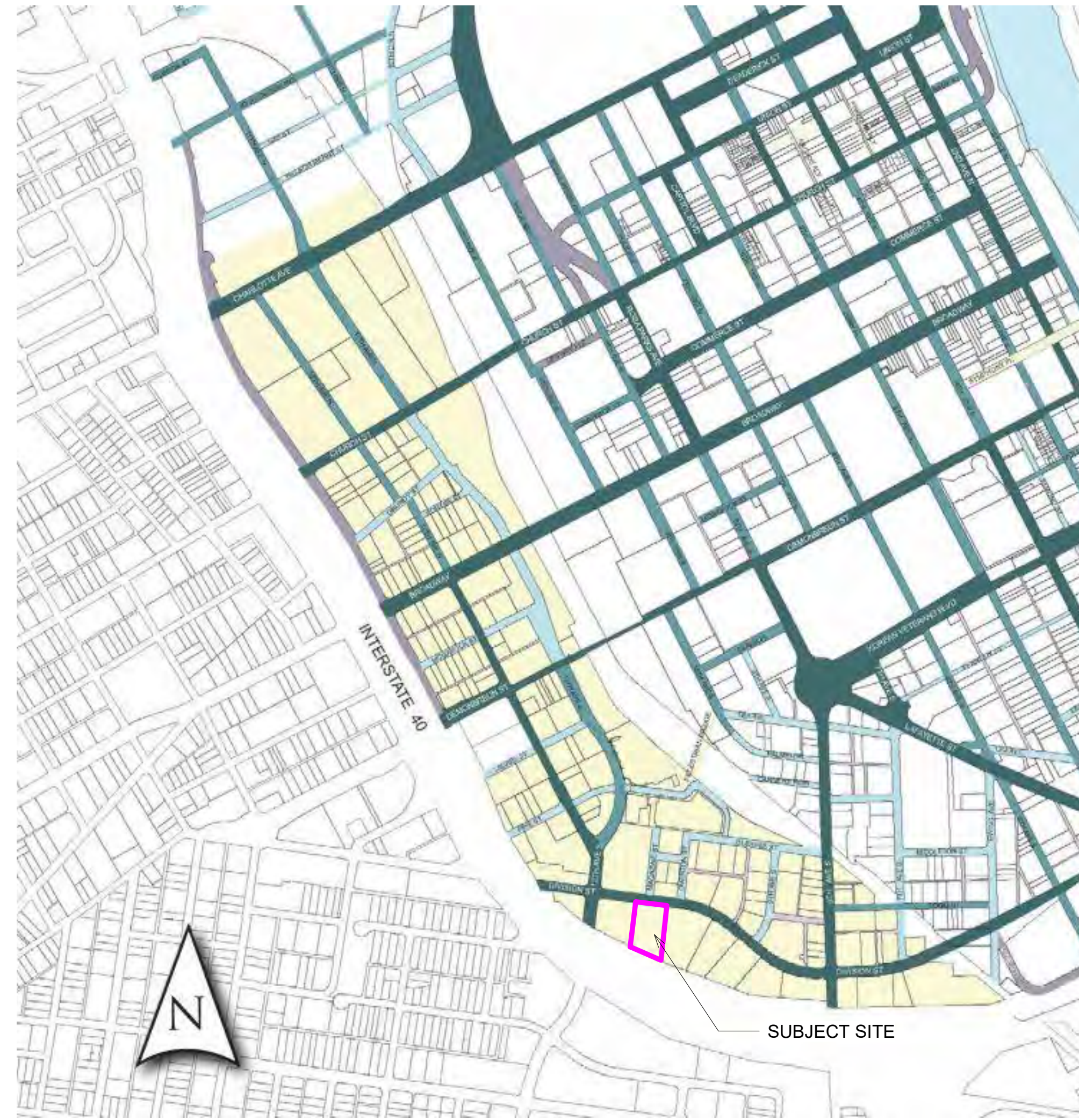


NOT FOR CONSTRUCTION

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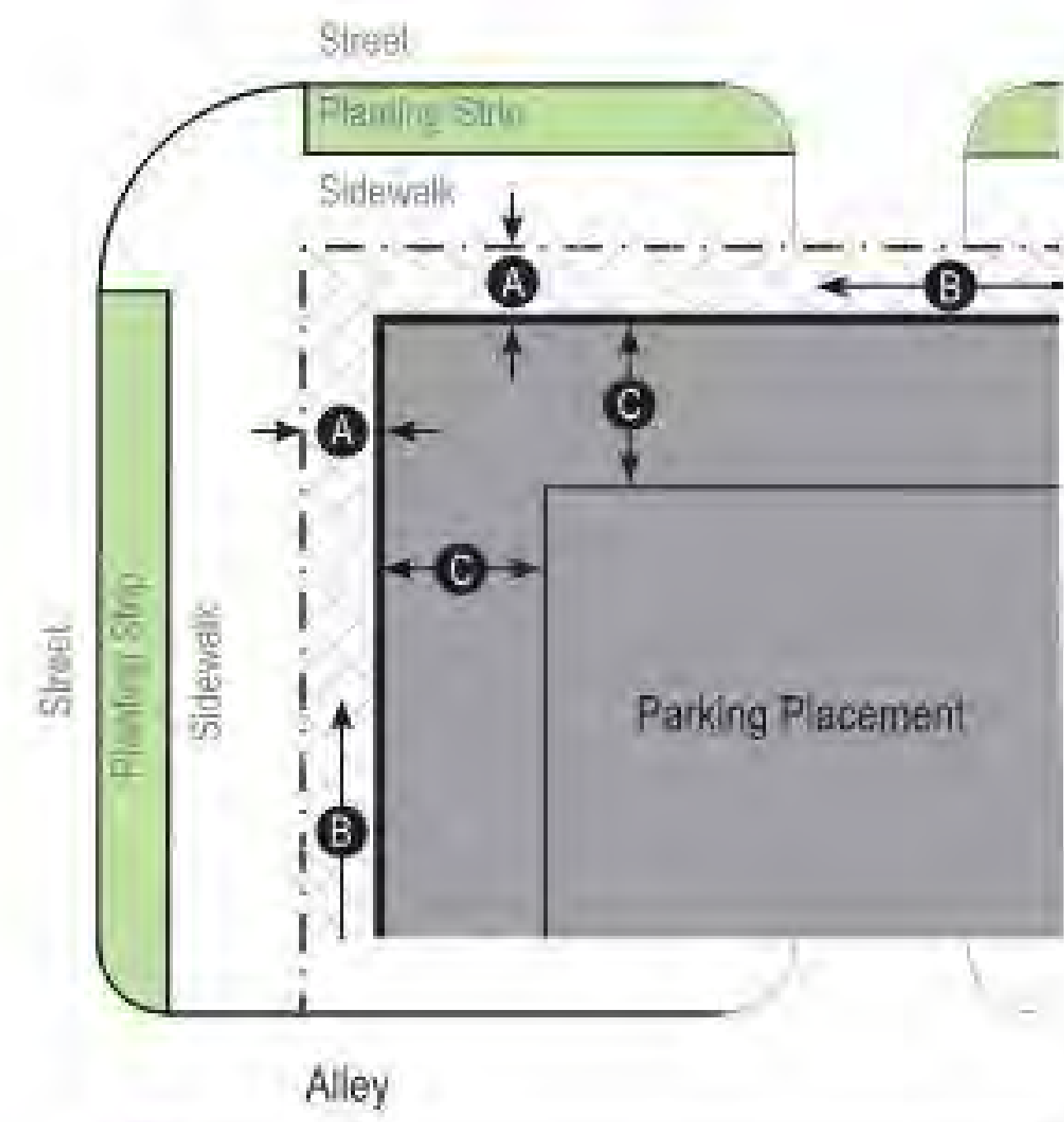
Department Legend
 ◻ CIRCULATION
 ◻ RESIDENTIAL TERRACE
 ◻ SUPPORT



