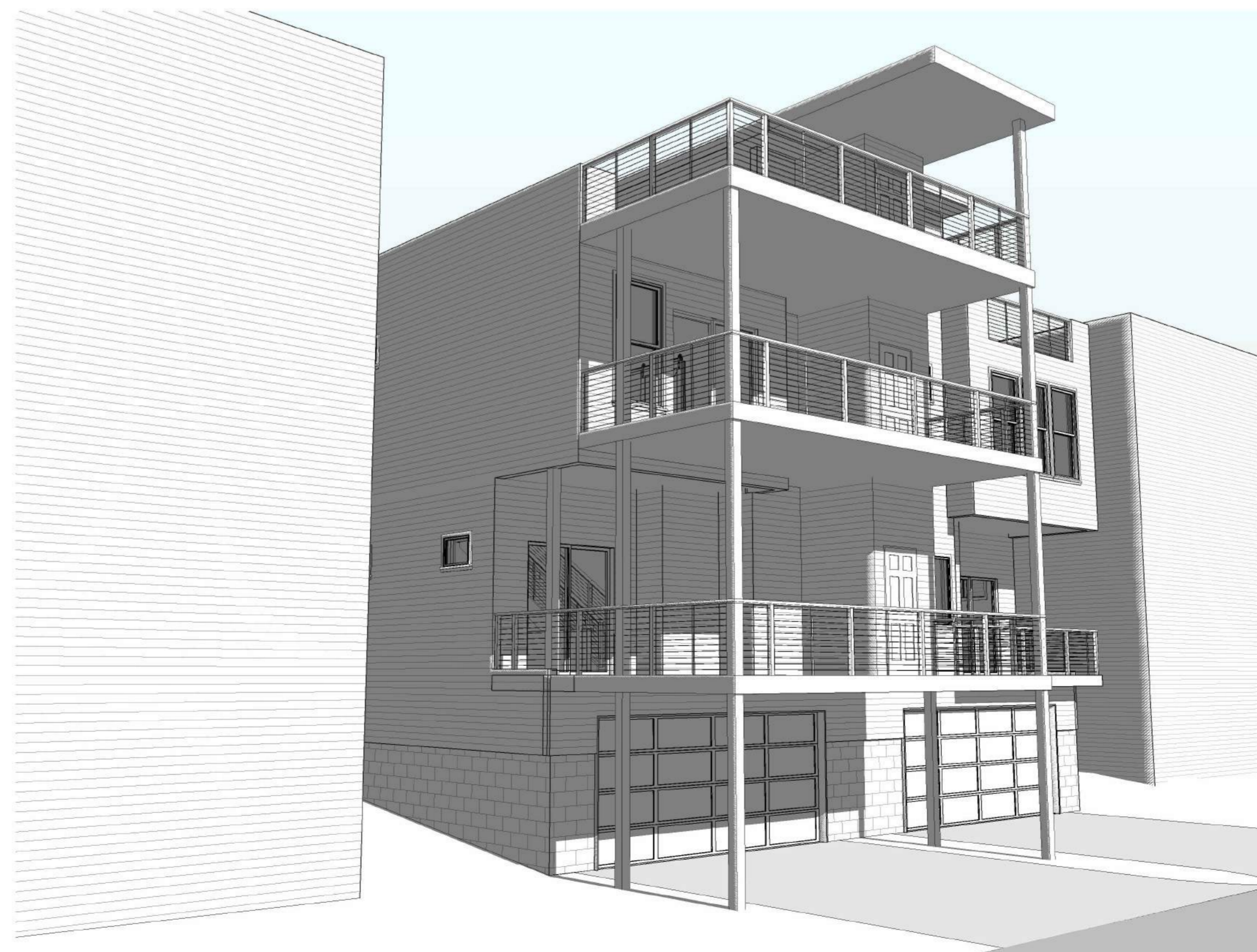
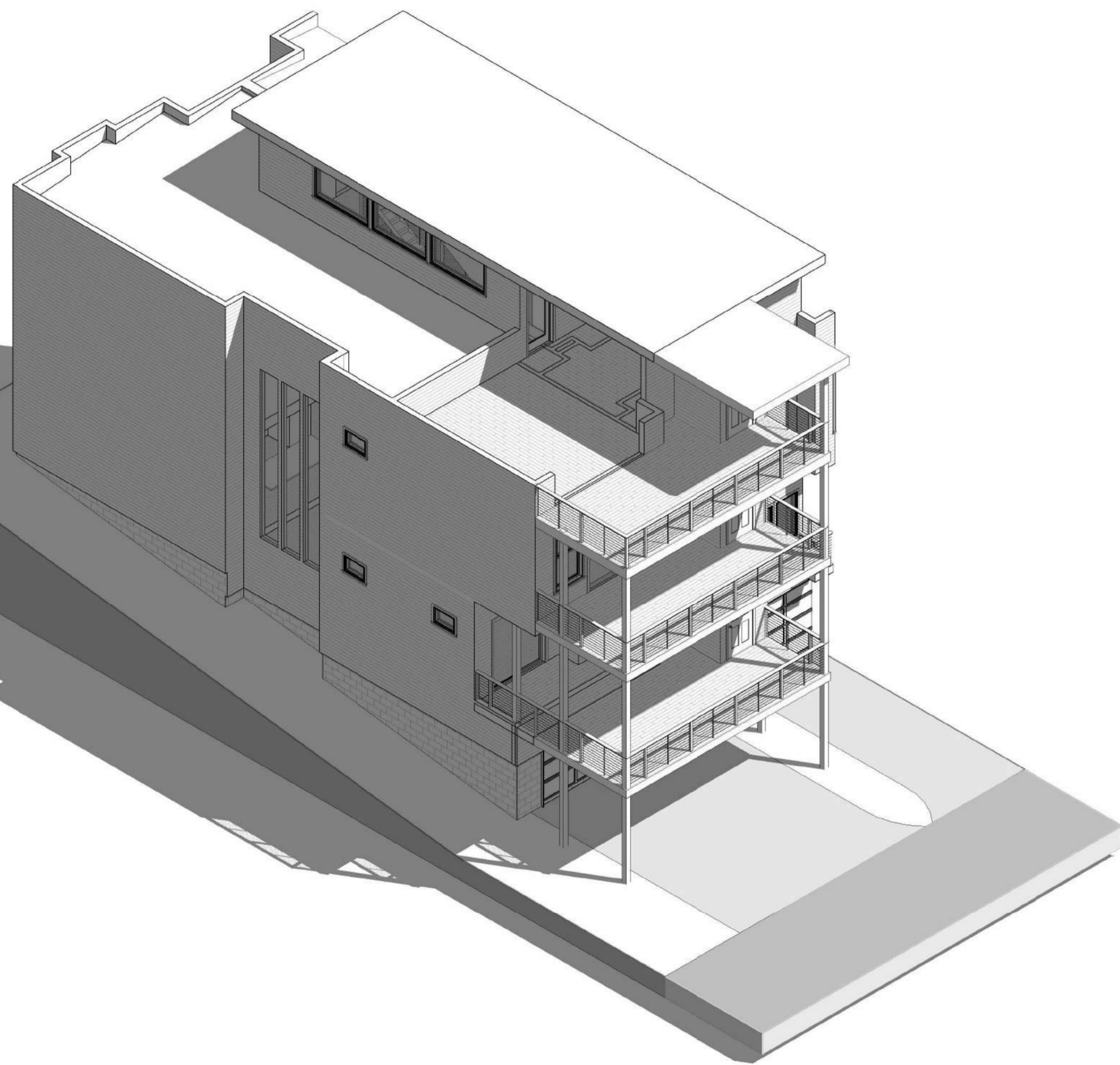


not for construction

Stellato Residence Addition

914 Southside Pl
Nashville, TN 37203

Project Status: permit set
Date: 08.09.2023



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general	
A000	coversheet
A001	general information
A002	partition types
architectural	
A100	site plan
A110	foundation & basement plan
A111	1st & 2nd floor plan
A112	3rd floor plan & roof plan
A201	exterior elevations

area schedule (scope areas)

[existing]	
building footprint, approx.	2395 SF
[new work]	
deck addition	238 SF
Total Gross Square Footage	2631 SF

project team

owner
 Dave Stellato
 914 Southside Dr
 Nashville, TN 37203
 phone: 904.580.2162
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designer
 InHaus Architecture
 contact: Brady Whicker
 1516 Ordway Pl, #201
 Nashville, TN 37206
 phone: 336.816.8224
 email: brady@inhausarchitecture.com

general contractor
 Lotus Building Group
 contact: Keegan Fioravanti
 1280 Murfreesboro Pk
 Nashville, TN 37217
 phone: 615.933.8503
 email: keegan@lotusbuildingtn.com