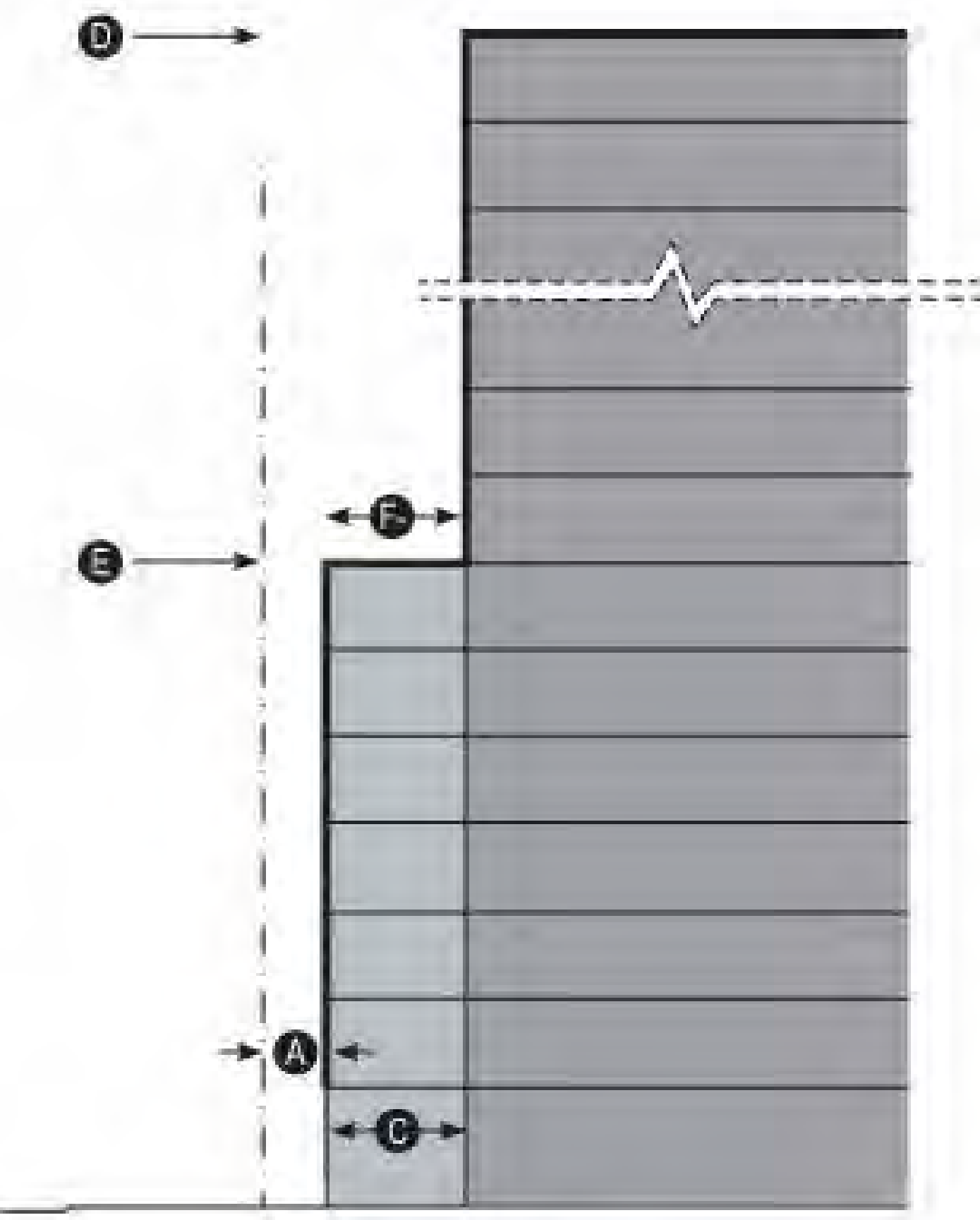
GULCH SOUTH DISTRICT MAP

The subject site is bounded by Division Street (Primary Street) to the north, abuts neighboring properties to the east and west, and abuts Interstate 40 to the South (with no access).

FRONTAGE	REQUIRED	PROVIDED
A Allowed Frontage Types with Required Build-To Zone		
Primary Street	Storefront Frontage 0'-10' Stoop Frontage 5'-10'	4' N/A
B Facade Width		
Primary Street	80% of Lot Frontage Min.	100 %
C Min. Building Depth		
	15' From Building Facade	108' +
HEIGHT		
D Subdistrict General	10 Stories	16 Stories
STEP-BACK		
E Step-back Between	4th and 8th Stories	5th Story
F Min. Step-back Depth	15'	15'
SIDEWALK + PLANTING		
	Improvements to the sidewalk corridor according to the General Standards and the Major and Collector Street Plan.	Complies 4' Planting Strip 10' Sidewalk



Building Plan

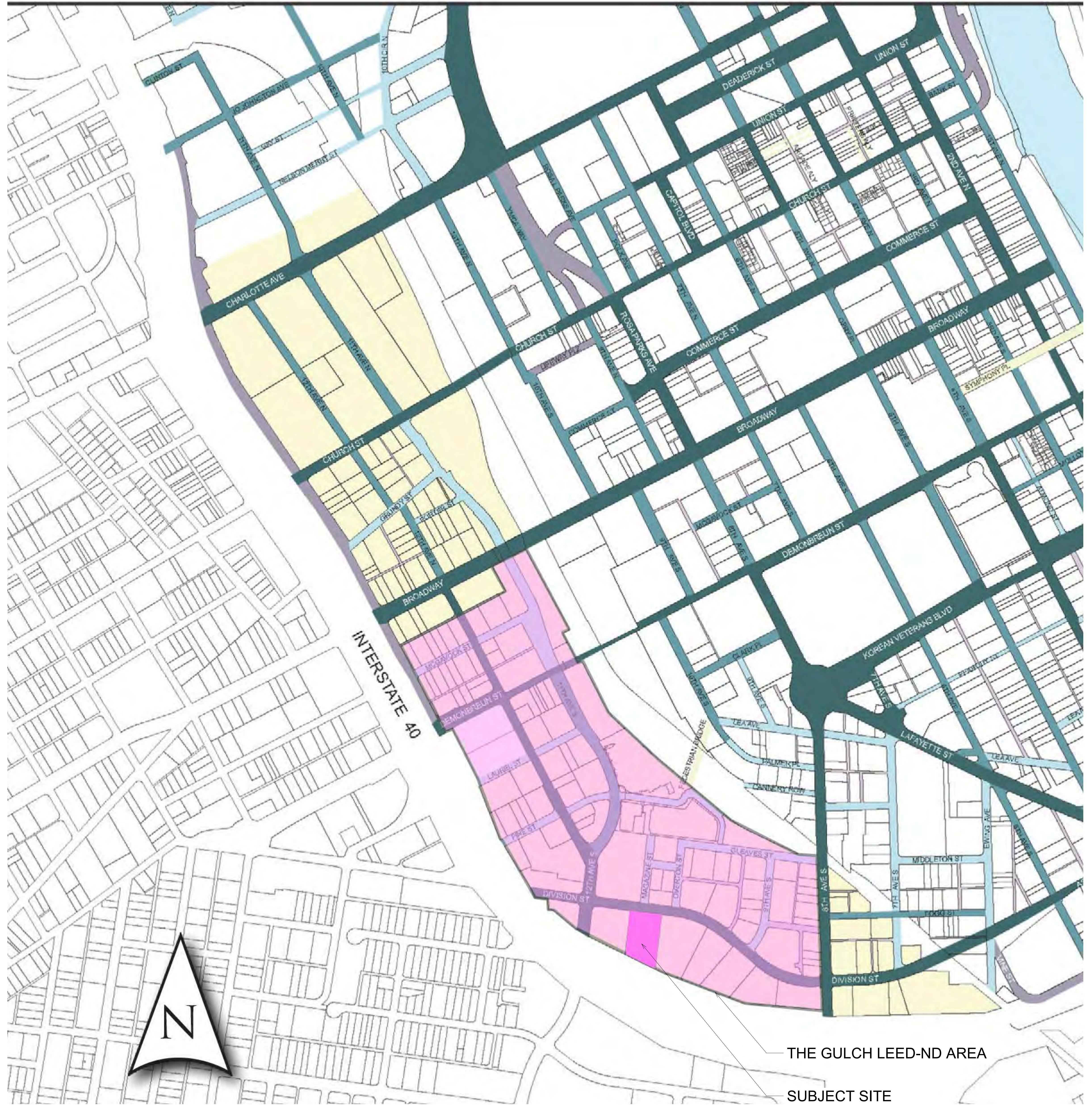


Building Section

BONUS HEIGHT - SELECTED CRITERIA

West	1	2	3	Bonus Height Maximum							
	Maximum height within the Subdistrict	LEED	LEED ND	Pervious Surface	Historic Building Preservation	Open Space	Inclusionary Housing	Civil Support Space	Upper Level Garage Liner & Underground Parking	Public Parking	Bonus Height Maximum
Gulch South	10 stories	Any = 2 stories	2 stories	2 stories	2 stories	2 stories	6 stories	2 stories	2 stories	2 stories	16 stories
fronting Church, Broadway, Demonbreun	15 stories	Any = 2 stories	2 stories	2 stories	3 stories	3 stories	6 stories	3 stories	3 stories	2 stories	21 stories
at key intersections	20 stories	Silver or Gold = 2 stories; Platinum = 3 stories	2 stories	2 stories	4 stories	4 stories	8 stories	4 stories	4 stories	2 stories	28 stories

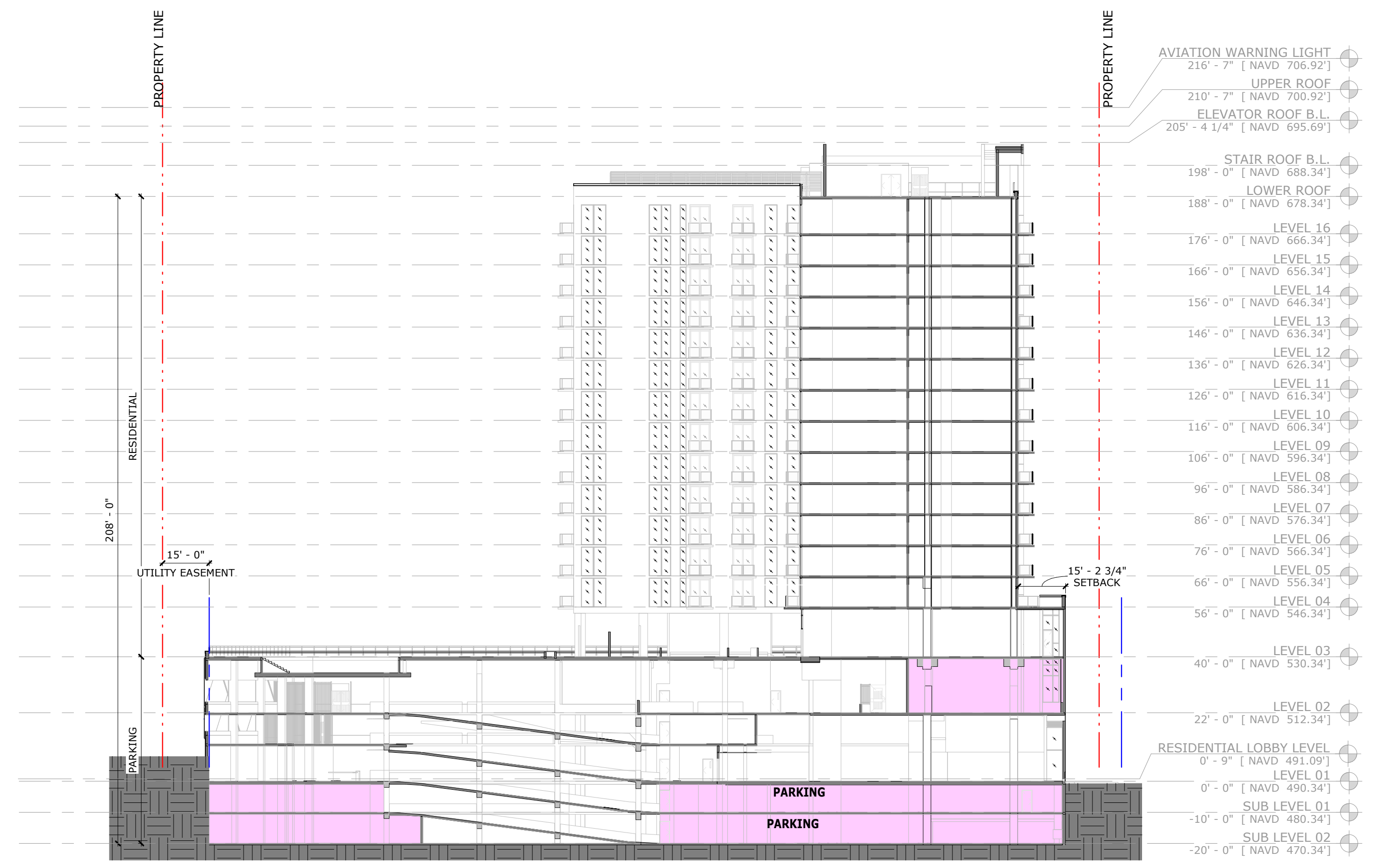
BONUS HEIGHT PROGRAM					
	MAX. HEIGHT WITHIN DISTRICT	LEED ND	UPPER LEVEL GARAGE LINER & UNDERGROUND PARKING	PUBLIC PARKING	BONUS HEIGHT MAXIMUM
GULCH SOUTH GENERAL	10 STORIES	2 STORIES	2 STORIES	2 STORIES	16 STORIES
LEED ND					
SUBDISTRICT:	GULCH SOUTH				
PROJECT ADDRESS:	915 DIVISION STREET				
DESCRIPTION:	LEED ND. EVERY PROPERTY WITHIN THE LEED ND NEIGHBORHOOD MAY UTILIZE THE BONUS HEIGHT.				
BONUS RECEIVED:	2 STORIES				
PROPOSED LEVELS:	LEVEL 11 LEVEL 12				



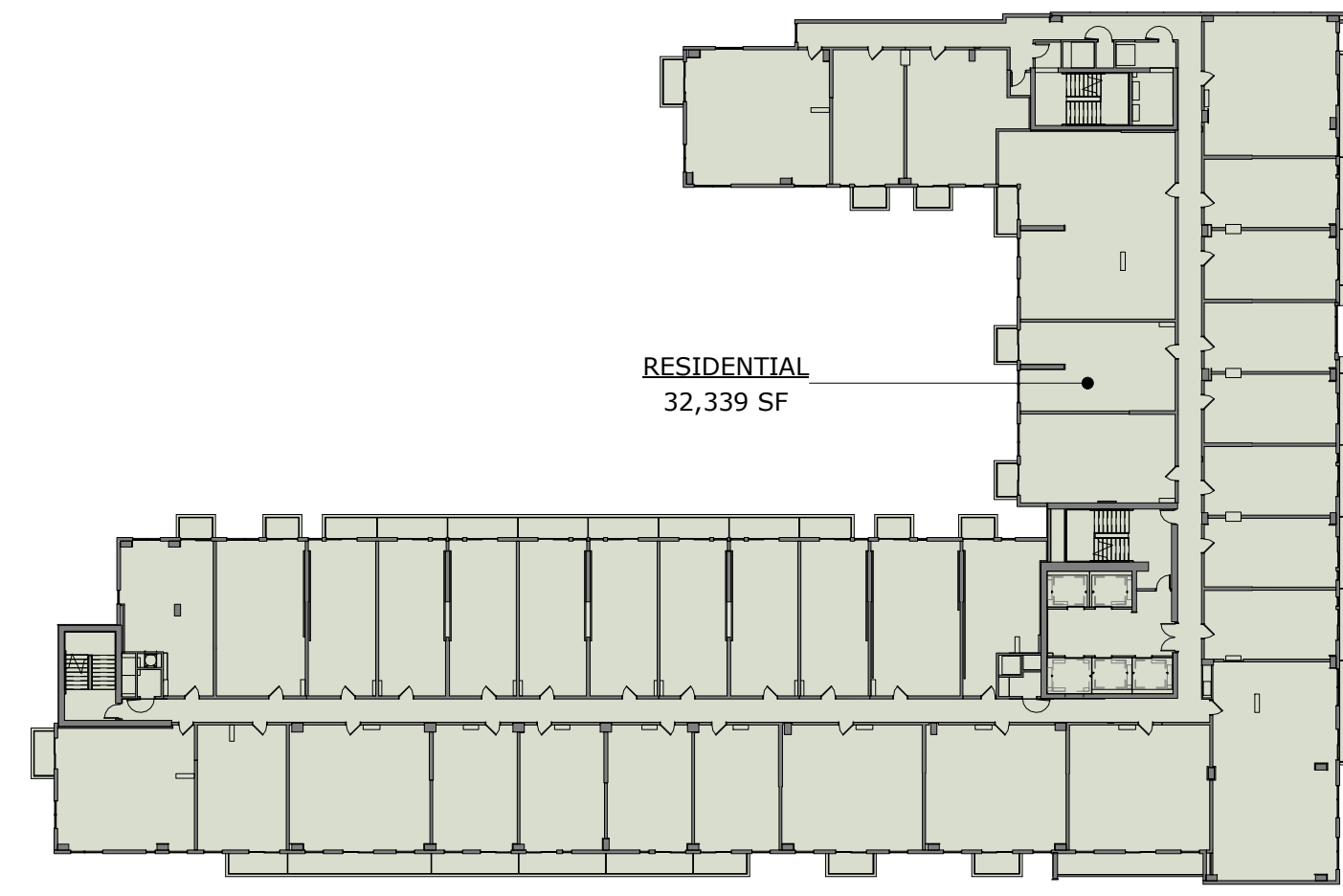
THE GULCH LEED-ND AREA

SUBJECT SITE

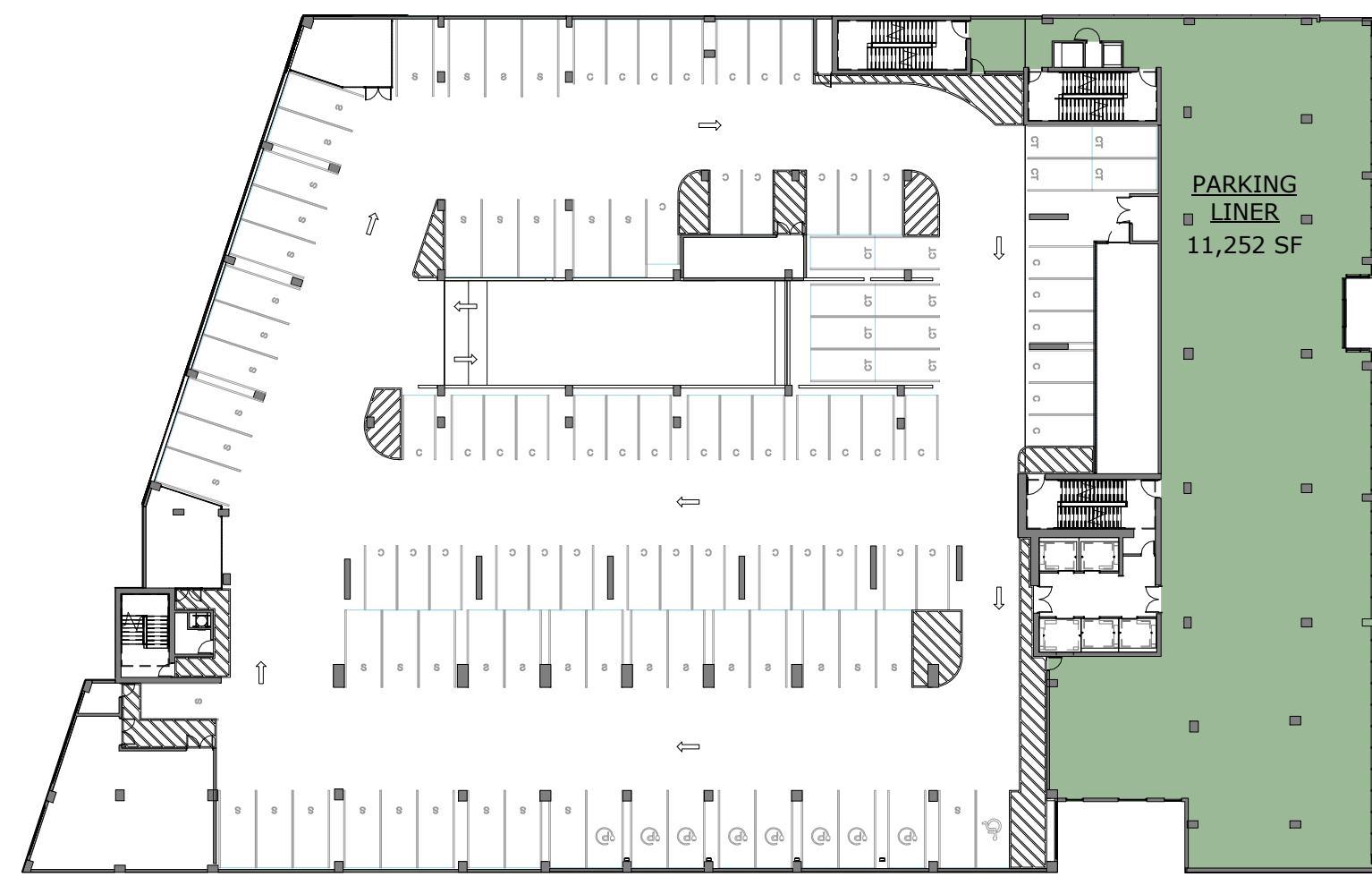
BONUS HEIGHT PROGRAM					
	MAX. HEIGHT WITHIN DISTRICT	LEED ND	UPPER LEVEL GARAGE LINER & UNDERGROUND PARKING	PUBLIC PARKING	BONUS HEIGHT MAXIMUM
GULCH SOUTH GENERAL	10 STORIES	2 STORIES	2 STORIES	2 STORIES	16 STORIES
UPPER LEVEL GARAGE LINER AND UNDERGROUND PARKING					
DESCRIPTION:	THE PUBLIC REALM OF THE STREETScape IS IMPROVED BY PROVIDING PARKING IN UNDERGROUND STRUCTURES AND LINING ABOVE GROUND PARKING STRUCTURES WITH HABITABLE SPACE. HEIGHT BONUSES ARE GIVEN FOR UPPER LEVELS OF HABITABLE SPACE, A MINIMUM OF 20' IN DEPTH WHICH MASKS A PARKING STRUCTURE FROM VIEW ALONG PUBLIC STREETS AND OPEN SPACE.				
BONUS RECEIVED:	2 STORIES				
PROPOSED LEVELS:	LEVEL 13 LEVEL 14				
CALCULATION:	UPPER LEVEL GARAGE LINER = 11,252 SF x 2 = 22,503 SF + UNDERGROUND PARKING = 93,336 SF TOTAL ALLOWED = 115,839 SF SPACE REQUIRED = 32,339 SF x 2 LEVELS = 64,678 SF				