site map

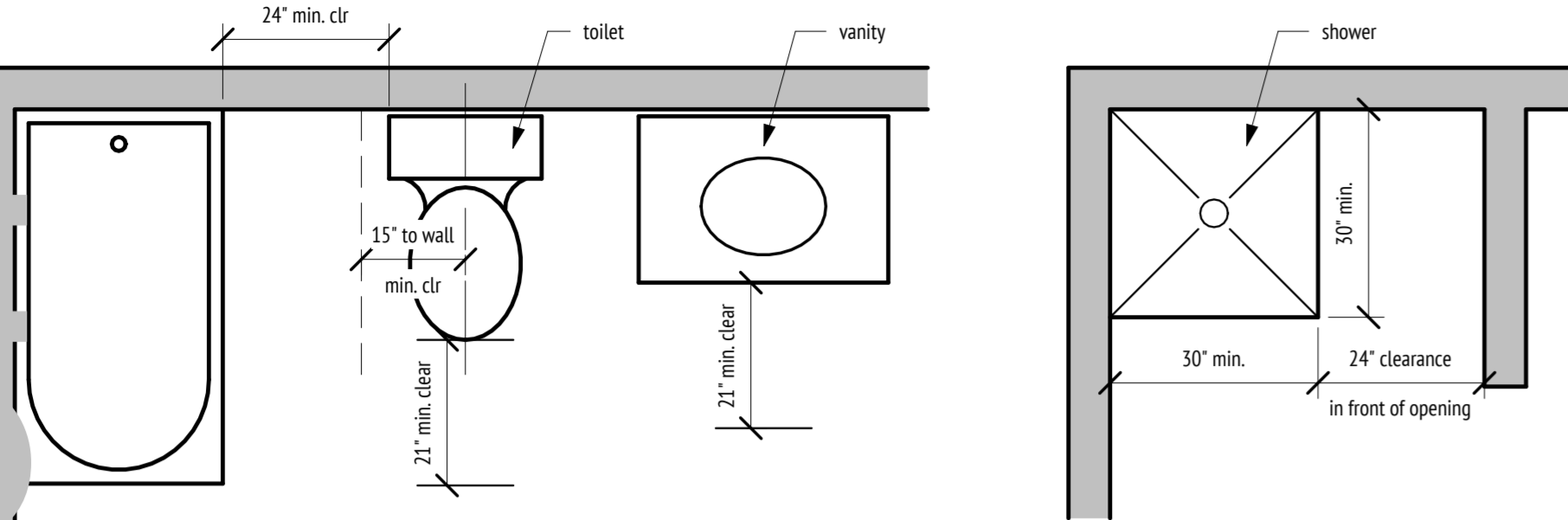
permit set

08.09.2023

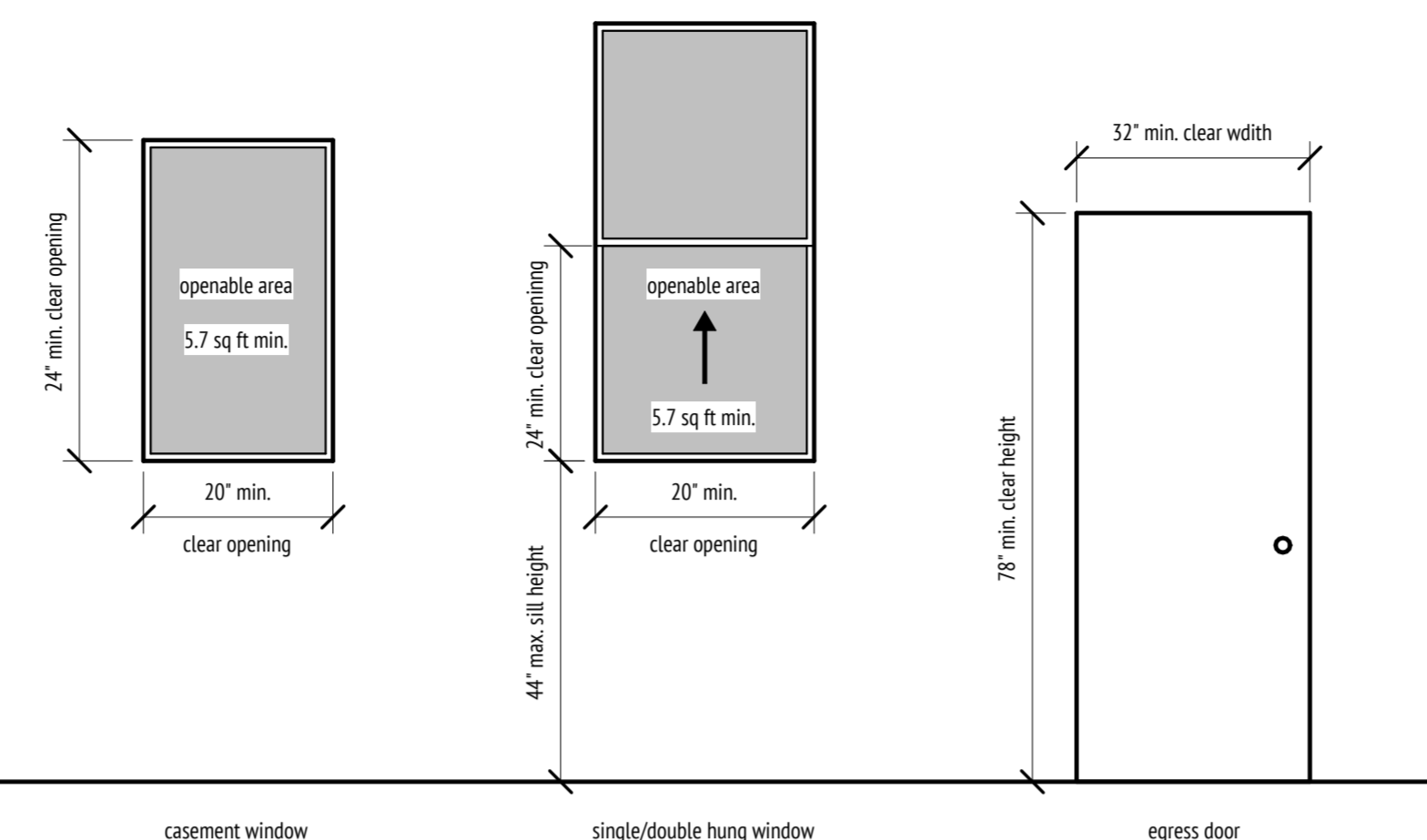
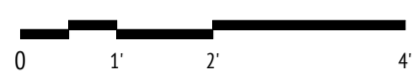
coversheet

A000

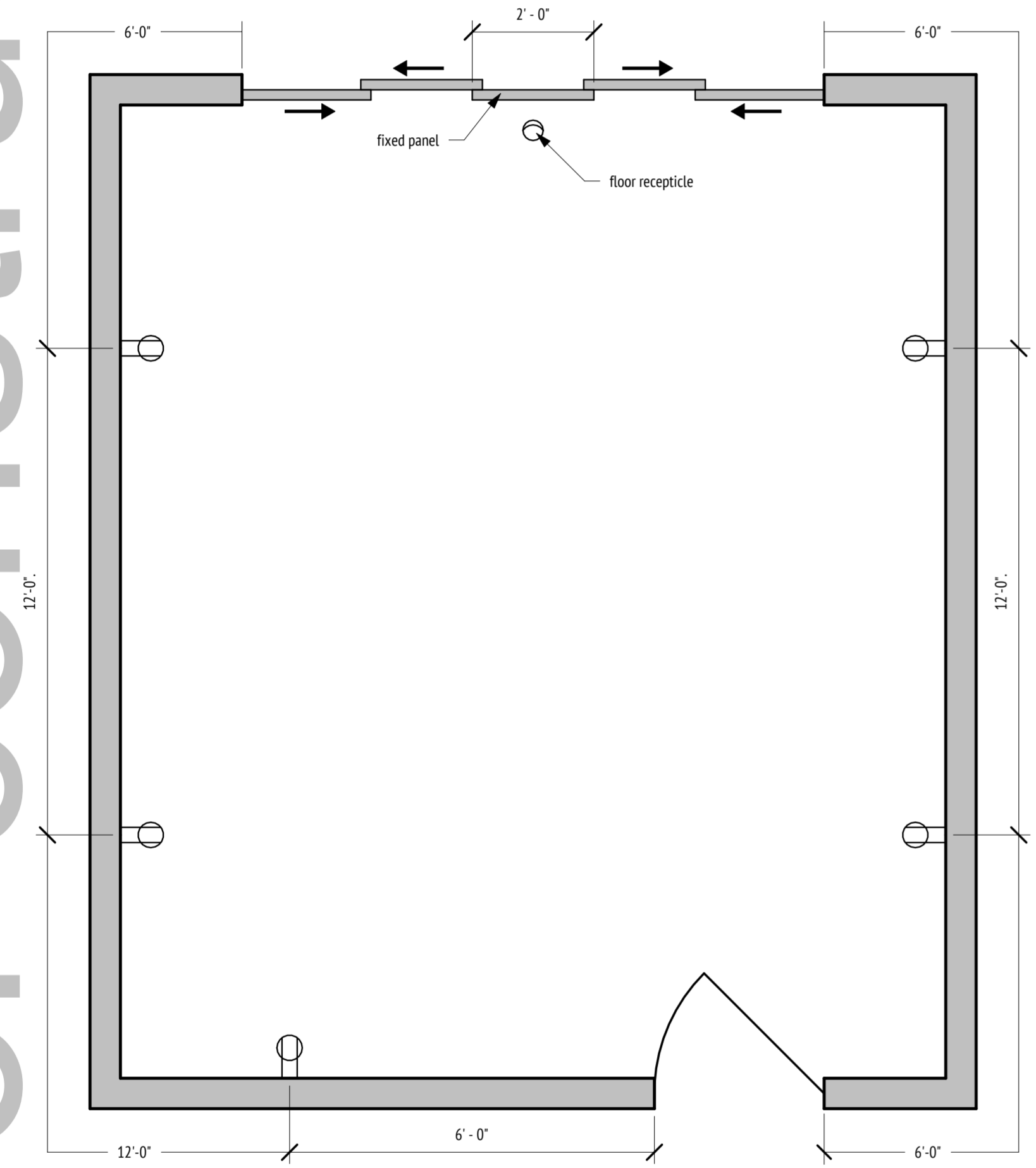
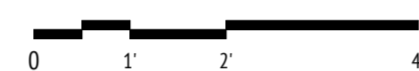
not for construction



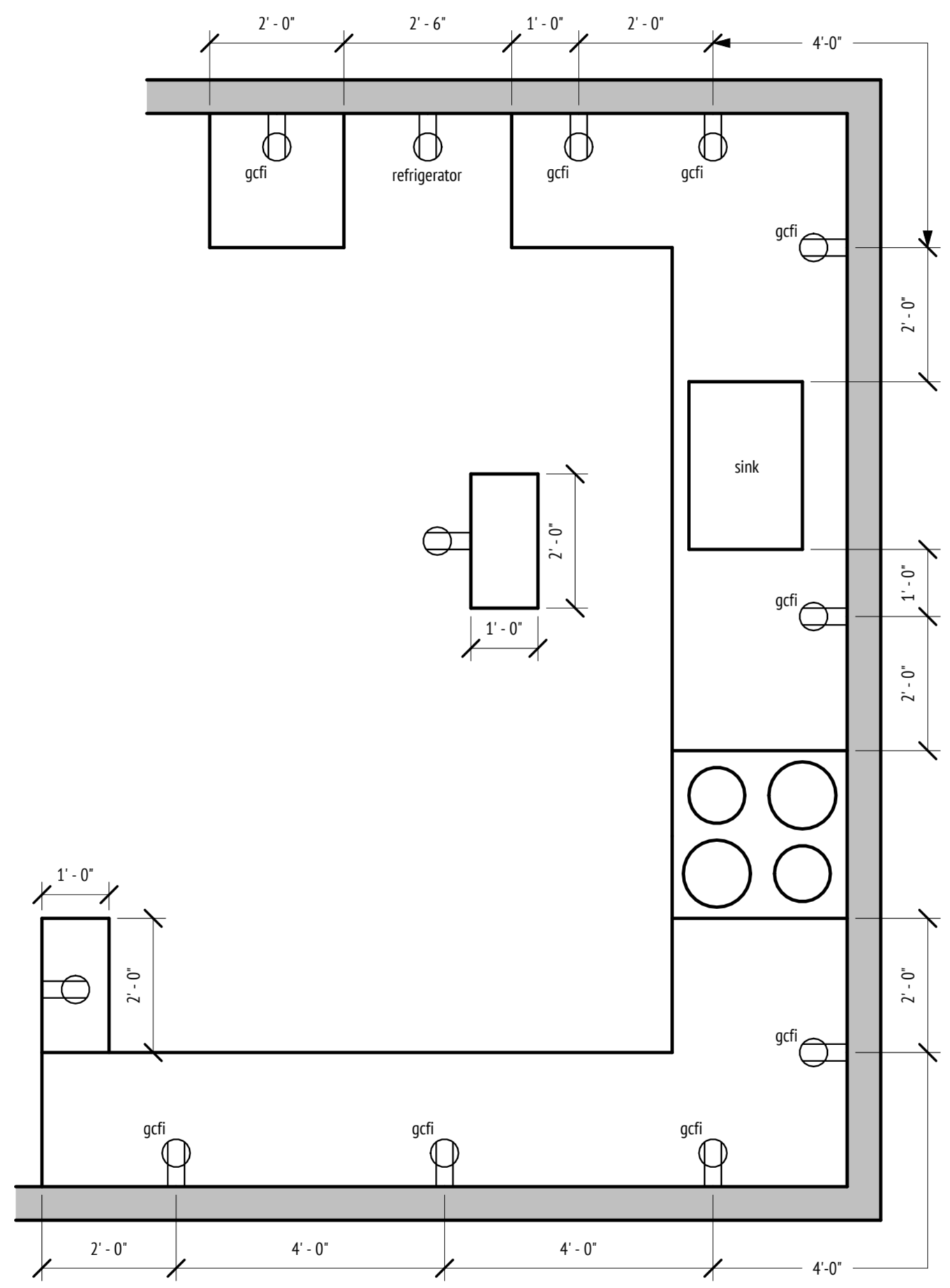
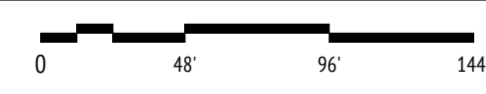
1 bathroom clearances
1/2" = 1'-0"



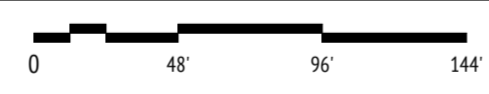
2 egress components
1/2" = 1'-0"



3 electrical receptacles - general
1/2" = 1'-0"