5 DTC BUILDING SECTION UNDERGROUND PARKING + LINER
1" = 30'-0"



4 BONUS HEIGHT LEVEL TYPICAL
1" = 40'-0"



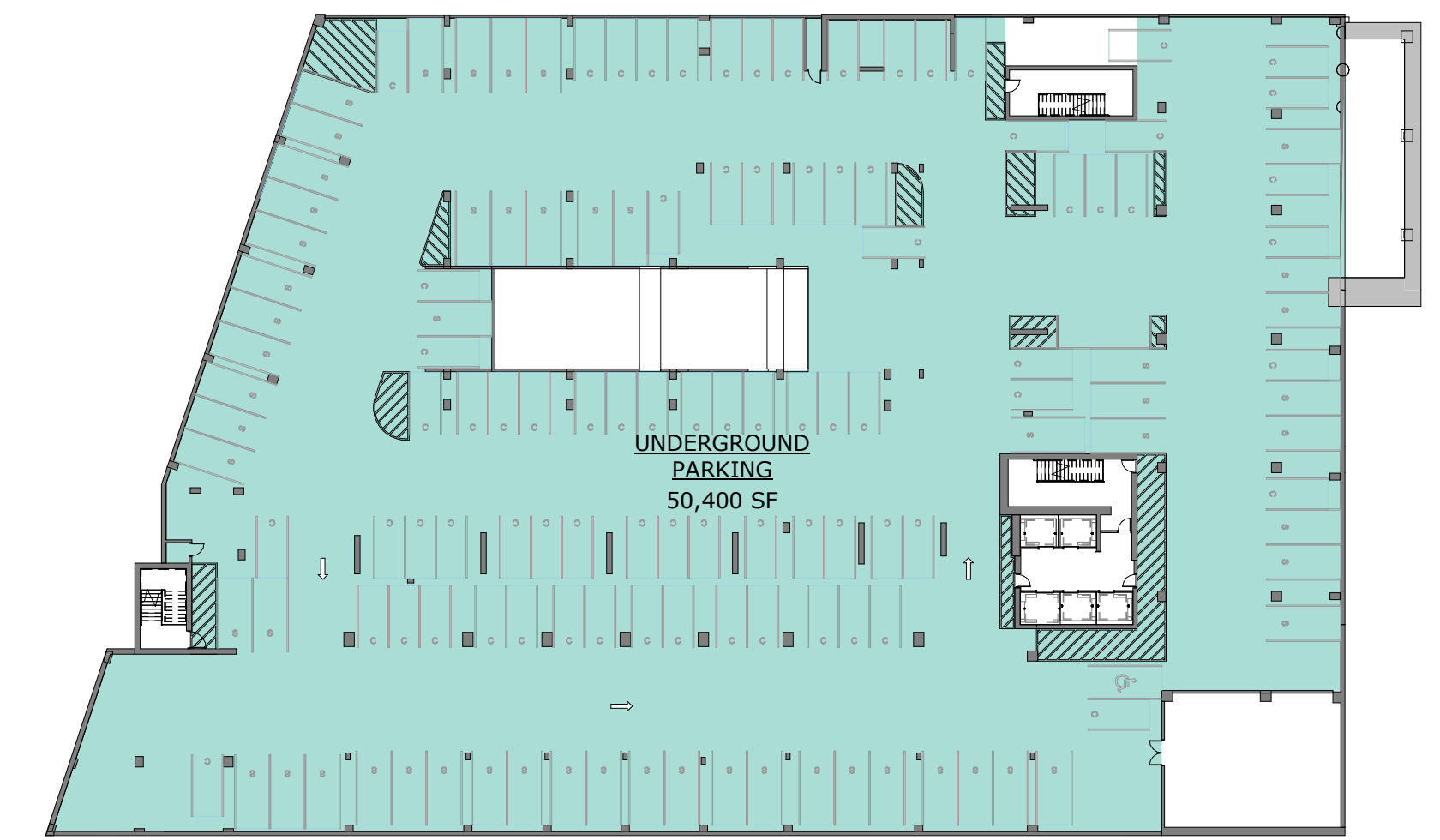
2 BONUS HEIGHT PROGRAM - GARAGE LINER @ LEVEL 02
1" = 40'-0"

Bonus Height - Upper Level Garage Liner		
The number of square feet of Bonus Height shall be twice that of the number of square feet in Garage Liners. The additional square footage may be used to the Bonus Height Maximum as determined on the BHP Chart		
Name	Area	Bonus Height Allowed Area Calculation (Area x 2)
LEVEL 02 PARKING LINER	11,252 SF	22,503 SF
TOTAL	11,252 SF	22,503 SF



3 BONUS HEIGHT PROGRAM - UNDERGROUND PARKING SUB LEVEL 01
1" = 40'-0"

Bonus Height - Underground Parking		
The number of square feet of Bonus Height shall be equal to the number of square feet in Underground Parking. The additional square footage may be used to the Bonus Height Maximum as determined on the BHP Chart		
Name	Area	Bonus Height Allowed Area Calculation (Area x 1)
SUB LEVEL 02 UNDERGROUND PARKING	50,400 SF	50,400 SF
SUB LEVEL 01 UNDERGROUND PARKING	42,936 SF	42,936 SF
TOTAL	93,336 SF	93,336 SF



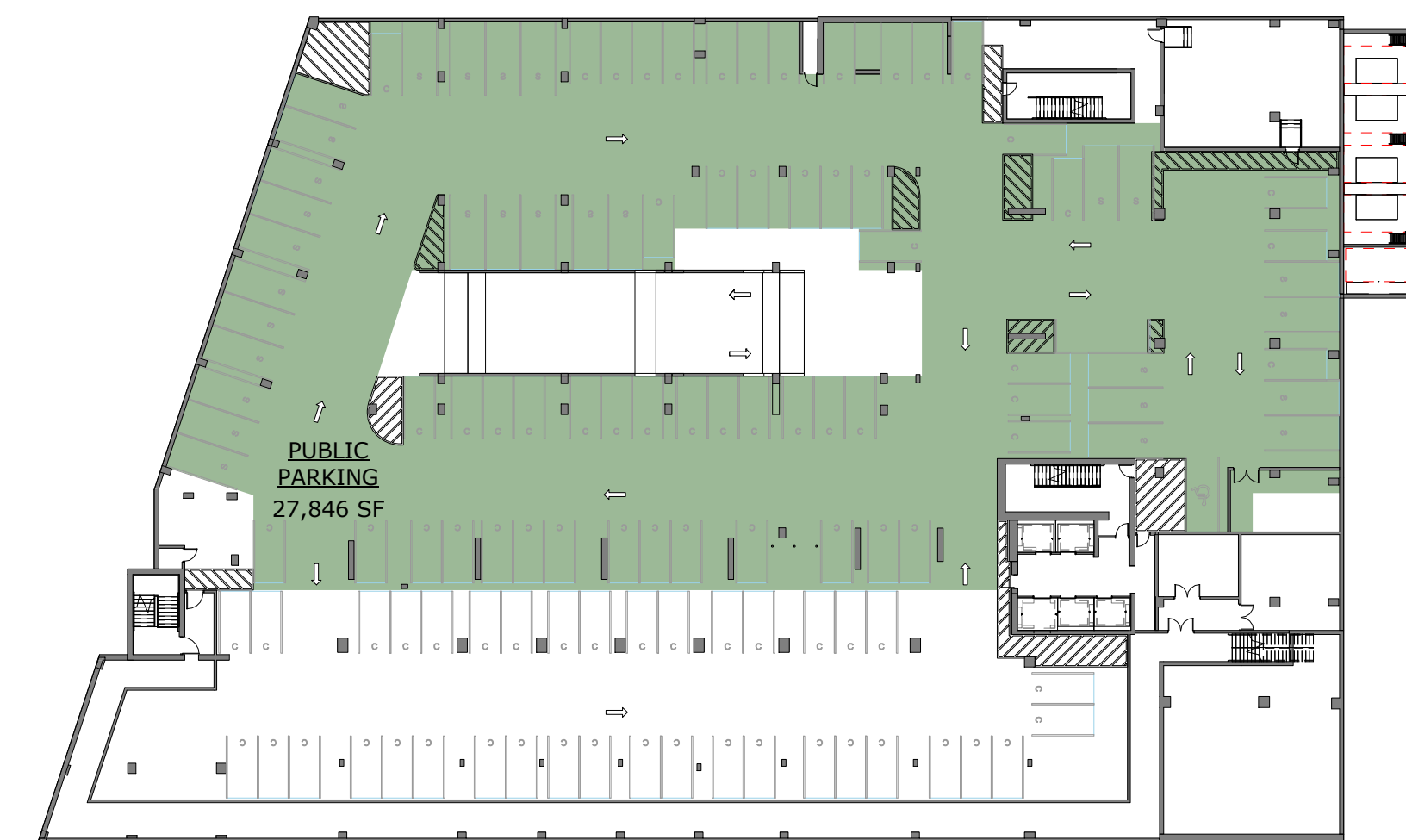
6 BONUS HEIGHT PROGRAM - UNDERGROUND PARKING SUB LEVEL 02
1" = 40'-0"

BONUS HEIGHT PROGRAM					
	MAX. HEIGHT WITHIN DISTRICT	LEED ND	UPPER LEVEL GARAGE LINER & UNDERGROUND PARKING	PUBLIC PARKING	BONUS HEIGHT MAXIMUM
GULCH SOUTH GENERAL	10 STORIES	2 STORIES	2 STORIES	2 STORIES	16 STORIES
PUBLIC PARKING					
DESCRIPTION:	PUBLIC PARKING SHALL BE CLEARLY MARKED AS PUBLIC AND SHALL BE ACCESSIBLE TO THE PUBLIC AT ALL HOURS THAT THE GARAGE IS OPEN FOR THE LIFETIME OF THE BUILDING				
BONUS RECEIVED:	2 STORIES				
PROPOSED LEVELS:	LEVEL 15 LEVEL 16				
CALCULATION:	UNDERGROUND PARKING + GROUND LEVEL PARKING 55,693 SF X 2 = 67,204 SF ALLOWED SPACE REQUIRED = 32,339 SF X 2 LEVELS = 64,678 SF				



BONUS HEIGHT PROGRAM - PUBLIC PARKING GROUND

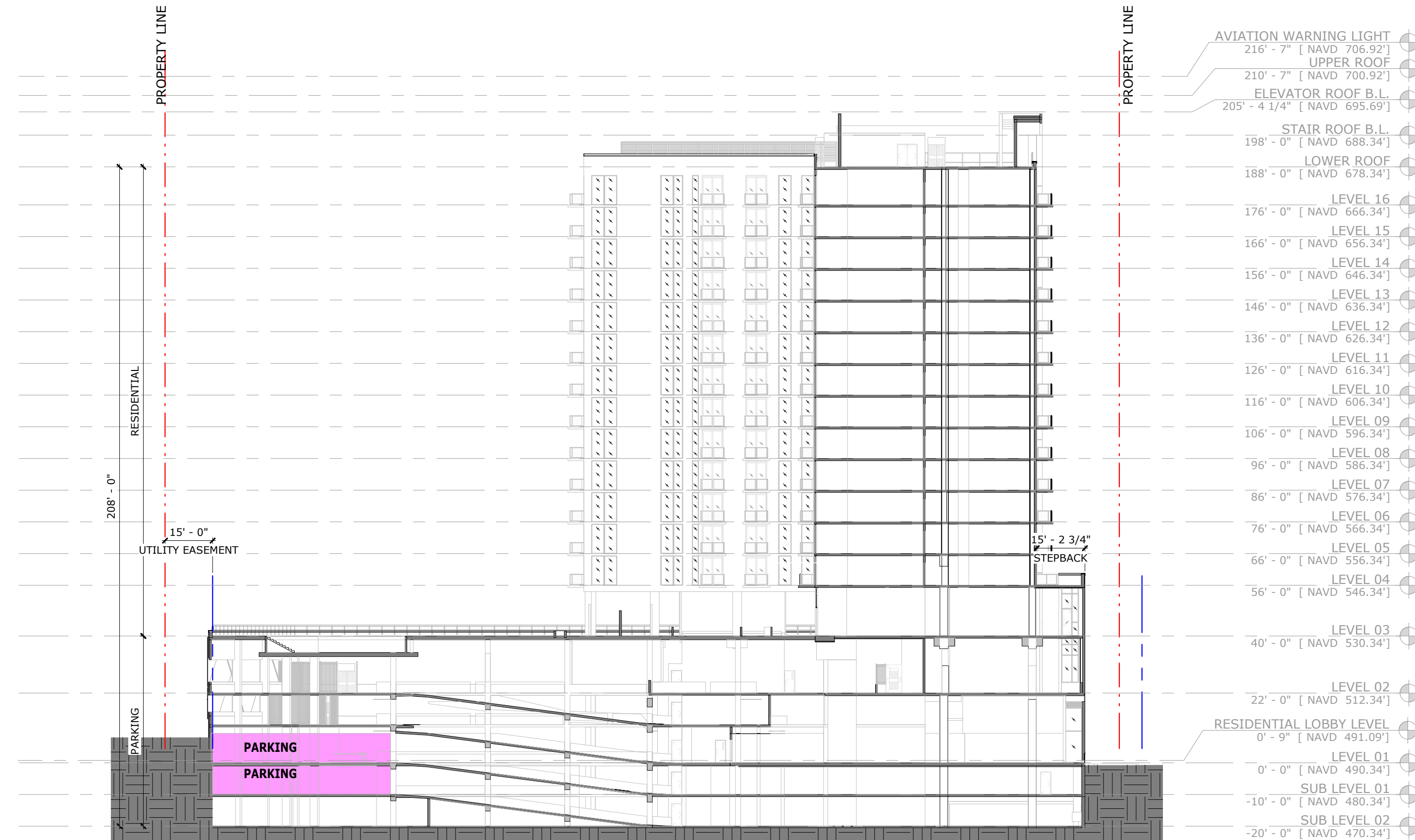
2 LEVEL
1" = 40'-0"