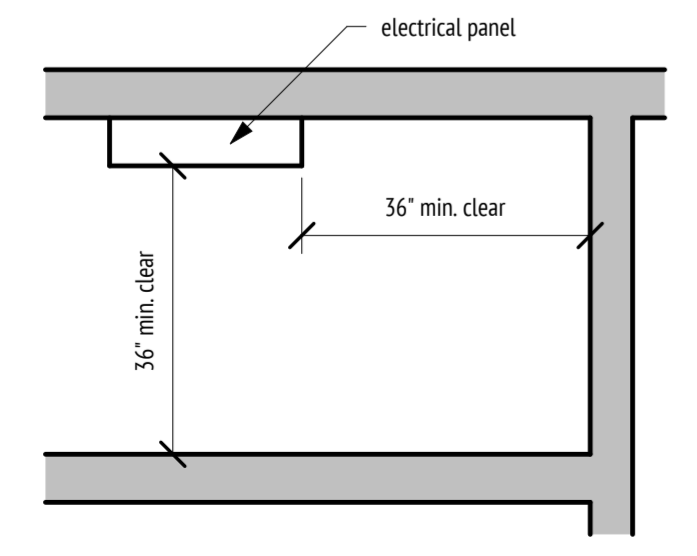


4 electrical receptacles @ kitchens
1/2" = 1'-0"

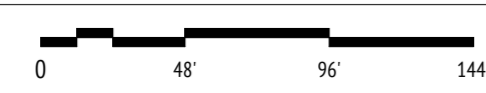


abbreviations

a.f. above finish floor	ada americans with disabilities act	adj adjustable	alt alternate	alum aluminum	bod basis of design	cg corner guard	cj control joint	clr clear	cmu concrete masonry unit	conc concrete	dbl double	dia diameter	dim dimension	ds downspout	dwg drawing	elec electrical	ewc electric water cooler	exp expansion	ext exterior	fdc fire department connection	fe fire extinguisher	fec fire extinguisher cabinet	ffe finish floor elevation	fob face of block	fcc face of concrete	fff face of finish	fos face of stud	frp fiberglass reinforced plastic	frt fire retardant treated	galv galvanized	gc general contractor	gwb gypsum wall board	yyp gypsum	hm hollow metal	horiz horizontal	insul insulated	int interior	lav lavatory	m.o. masonry opening	max maximum	mech mechanical	min minimum	mtl metal	n/a not applicable	nfb non freeze hose bib	nic not in contract	o.c. on center	ofci owner furnish, contractor install	ofci owner furnish, owner install	oh opposite hand	opp opposite	gt pressure treated	r.o. rough opening	rein reinforced	rl roof leader pipe	scw solid core wood	sim similar	sog slab on grade	struct structural	tfs to face of stud	ti tenant improvement	tos top of steel	typ. typical	u.n.o. unless noted otherwise	vert vertical	vfc vendor furnish, contractor install	v.i.f. verify in field
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5 electrical panel clearances
1/2" = 1'-0"



energy code analysis

This project has been designed to comply with:
-2018 International Energy Conservation Code (IECC)
location: nashville, tennessee
county: davidson
climate zone: 4A
u-factors:
fenestration: 0.32
ceiling: 0.55
frame wall: 0.060
floor: 0.047

insulation and fenestration requirements by component
glazed fenestration shgc: 0.40
ceiling r-value: 49
wood frame wall r-value: 20 or 13+S-ci
floor r-value: 19
slab r-value & depth: 10 @ 2 ft

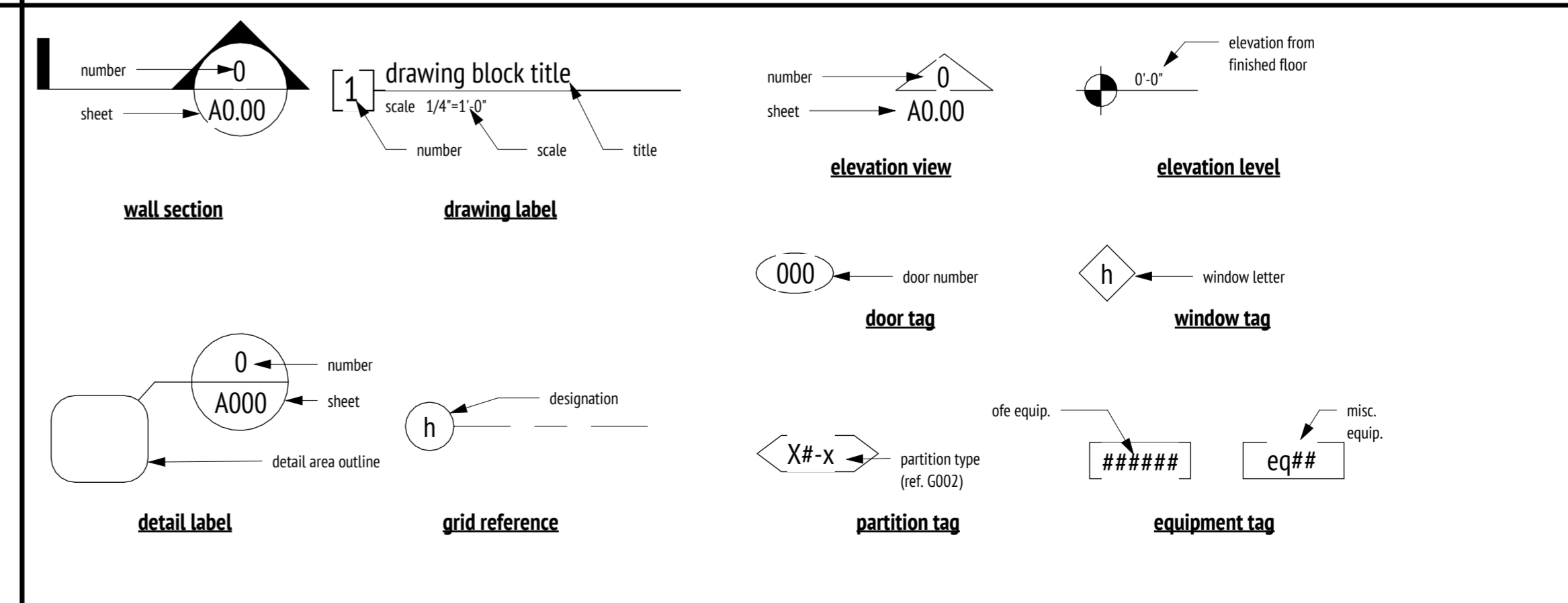
insulation installation requirements
• air-permeable insulation shall not be used as a sealing material
• the insulation in any dropped ceiling/soffit shall be aligned with the air barrier
• cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, r-value, of not less than R-5 per inch
• exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier
• rim joists shall be insulated
• floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing; shall extend from the bottom to the top of all perimeter floor framing members.
• crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls
• batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space
• recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated
• in exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing, or insulation, that on installation readily conforms to available space, shall extend behind piping and wiring
• exterior walls adjacent to showers and tub shall be insulated

air barrier installation requirements
• a continuous air barrier shall be installed in the building envelope
• the exterior thermal envelope contains a continuous air barrier
• break or joints in the air barrier shall be sealed
• the air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed
• access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed
• the junction of the foundation of the foundation and sill plate shall be sealed
• the junction of the top plate and the top of exterior walls shall be sealed
• knee walls shall be sealed
• the space between framing and skylights, and the jambs, of windows and doors, shall be sealed
• rim joist shall include the air barrier
• the air barrier shall be installed at any exposed edge of insulation
• exposed earth in unvented crawl spaces shall be covered with Class I vapor retarder with overlapping joints taped
• duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed
• air sealing shall be provided between garage and conditioned spaces
• recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface
• the air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub
• the air barrier shall be installed behind electrical and communications boxes, alternatively, air-sealed boxes shall be installed
• hvac supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot
• where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.

general notes

- InHaus Architecture is an architectural design firm and does not imply itself to be a licensed engineer or architect, and therefore assumes no liability for the structural integrity of these plans. It is the sole responsibility of the contractor and/or owner to verify the structural integrity of these plans, and to employ the services of a licensed engineer if required.
- these drawings are the property of the designer and shall not be reproduced or copied in whole or in part without written consent. these drawings are to be used for the project and site specifically identified herein and shall not be used on any other project. these drawings are a composite set and shall not be separated for distribution. the general contractor (gc) shall review all drawings and distribute the entire set to each subcontractor.
- the gc shall visit the site to inspect existing conditions (both concealed and exposed) and verify work to be performed before submitting cost quotations for work.
- notify the designer promptly of any errors, omissions, inconsistencies, discrepancies, and conflicts within the contract documents and with field conditions. do not proceed with work until discrepancies are resolved to the satisfaction of all parties.
- due to mechanical reproduction errors, drawing scales may not be accurate. do not scale any drawings. if dimensions are in questions, the gc shall be responsible for obtaining clarification from the designer prior to continuing with construction.
- all work performed shall be in strict compliance with governing federal, state, and local building code requirements; shall be executed in accordance with accepted industry standards; and shall conform to specific regulations as mandated by the owner, the designer and the authorities having jurisdiction. it is the gc's responsibility to ensure the procurement of required and necessary permits and approvals prior to the commencement of any work, and certificate of occupancy upon completion of project. the gc is responsible for any fees associated with procuring such permits and certificates and shall furnish copies of permits, inspections, and certificates to the owner.
- the gc is responsible for the removal of trash and debris from the job site on a daily basis. final cleanup within scope of work: remove dust, debris, oils, stains, fingerprints and labels from all exposed services, finished surfaces and clean all windows and blinds. wax and/or vacuum floors per manufacturer's recommendations. thoroughly clean all light lenses and air diffusers, and change all dirty filters. all waste material, rubbish, tools, construction equipment, machinery, and other surplus materials shall be removed from the site prior to turn-over date.
- the designer has not conducted any investigation as to the presence of asbestos or other hazardous substances on the project site and assumes no responsibility with respect to same. no asbestos products or products containing urea formaldehyde will be accepted.
- the means and methods of construction, including temporary structures and facilities, are the responsibility of the gc the designer does not assume any responsibility for the gc's means and methods.
- job site safety and security are the sole responsibility of the gc. the gc shall consult with local fire authorities to ascertain requirements for fire suppression and safety during construction. the gc is solely responsible for meeting osha regulations during construction.
- the gc is solely responsible for storage and protection of building materials, and installed construction, from inclement weather, theft, and other hazards. the gc shall follow all manufacturer's recommendations for storage of materials. partially completed walls shall be covered to protect from water intrusion, damage, including but not limited to mold, resulting from water intrusion during construction shall be repaired at the gc's expense.
- the gc shall obtain a hot work permit prior to beginning any welding, cutting, brazing, grinding or other work that generates sparks capable of causing combustion. see nfpa 51b and appendix 'a'. also a fire watch or a guard watch will be required during the process of any hot work generating sparks capable of causing combustion as required by nfpa 601.
- the project shall be complete and operational, including all finishes, mechanical, electrical, plumbing and fire protection systems prior to final ahj inspections and final owner/designer's walkthrough.
- all dimensions and conditions tying into or governed by existing construction are approximate and are not guaranteed to be correct. all such dimensions and conditions shall be field verified by the gc before proceeding with any work. any discrepancies, errors, or omissions shall be reported to the designer prior to commencing work.
- floor tolerance: field verifications are to be made of conditions to verify construction tolerances. in laying out and detailing the work to be completed, consideration is to be given to variations in the floor levelness resulting from construction quality plus live and dead loads imposed on the structure. alignment of door heads and other horizontal elements are to be maintained at a constant level and shall not follow variations in floor plane.
- the gc is responsible for the coordination of all related trades and vendors necessary to the completion of the job in a timely basis.
- field changes requested by the tenant/owner may affect pricing and/or completion date. gc is to notify owner of change - written approval is to be obtained before implementation.
- for all products installed, refer to manufacturer specifications for installation.
- building corridors and lobbies shall be kept clean and clear of materials and equipment. mope sinks may be used as a water source, but must be kept clean. specific toilet facilities identified by the facility may be used, but must be kept clean. gc is responsible for cleaning and repair of damage caused by construction personnel.
- in areas in which work is done, patch and repair existing fireproofing to maintain fire resistance rating, as required.
- all unused roof penetrations are to be closed using ul-approved firestop system.
- stencil wall rating on wall above ceiling. letters shall be min. 3" high with 1/2" stroke and labeled at 8'-0" o.c. as fire, smoke and number of hours. walls not rated shall be labeled "no wall rating required if wall extends to deck and is not rated.

annotation symbols



brady@inhausarchitecture.com 336.616.8224

Project #2313

Stellato Residence Addition
914 Southside Pl
Nashville, TN 37203

STATUS
permit set

DATES OF ISSUANCE
08.09.2023

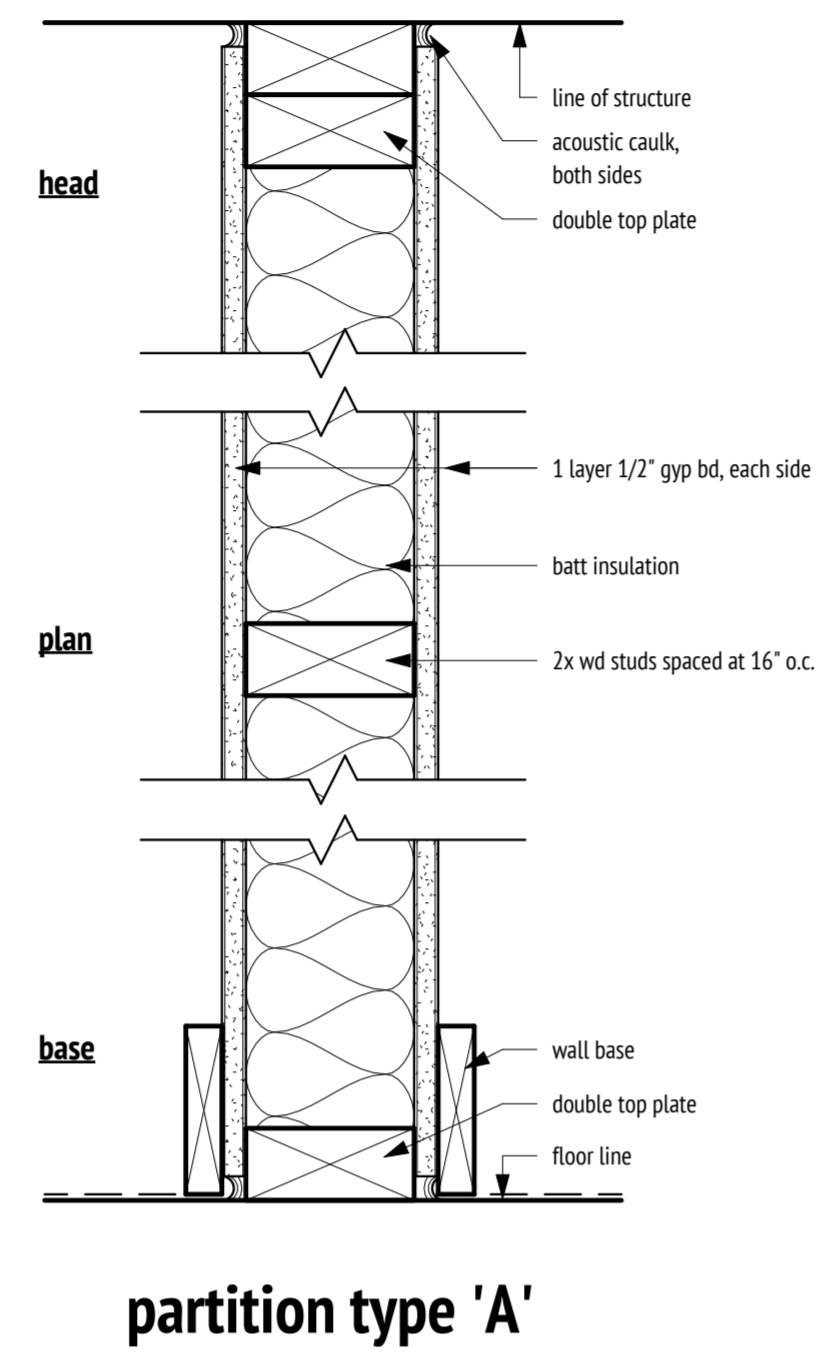
TITLE
general information

SHEET
A001

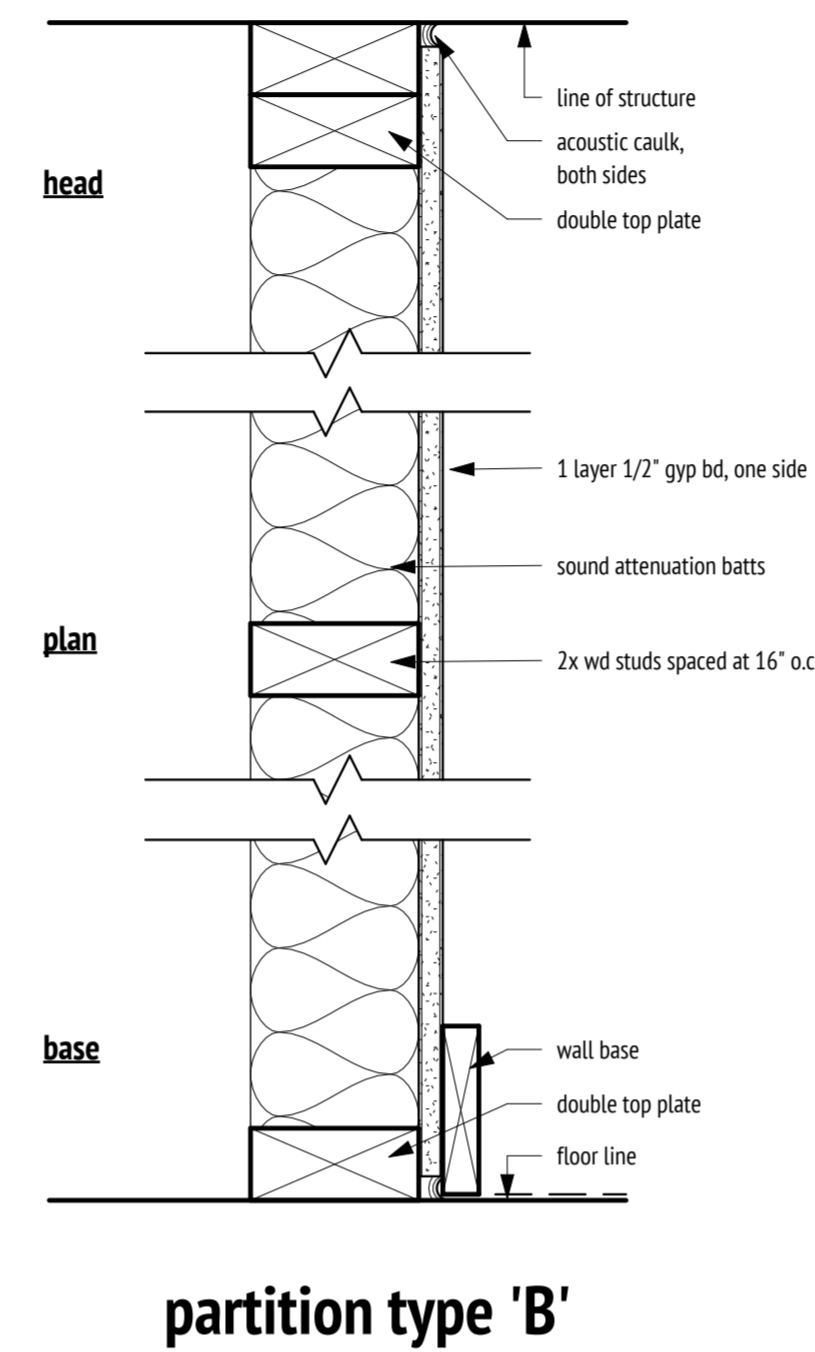
not for construction

partition type general notes

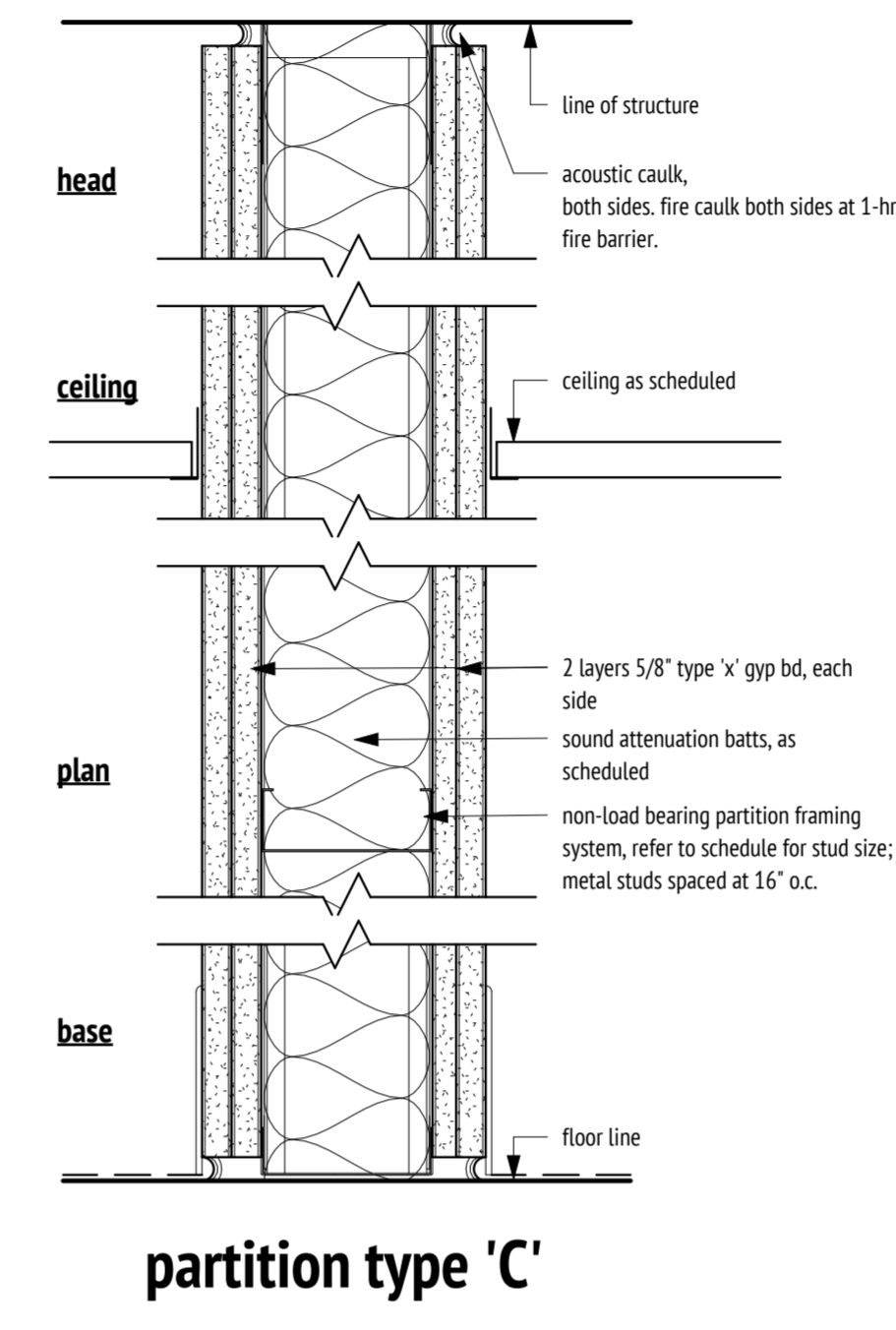
1. provide moisture resistant gypsum board on janitor and toilet room partitions and ceilings, on partitions adjacent to Casework with sinks, and on partitions adjacent to hand wash stations/avatories unless noted otherwise.
2. at partition types indicated with "c": provide cementitious backer board and prepare for a tile application on one side of partition. refer to finish schedule/drawings for proposed scope of work.
3. at partition types "t": provide cementitious backer board and prepare for a tile application on both sides of partition. refer to finish schedule/drawings for proposed scope of work.
4. typical interior partitions are unrated and shall extend through ceiling to deck/structure above unless noted otherwise.
5. provide in-wall backing in partition at all locations where work surfaces, shelving, brackets, displays and/or equipment will be mounted or attached to face of wall.
6. on walls greater than 10 feet in height and at doors and wall openings, provide double studs, blocking and diagonal bracing as required.