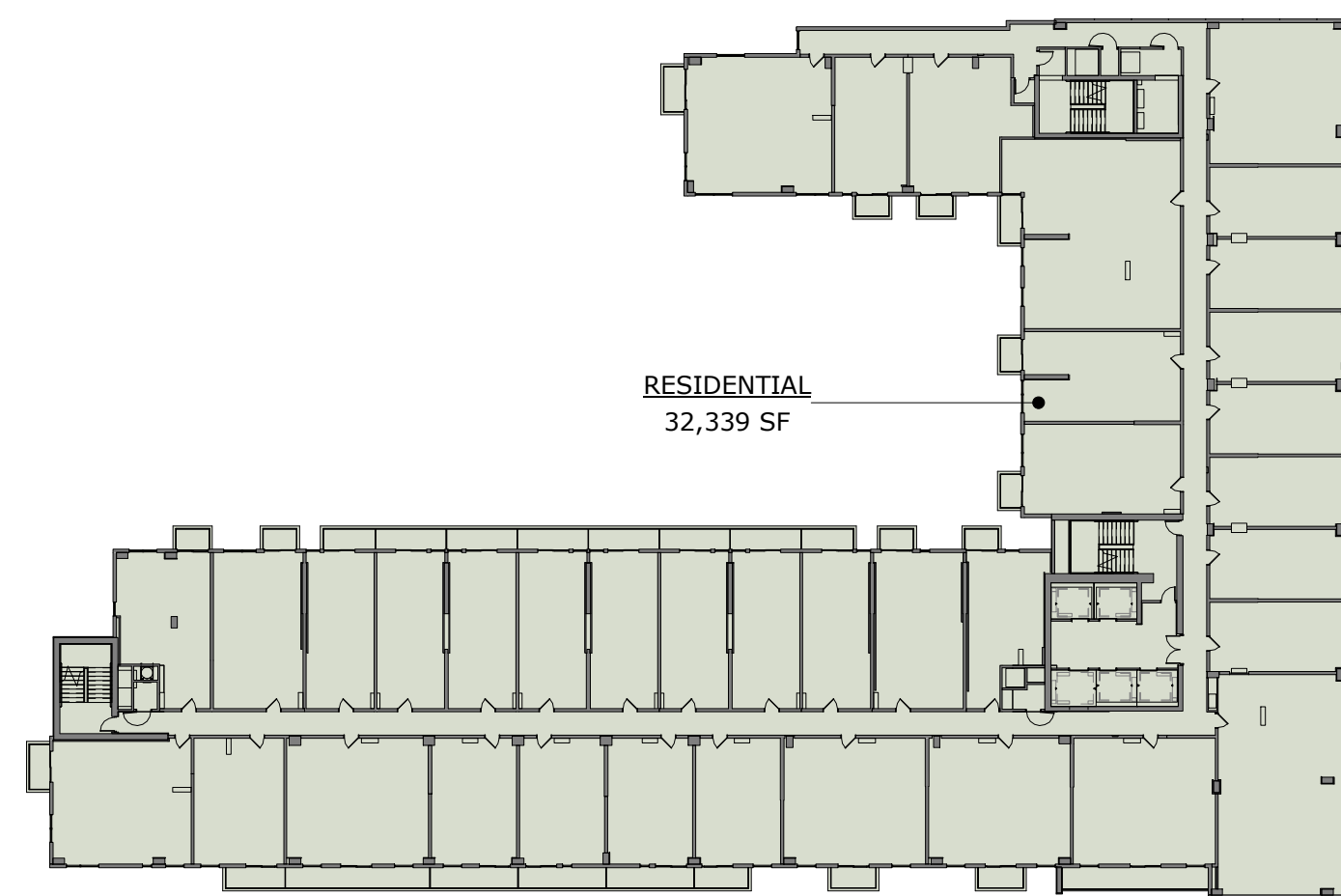
BONUS HEIGHT PROGRAM - PUBLIC PARKING UNDERGROUND

3
1" = 40'-0"

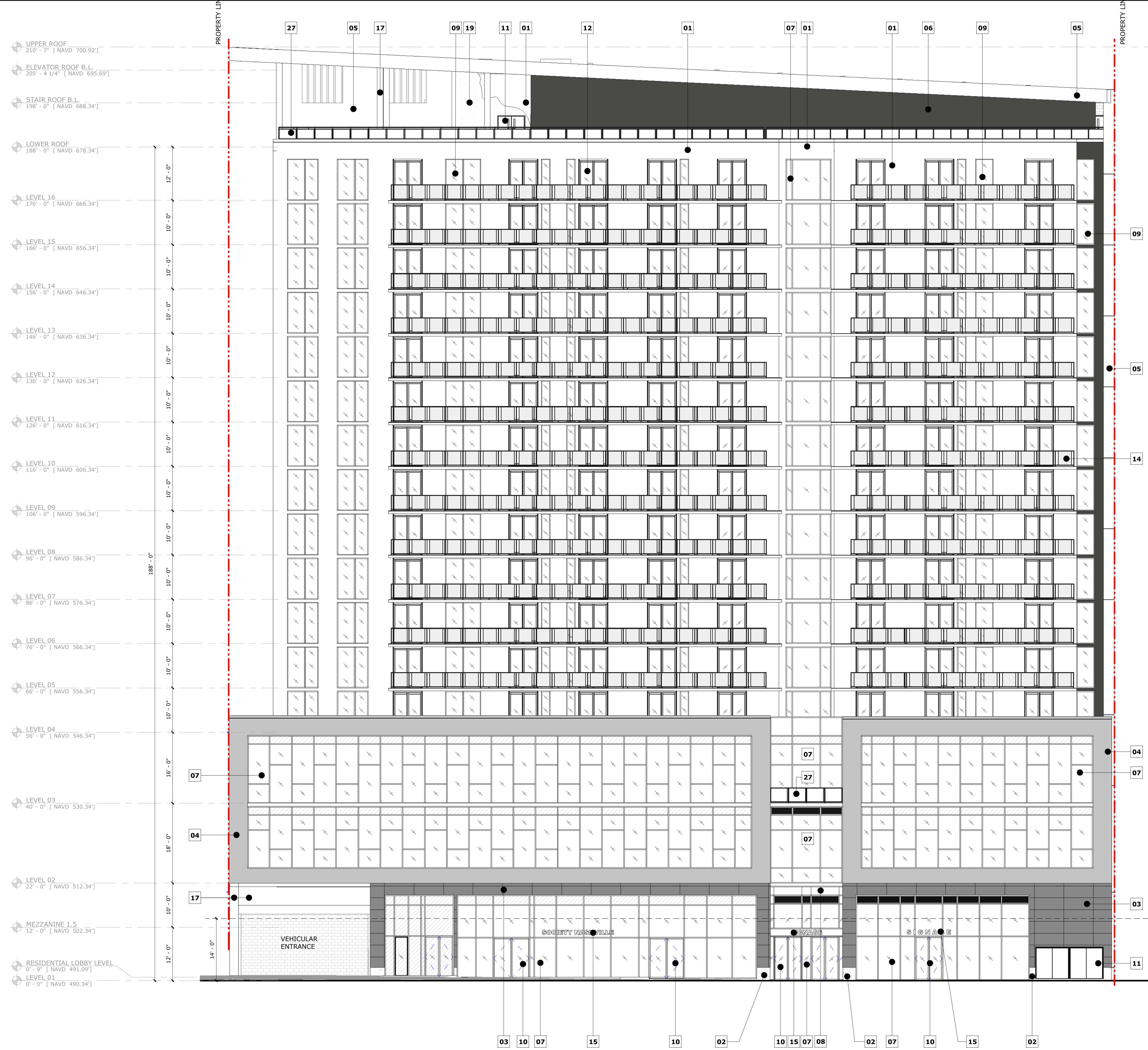
Bonus Height - Public Parking		
The number of square feet of Bonus Height shall be twice that of the number of square feet in Public Parking. The additional square footage may be used to the Bonus Height Maximum as determined on the BHP Chart		
Name	Area	Bonus Height Allowed Area Calculation (Area x 2)
SUB LEVEL 01 PUBLIC PARKING	27,846 SF	55,693 SF
LEVEL 01 PUBLIC PARKING	5,755 SF	11,511 SF
TOTAL	33,602 SF	67,204 SF



1 DTC BUILDING SECTION PUBLIC PARKING
1" = 30'-0"



4 BONUS HEIGHT LEVEL TYPICAL
1" = 40'-0"

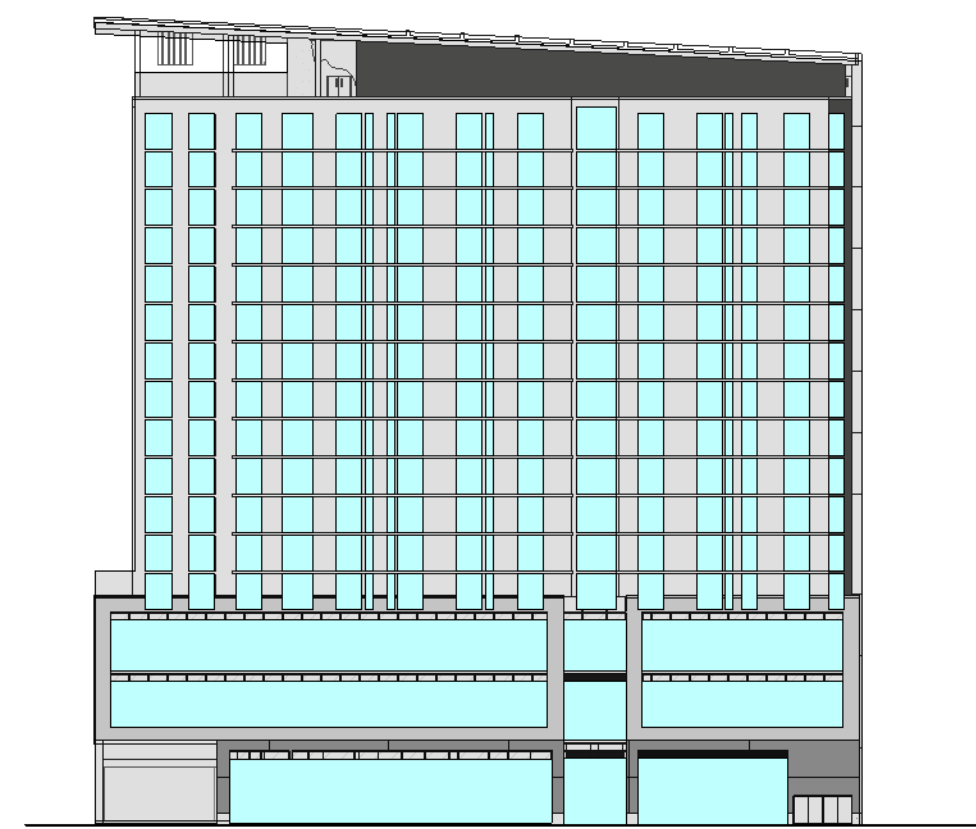


LOTS AND FRONTAGES: SPECIFIC TO STOREFRONT FRONTAGE
PRINCIPAL FRONTAGE

REQUIRED: 40% FROM GRADE TO 14'
 WALL AREA: 2,342 SF
 GLAZING AREA: 1,978 SF
 WINDOW TO WALL RATIO: 85%

MIN. UPPER FLOORS OPENINGS

REQUIRED: 25% FROM FLOOR TO FLOOR
 TYP. WALL AREA: 1,891 SF
 TYP. GLAZING AREA: 948 SF
 WINDOW TO WALL RATIO: 50%

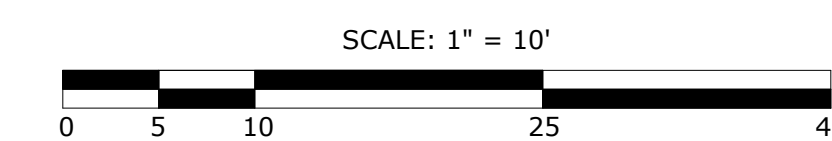


MARK	ELEVATION LEGEND DESCRIPTION
01	EIFS FINISH - LIGHT GRAY/OFF WHITE
02	36" PRECAST/GRANITE
03	ALUCOBOND METAL PANEL - DARK GRAY
04	METALLIC EIFS - LIGHT GRAY
05	METALLIC EIFS - MEDIUM GRAY
06	PAINT - DARK GRAY
07	WINDOW WALL - BLUE GLAZING AND DARK FRAME
08	WINDOW WALL - SOLID PANEL TO MATCH FRAME
09	WINDOW - BLUE GLAZING AND DARK FRAME
10	GLASS SWING DOOR - BLUE GLAZING AND DARK FRAME

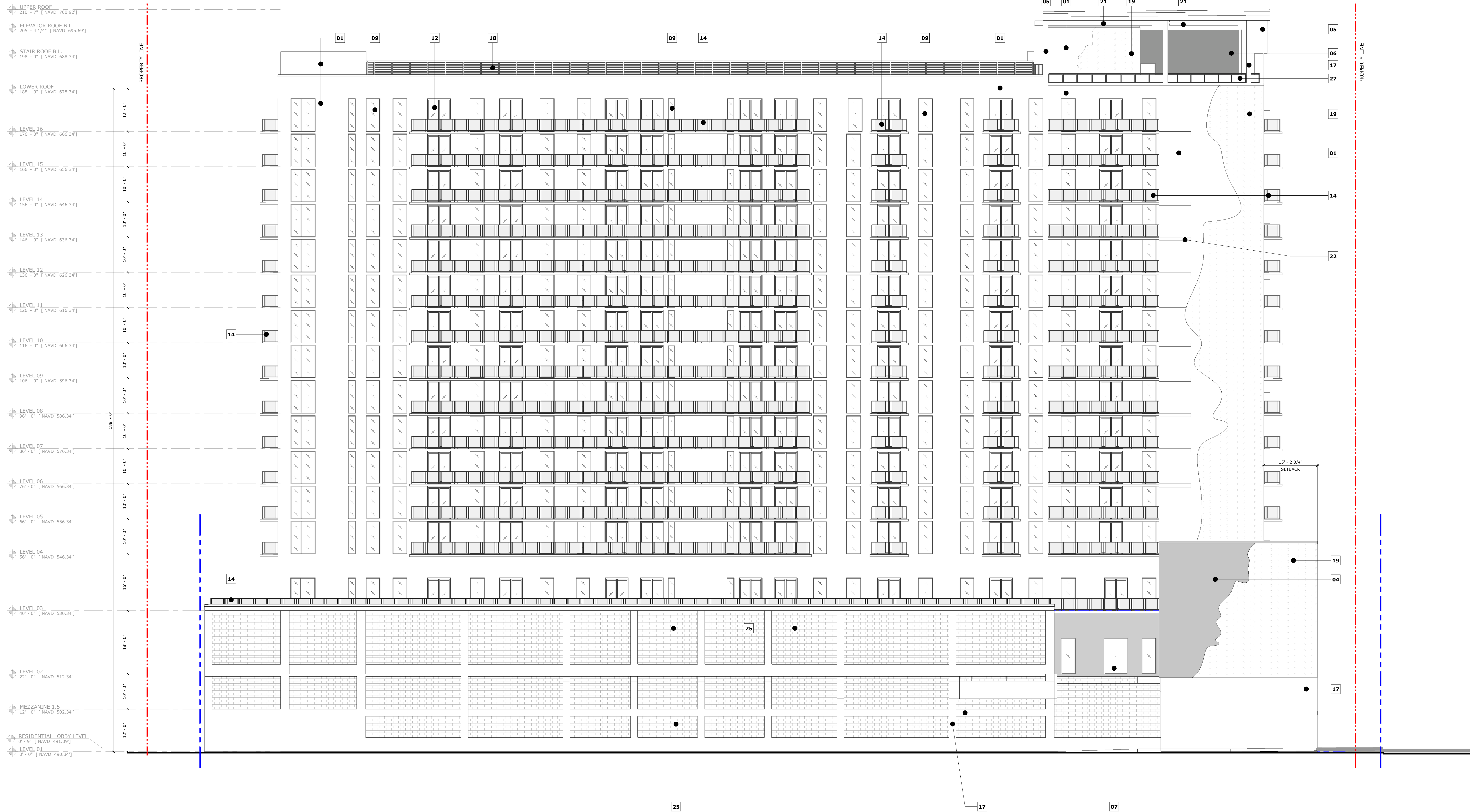
MARK	ELEVATION LEGEND DESCRIPTION
11	SWING DOOR - PAINT TO MATCH ADJACENT WALL COLOR
12	GLASS SLIDING DOORS - BLUE GLAZING AND DARK FRAME
13	ROLLING DOOR
14	WIRE MESH RAILING
15	SIGNAGE
16	OPENING IN GARAGE WALLS
17	STRUCTURAL ELEMENT
18	MECHANICAL EQUIPMENT SCREEN ENCLOSURE
19	ART MURAL
21	ROOF OPENING WITH TRELLIS

MARK	ELEVATION LEGEND DESCRIPTION
22	REVEAL
23	GARAGE SCREENING WITH CONTENT
24	PAINT TO MATCH METALLIC EIFS MEDIUM GRAY
25	PAINT TO MATCH EIFS LIGHT GRAY/OFF WHITE
26	RETAINING WALL. COORDINATE WITH CIVIL AND STRUCTURE DRAWINGS
27	GLASS RAILING
28	BALCONY ENCLOSURE FOR UNITS AT POOL DECK