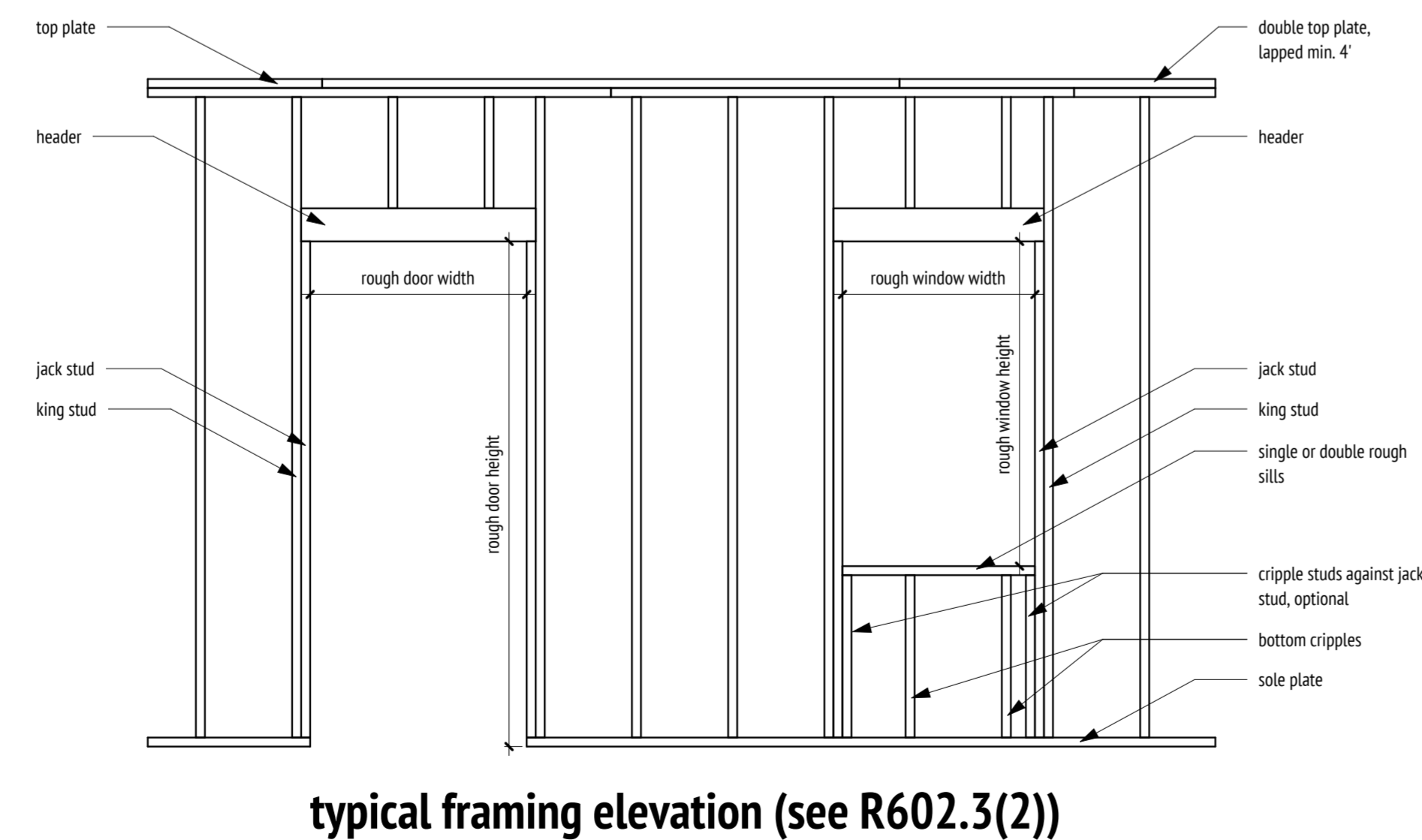
A partition type 'a'
3" = 1'-0"
0 3' 6' 9'



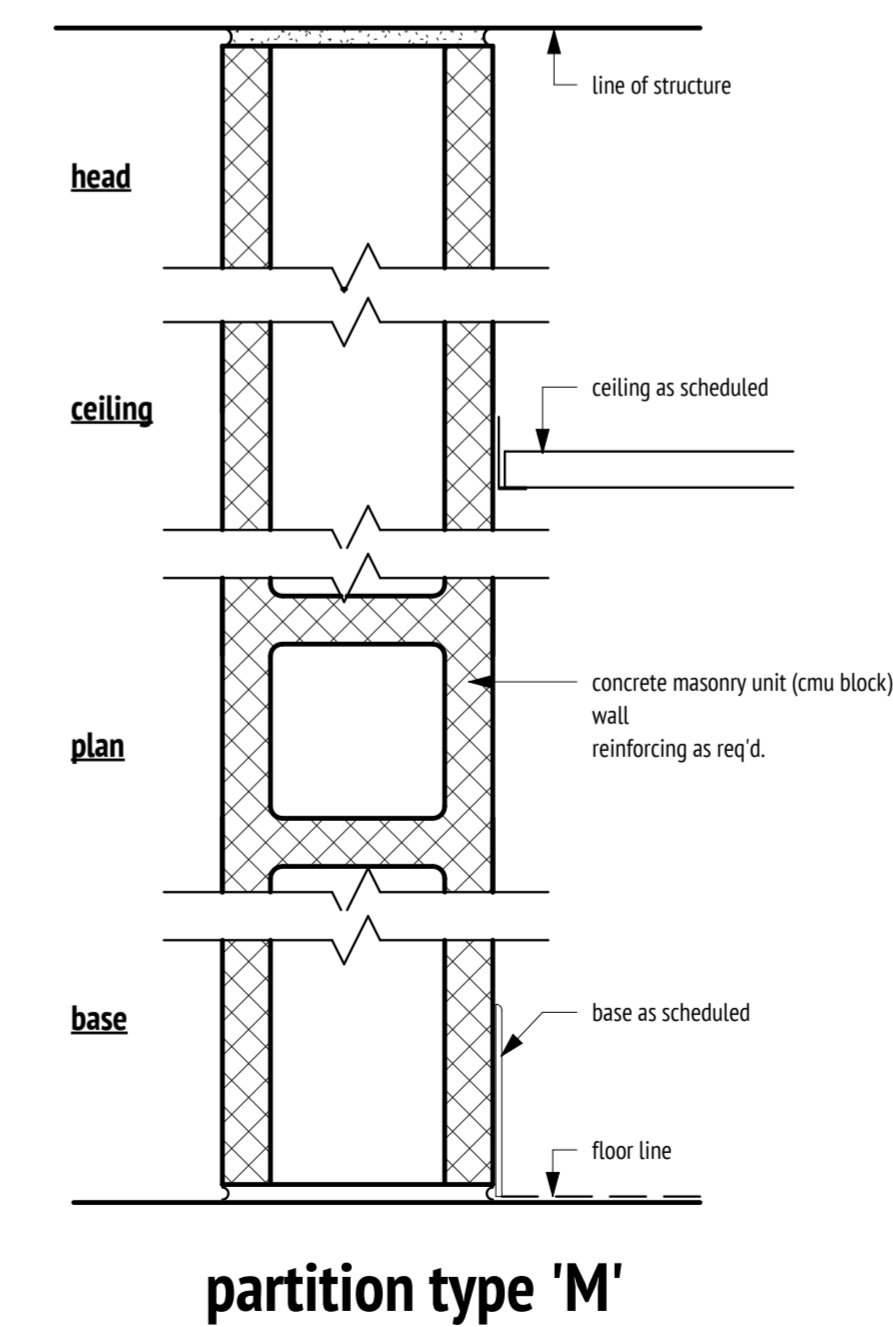
B partition type 'b'
3" = 1'-0"
0 48' 96' 144'



C partition type 'c'
3" = 1'-0"
0 48' 96' 144'



1 typical framing elevation
1/2" = 1'-0"
0 48' 96' 144'



M partition type 'm'
3" = 1'-0"
0 48' 96' 144'

Stellato Residence Addition
914 Southside Pl
Nashville, TN 37203

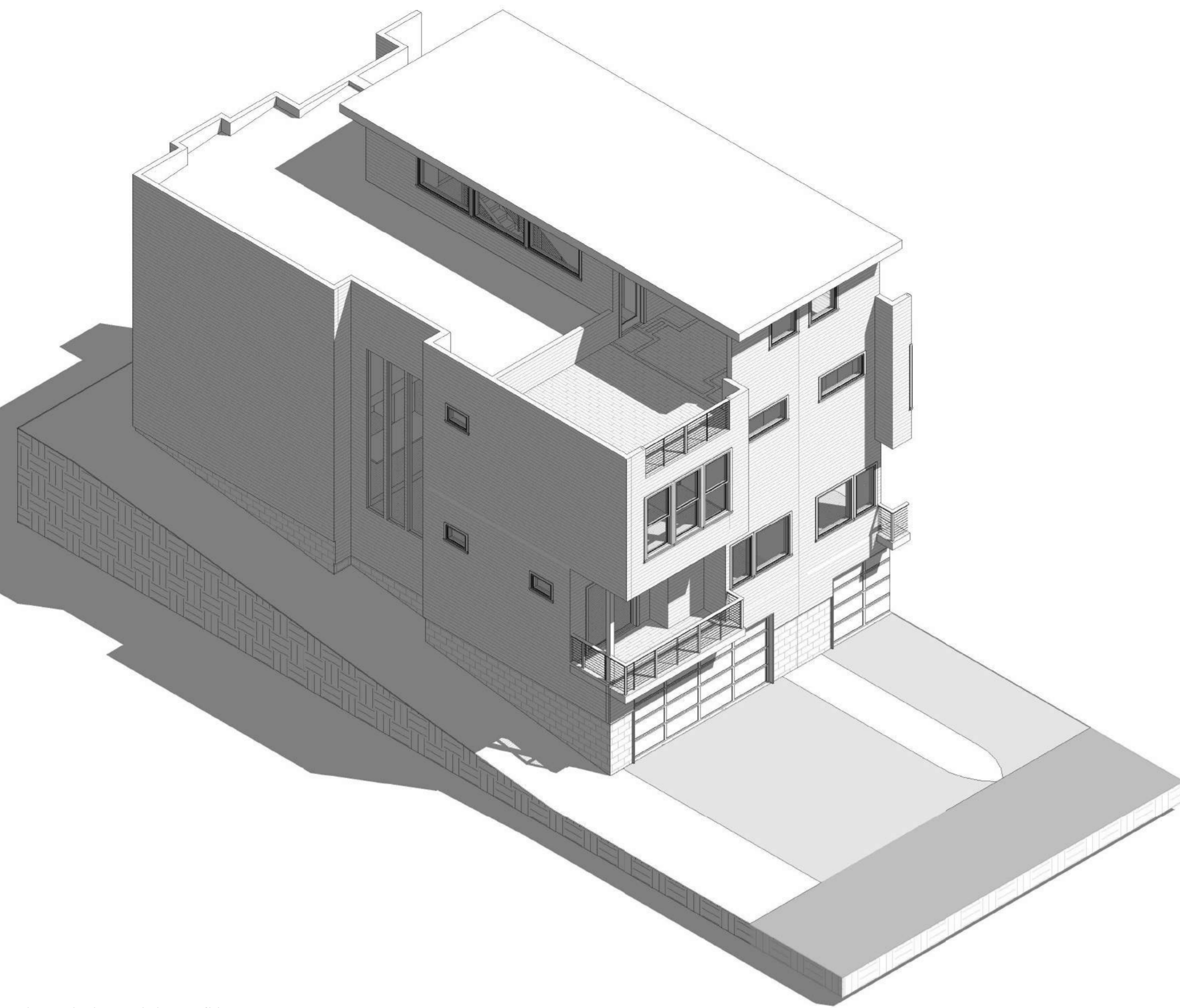
STATUS
permit set

08.09.2023

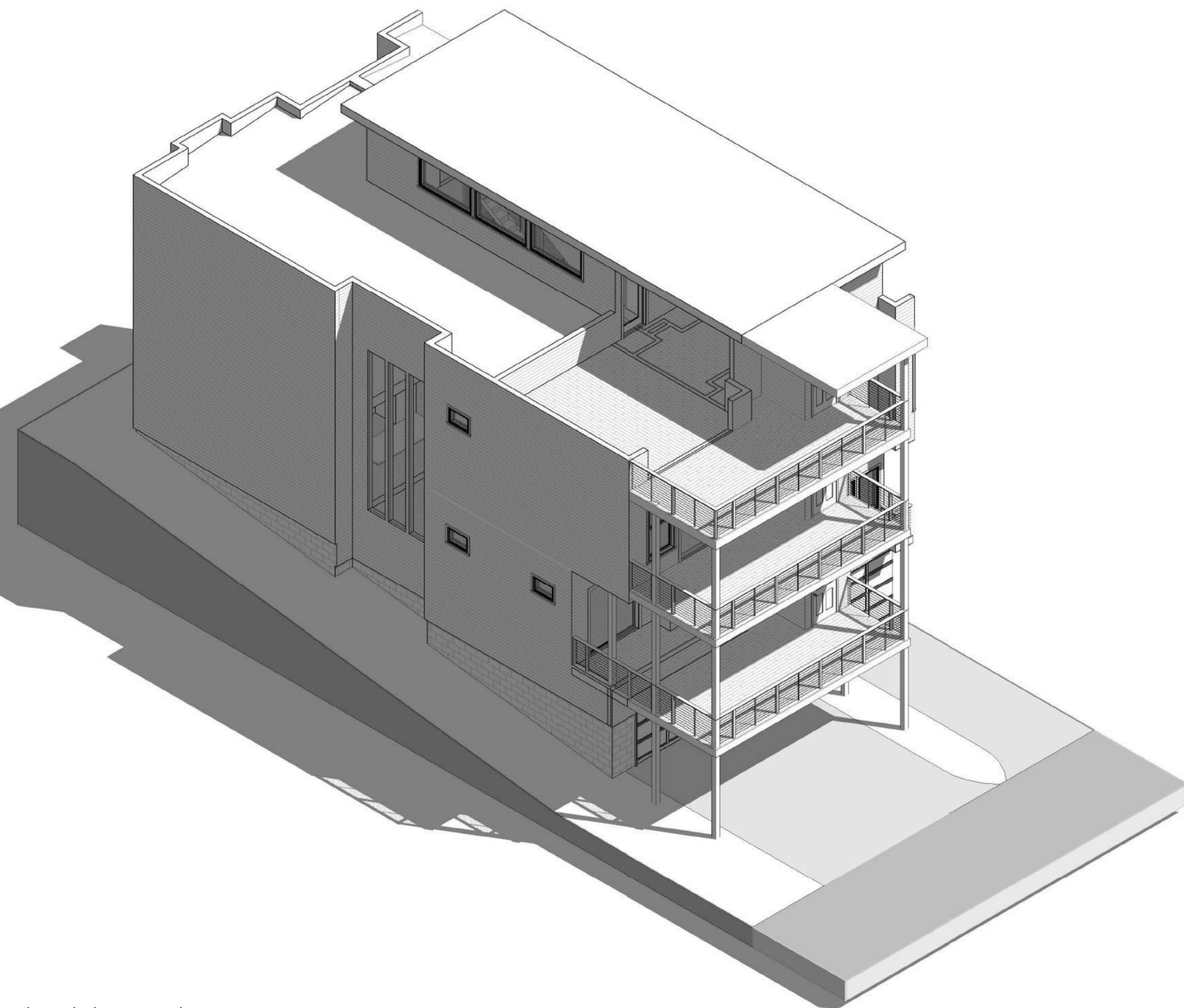
TITLE
partition types

SHEET
A002

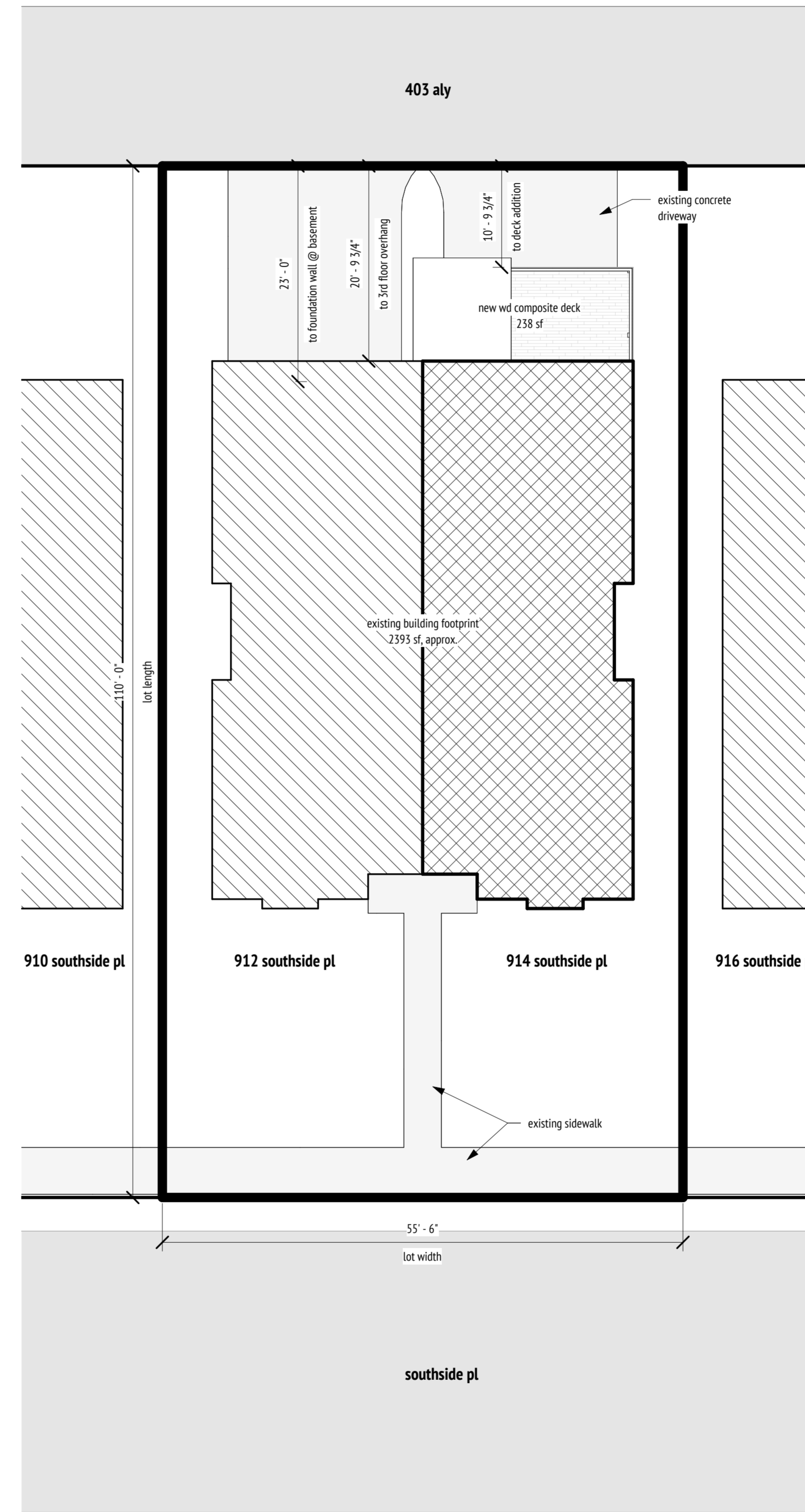
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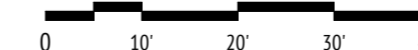
isometric view - existing conditions



isometric view - new work



1 site plan
1" = 10'-0"



zoning notes

parcel ID: 105021A00200C0
 zoning classification: R6
 min lot area: 6,000 sf
 actual lot area: 6,105 sf
 max building coverage: 0.50 (6,105 sf x 0.50 = 3052.5 sf allowable)
 2,631 sf proposed (2,393 sf existing + 238 sf proposed)
 minor street setback: 20 ft
 min rear setback: 20 ft
 min side setback: 5 ft
 max height: 3 stories

Note: Professional survey was not available at the time of design. This site plan was generated according to online GIS data and aerial imagery. A professional surveyor should be engaged to provide an accurate location for the new structure relative to actual property lines and required setbacks.

phasing legend

- existing component
- demo component
- new component
- not-in-scope

site plan legend

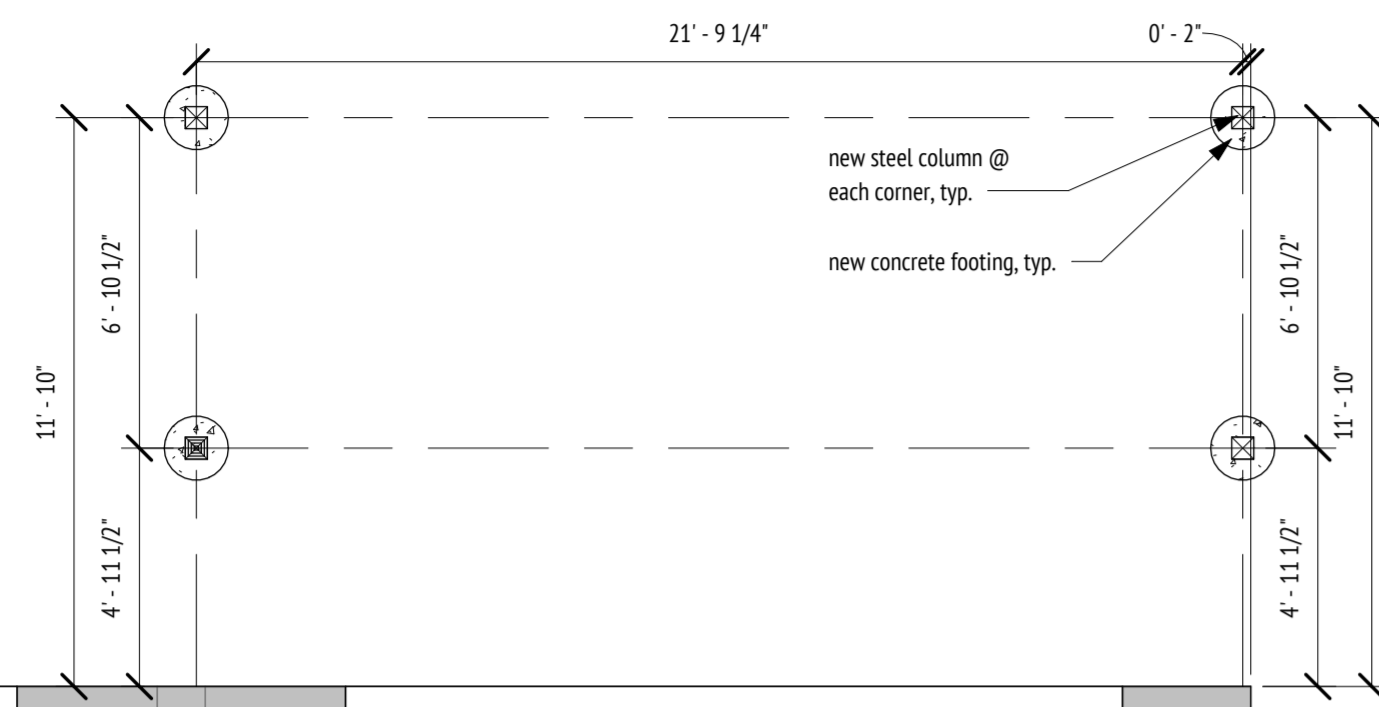
- property line
- setbacks/easements
- tree location, approx.

area schedule (scope areas)