NORTH ELEVATION



A16.1

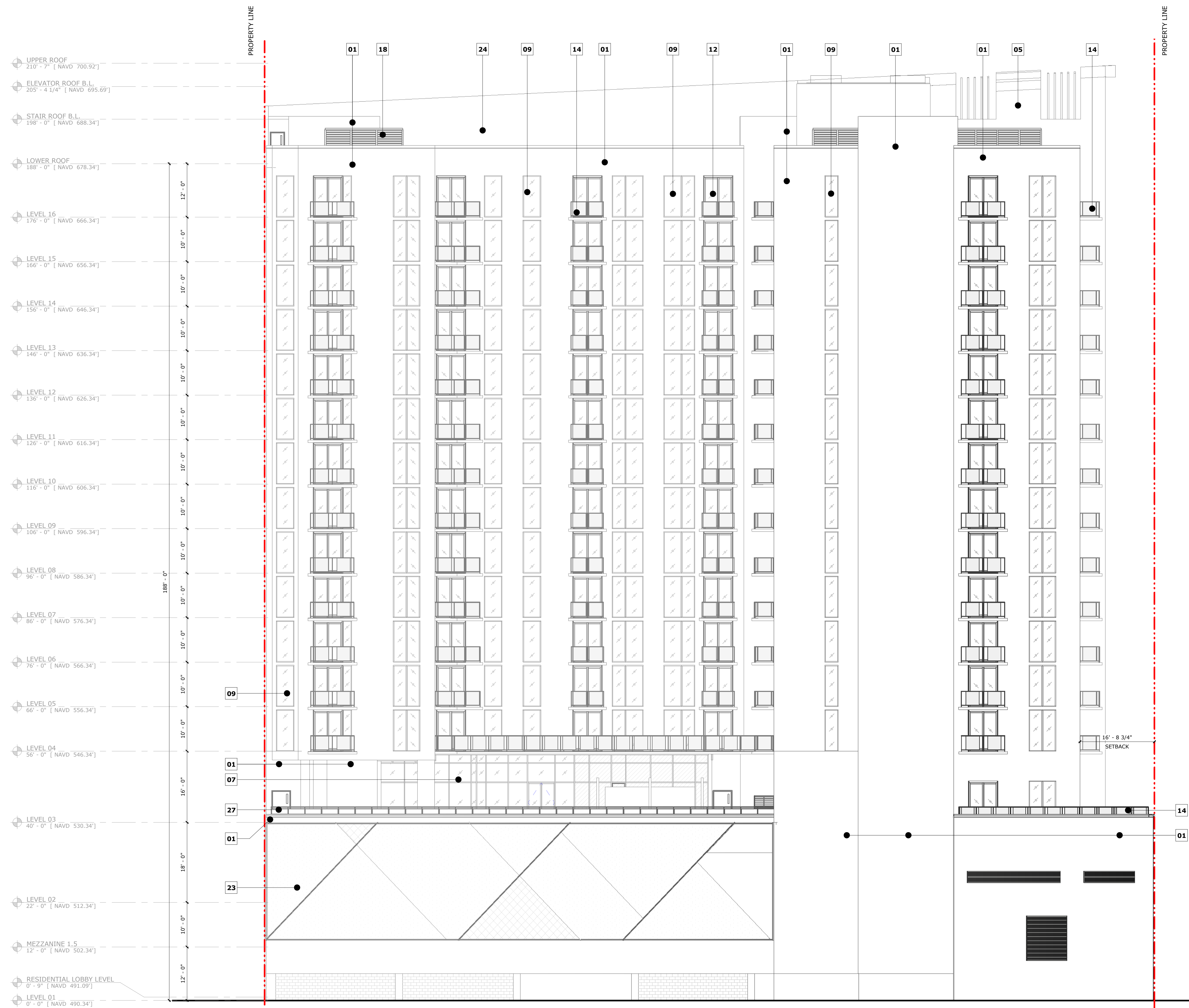


- UPPER ROOF
210'-7" [NAVD 700.92']
- ELEVATOR ROOF B.L.
205'-4 1/4" [NAVD 695.69']
- STAIR ROOF B.L.
190'-0" [NAVD 688.34']
- LOWER ROOF
188'-0" [NAVD 678.34']
- LEVEL 16
170'-0" [NAVD 666.34']
- LEVEL 15
166'-0" [NAVD 656.34']
- LEVEL 14
156'-0" [NAVD 646.34']
- LEVEL 13
146'-0" [NAVD 636.34']
- LEVEL 12
136'-0" [NAVD 626.34']
- LEVEL 11
126'-0" [NAVD 616.34']
- LEVEL 10
116'-0" [NAVD 606.34']
- LEVEL 09
106'-0" [NAVD 596.34']
- LEVEL 08
96'-0" [NAVD 586.34']
- LEVEL 07
86'-0" [NAVD 576.34']
- LEVEL 06
76'-0" [NAVD 566.34']
- LEVEL 05
66'-0" [NAVD 556.34']
- LEVEL 04
56'-0" [NAVD 546.34']
- LEVEL 03
46'-0" [NAVD 536.34']
- LEVEL 02
22'-0" [NAVD 512.34']
- MEZZANINE 1.5
12'-0" [NAVD 502.34']
- RESIDENTIAL LOBBY LEVEL
0'-0" [NAVD 491.09']
- LEVEL 01
0'-0" [NAVD 490.34']

MARK	ELEVATION LEGEND DESCRIPTION
01	EIFS FINISH - LIGHT GRAY/OFF WHITE
02	36" PRECAST/GRANITE
03	ALUCOBOND METAL PANEL - DARK GRAY
04	METALLIC EIFS - LIGHT GRAY
05	METALLIC EIFS - MEDIUM GRAY
06	PAINT - DARK GRAY
07	WINDOW WALL - BLUE GLAZING AND DARK FRAME
08	WINDOW WALL - SOLID PANEL TO MATCH FRAME
09	WINDOW - BLUE GLAZING AND DARK FRAME
10	GLASS SWING DOOR - BLUE GLAZING AND DARK FRAME

MARK	ELEVATION LEGEND DESCRIPTION
11	SWING DOOR - PAINT TO MATCH ADJACENT WALL COLOR
12	GLASS SLIDING DOORS - BLUE GLAZING AND DARK FRAME
13	ROLLING DOOR
14	WIRE MESH RAILING
15	SIGNAGE
16	OPENING IN GARAGE WALLS
17	STRUCTURAL ELEMENT
18	MECHANICAL EQUIPMENT SCREEN ENCLOSURE
19	ART MURAL
21	ROOF OPENING WITH TRELLIS

MARK	ELEVATION LEGEND DESCRIPTION
22	REVEAL
23	GARAGE SCREENING WITH CONTENT
24	PAINT TO MATCH METALLIC EIFS MEDIUM GRAY
25	PAINT TO MATCH EIFS LIGHT GRAY/OFF WHITE
26	RETAINING WALL. COORDINATE WITH CIVIL AND STRUCTURE DRAWINGS
27	GLASS RAILING
28	BALCONY ENCLOSURE FOR UNITS AT POOL DECK



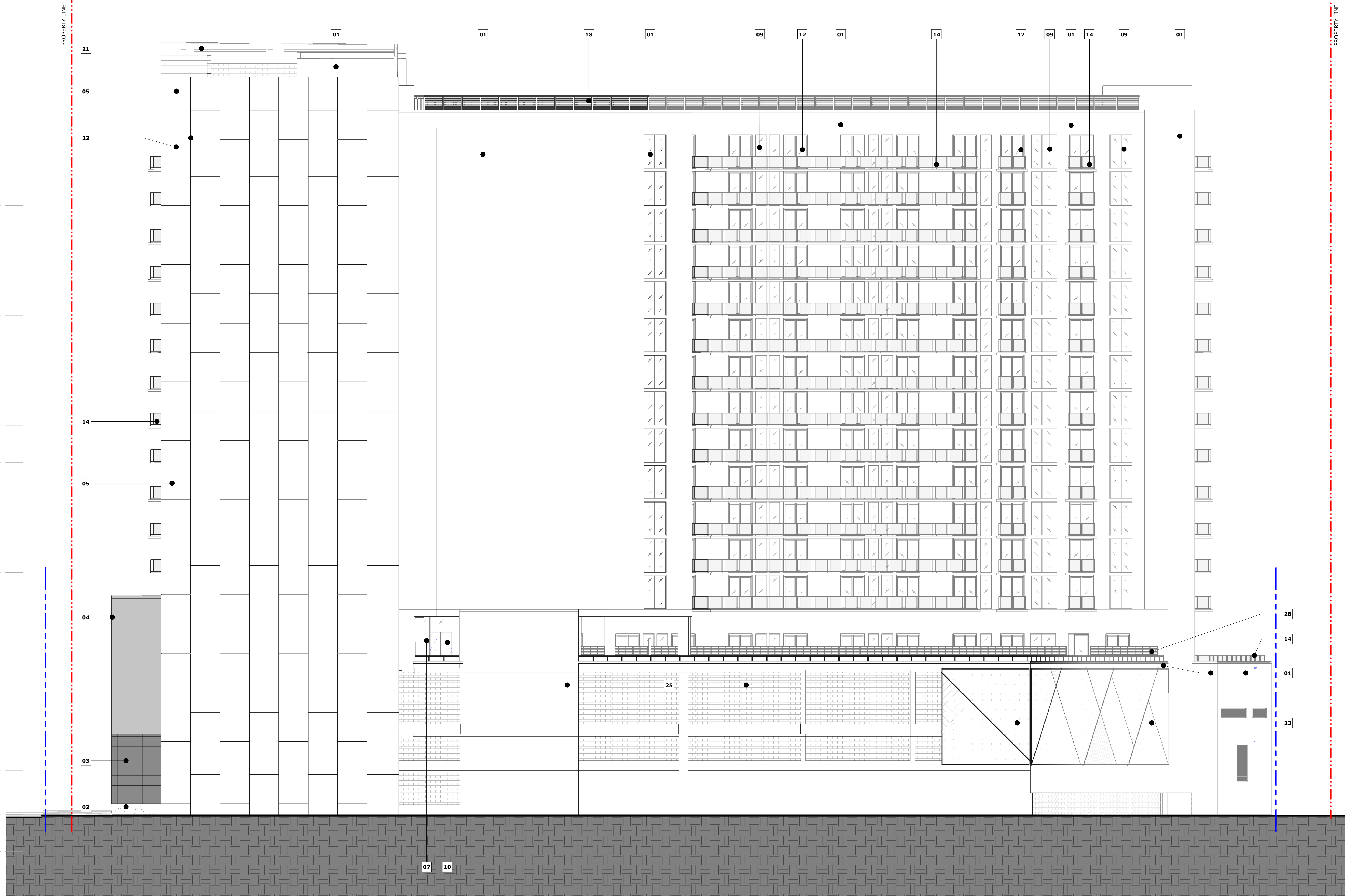
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27	GLASS RAILING
28	BALCONY ENCLOSURE FOR UNITS AT POOL DECK

SOUTH ELEVATION

- AVIATION WARNING LIGHT
216'-7" [NAVD 705.92'
- UPPER ROOF
210'-7" [NAVD 700.92'
- ELEVATOR ROOF B.L.
205'-4 1/4" [NAVD 695.69'
- STAIR ROOF B.L.
198'-0" [NAVD 688.34'
- LOWER ROOF
188'-0" [NAVD 678.34'
- LEVEL 16
176'-0" [NAVD 666.34'
- LEVEL 15
166'-0" [NAVD 656.34'
- LEVEL 14
156'-0" [NAVD 646.34'
- LEVEL 13
146'-0" [NAVD 636.34'
- LEVEL 12
136'-0" [NAVD 626.34'
- LEVEL 11
126'-0" [NAVD 616.34'
- LEVEL 10
116'-0" [NAVD 606.34'
- LEVEL 09
106'-0" [NAVD 596.34'
- LEVEL 08
96'-0" [NAVD 586.34'
- LEVEL 07
86'-0" [NAVD 576.34'
- LEVEL 06
76'-0" [NAVD 566.34'
- LEVEL 05
66'-0" [NAVD 556.34'
- LEVEL 04
56'-0" [NAVD 546.34'
- LEVEL 03
46'-0" [NAVD 536.34'
- LEVEL 02
22'-0" [NAVD 512.34'
- MEZZANINE 1.5
12'-0" [NAVD 502.34'
- RESIDENTIAL LOBBY LEVEL
0'-0" [NAVD 491.09'
- LEVEL 01
0'-0" [NAVD 490.34'
- SUB LEVEL 01
-10'-0" [NAVD 480.34'
- VAULT LEVEL
-15'-6 3/2" [NAVD 474.80'
- SUB LEVEL 02
-20'-0" [NAVD 470.34'

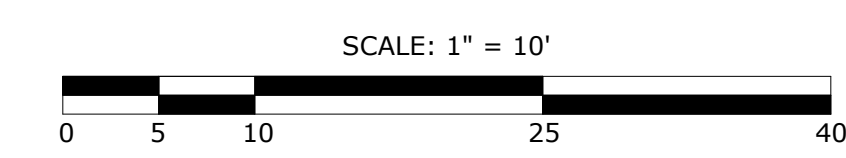


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WEST ELEVATION



A16.4