[existing]	
building footprint, approx.	2393 SF
[new work]	
deck addition	238 SF
Total Gross Square Footage	2631 SF

not for construction

A201
1



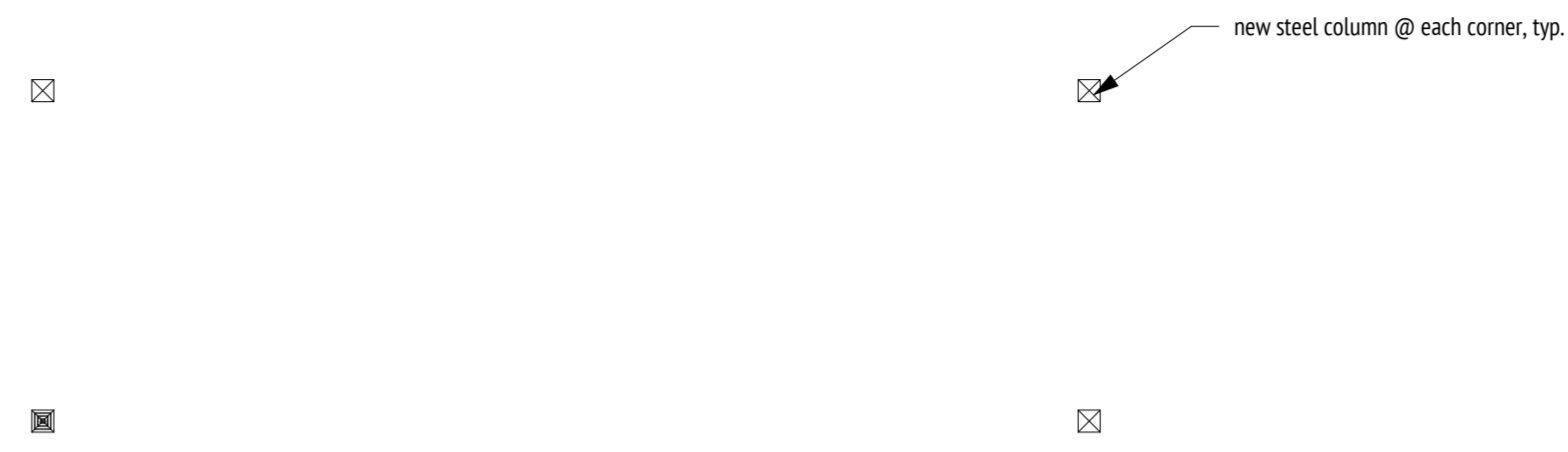
hatched area not in scope

A201
2

1 foundation plan
1/4" = 1'-0"



A201
1



hatched area not in scope

A201
2

2 basement
1/4" = 1'-0"



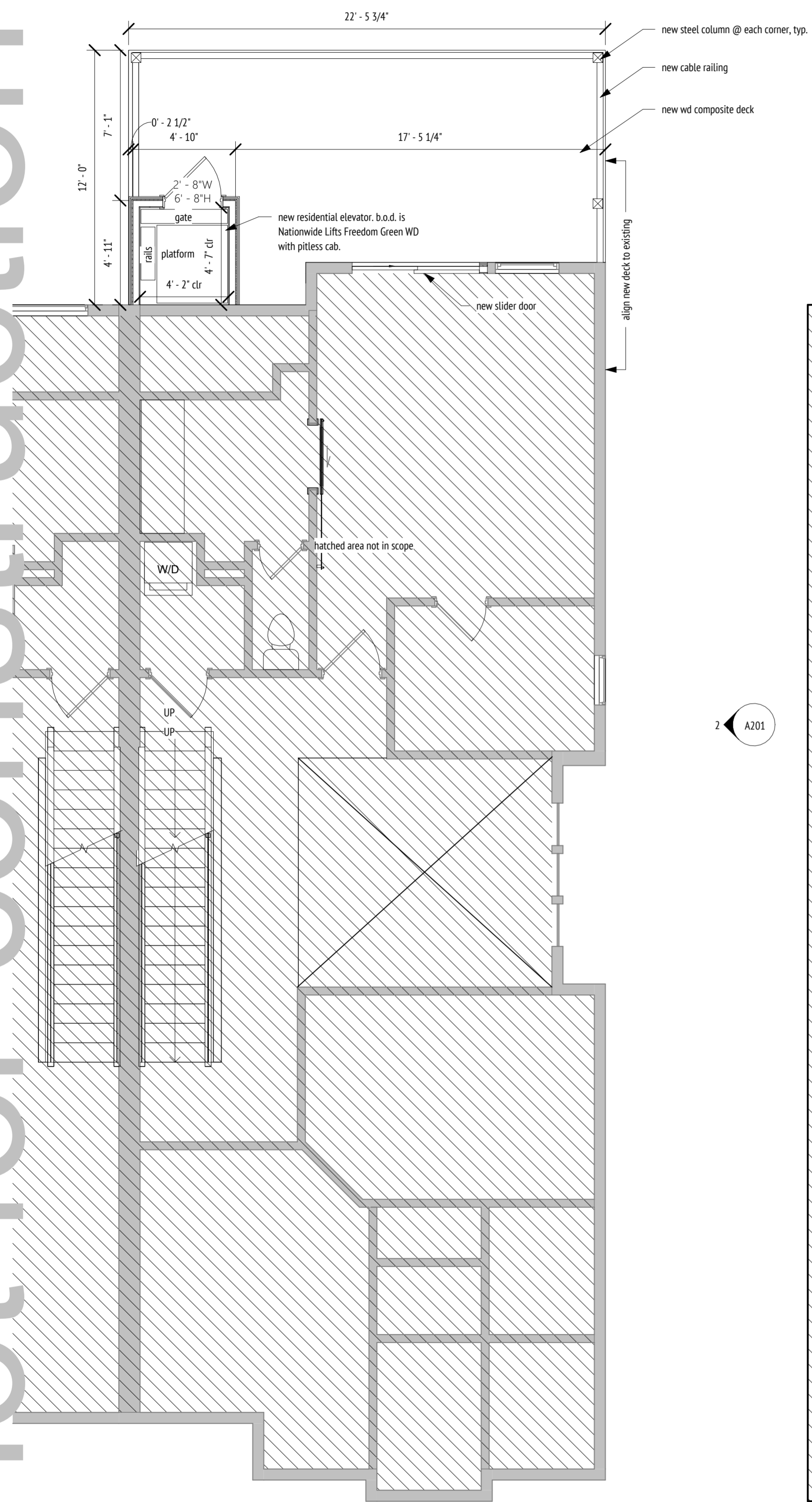
foundation plan notes

- do not scale drawings. notify designer of any dimensional discrepancies discovered during construction.
- unless noted otherwise, dimensioning on plans is as follows:
 - to exterior face of masonry
 - to exterior face of concrete
 - to exterior face of stud in framed partitions
 - gridlines: to center of column
- contractor to excavate around existing foundation walls to install french drain & waterproofing.
- at perimeter: outside face of stud to be flush with outside face of cmu/concrete foundation wall.
- all wood in contact with concrete to be pressure treated.
- contractor to provide waterproofing as req'd to meet all applicable codes and typical building practices.
- interior of crawl space to be higher than surrounding grade.
- contractor to install continuous polyethylene ground cover in all crawl spaces, tape all joints.
- contractor to install vent stack to roof for unvented crawl spaces and slab-on-grade conditions.
- all gas water heaters shall be vented at topout.

phasing legend

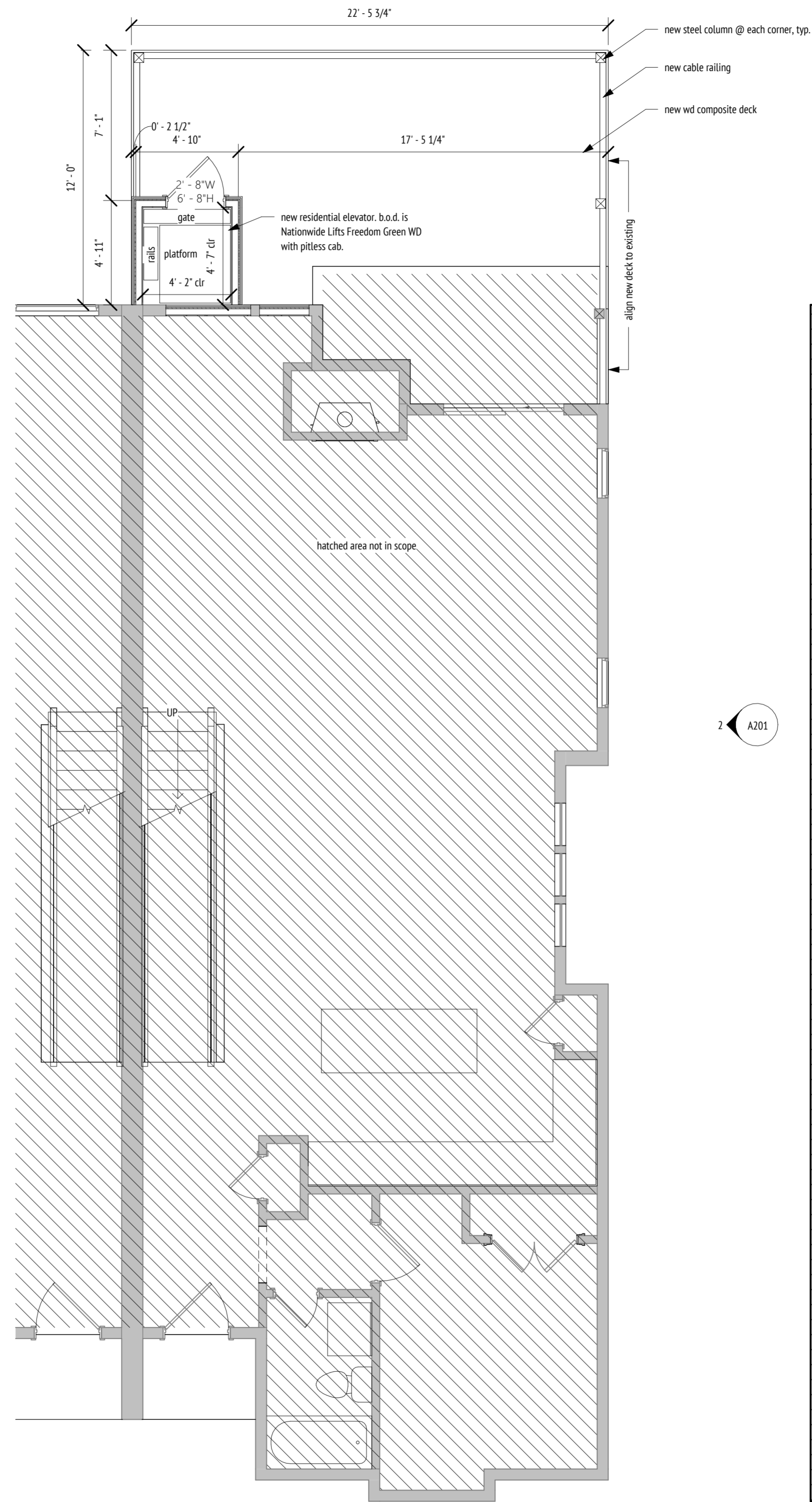
	existing component
	demo component
	new component
	not-in-scope

not for construction



2 2nd floor plan

1/4" = 1'-0"
0 48 96 144



1 1st floor plan

1/4" = 1'-0"
0 48 96 144



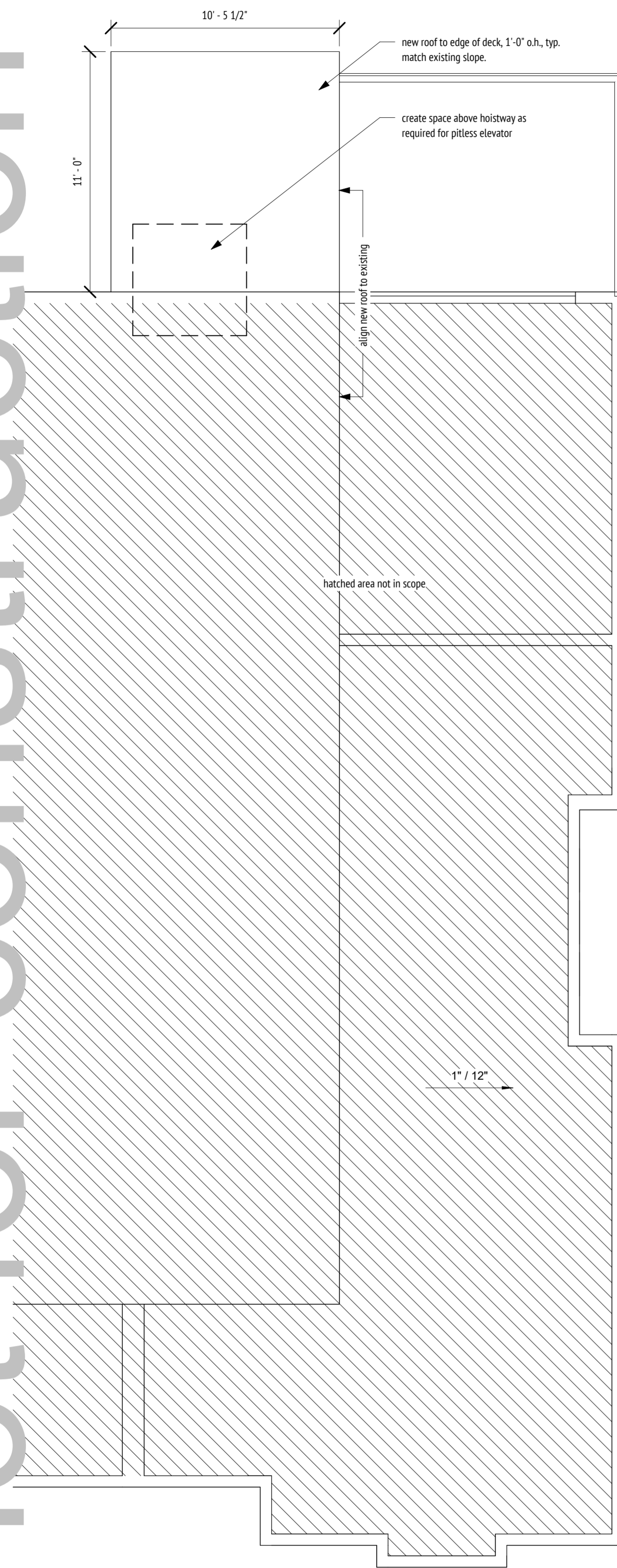
floor plan notes

- do not scale drawings. notify designer of any dimensional discrepancies discovered during construction.
- unless noted otherwise, dimensioning on plans is as follows:
 - to face of masonry
 - to face of concrete
 - to face of stud in framed partitions
 - gridlines: to center of column
- door openings not located by dimensions are either centered in the wall or are located 6" from finish wall to inside face of jamb.
- typical partition type is 'A3' unless noted otherwise.
- dimensions with the note 'clear' indicated dimension is from face of finish to face of finish.
- all new plumbing to be installed per local code.

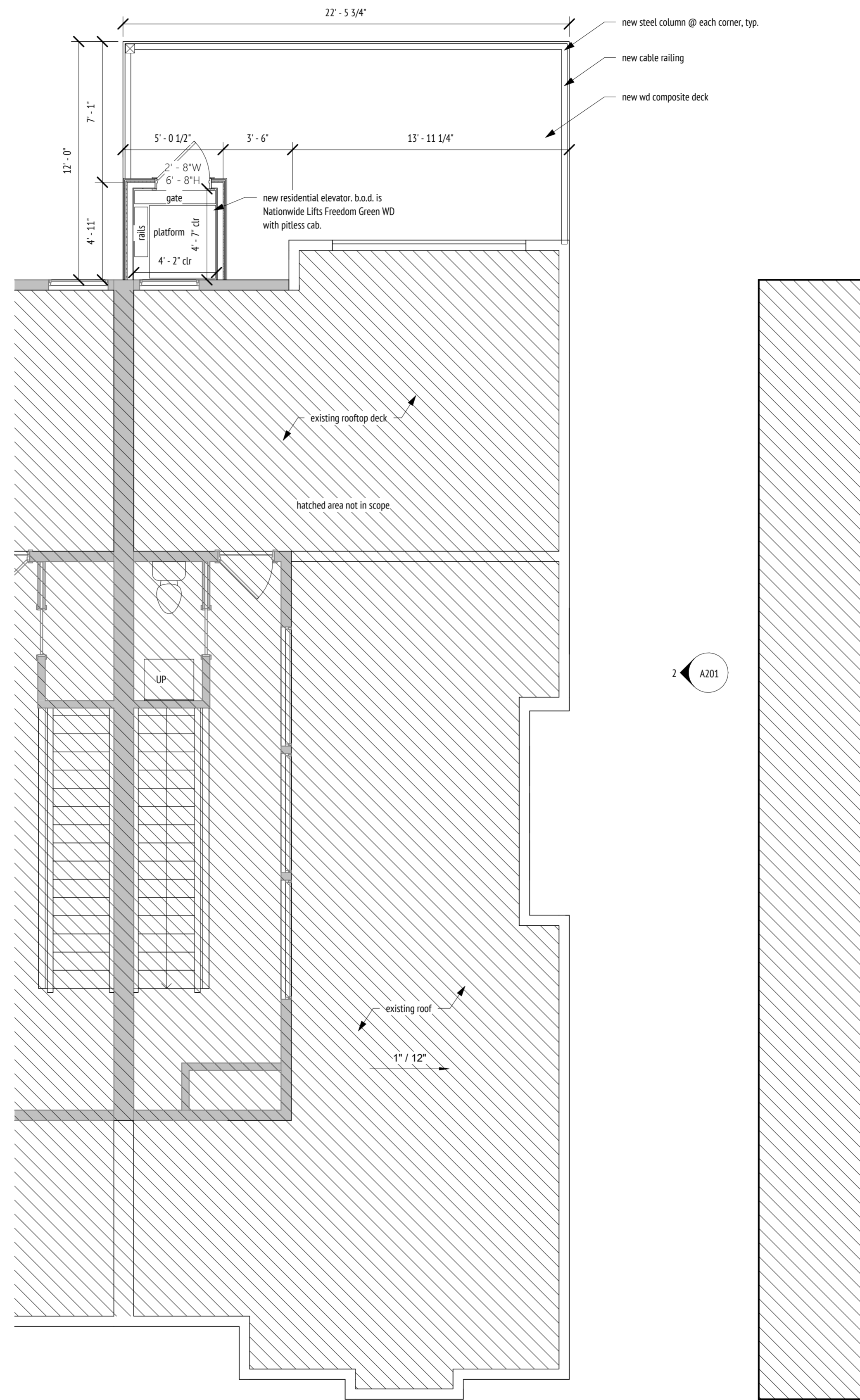
phasing legend

- existing component
- demo component
- new component
- not-in-scope

not for construction



2 roof plan
1/4" = 1'-0"



1 3rd floor plan
1/4" = 1'-0"



floor plan notes

- do not scale drawings. notify designer of any dimensional discrepancies discovered during construction.
- unless noted otherwise, dimensioning on plans is as follows:
 - to face of masonry
 - to face of concrete
 - to face of stud in framed partitions
 - gridlines: to center of column
- door openings not located by dimensions are either centered in the wall or are located 6" from finish wall to inside face of jamb.
- typical partition type is 'A3' unless noted otherwise.
- dimensions with the note 'clear' indicated dimension is from face of finish to face of finish.
- all new plumbing to be installed per local code.

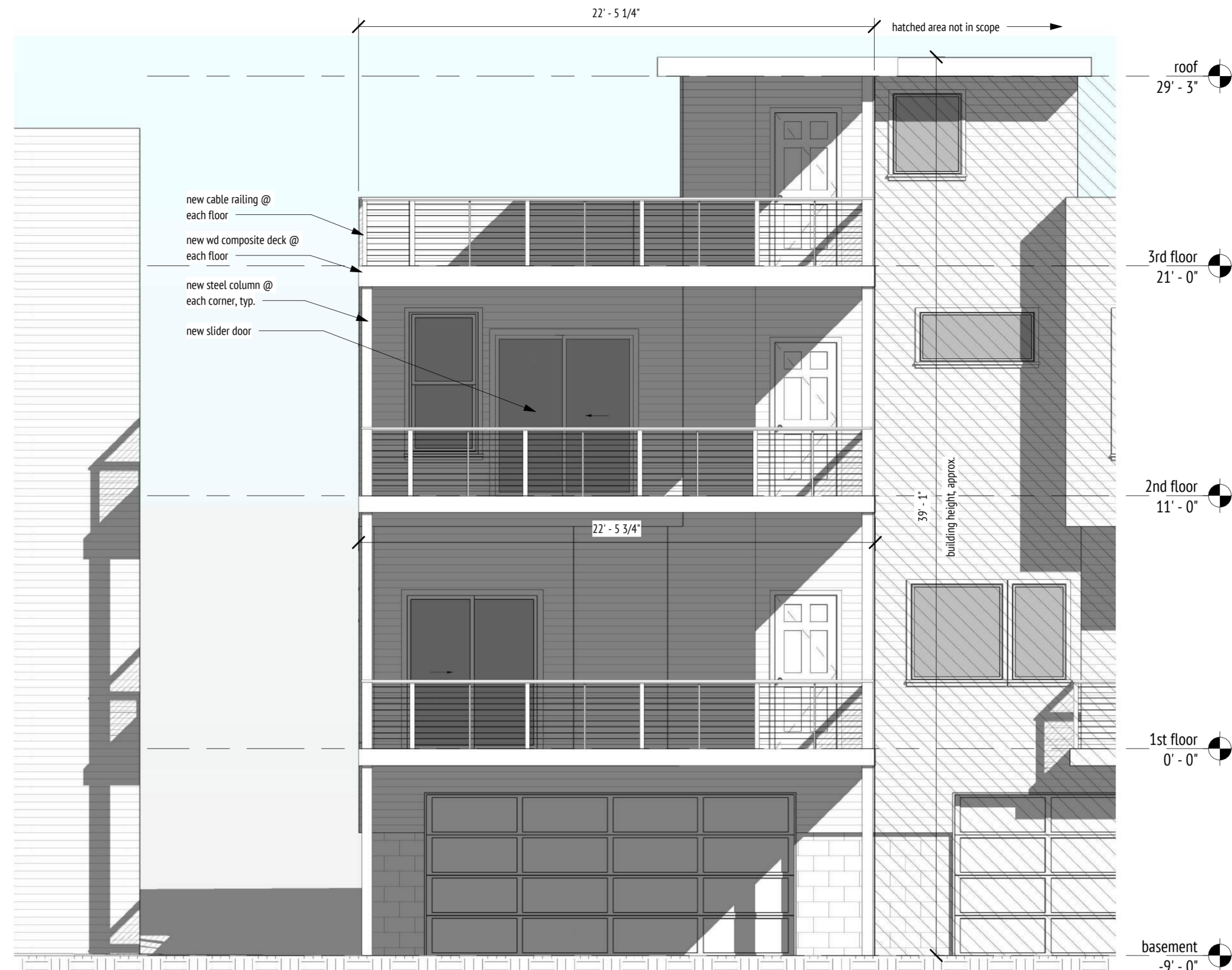
roof plan notes

- do not scale drawings. notify designer of any dimensional discrepancies discovered during construction.
- refer to lumber manufacturer for framing plan and sizing.
- all asphalt shingle roofs to have 3:12 minimum slope.

phasing legend

- existing component
- demo component
- new component
- not-in-scope

not for construction



1 north elevation
1/4" = 1'-0"

exterior elevation notes

- do not scale drawings. notify designer of any dimensional discrepancies discovered during construction.
- slope grade 5% min. away from building

exterior materials legend

pattern	component	color/finish
	concrete, cast-in-place	light gray (existing only)
	concrete masonry unit	light gray, split face (existing only)
	fiber cement lap siding, 4"	white (existing only)
	glass	clear



2 east elevation
1/4" = 1'-0"